

**Select Board
Town Administrator**

2198 Main Street
Brewster, Massachusetts 02631-1898
(508) 896-3701
FAX (508) 896-8089

ADDENDA AND MODIFICATIONS

1. Date: July 10, 2023
2. Re: Addendum No. 2
3. Project: Rehabilitation of 212 Yankee Drive
4. IFB Issued: June 14, 2023

5. To:

1- Mary Miller

PWX Press

1900 Coffeeport Rd.

Jacksonville FL 32208

bids@pwxpress.com

2- Mike Dichard

Batista Environmental

4 Raymond St.

Salem NH 03079

mdichard@batistaenvi.com

3- Bid Research

945 Hornblend St. Suite G

San Diego CA 92109

ims_bids@construction.com

4- Kurt Pitzer

bgs@bidnet.com

5- Ali Didion

Project Dog

18 Graf Rd. #8

Newburyport MA 01950

212 Yankee Dr

addenda@projectdog.com

6- Richard Radulski
R. Mullen and Associates
190 Old Derby St. Hingham MA 02043
rich@rmullenassociates.com

7- Sarah Torres
Construct Connect
30 Technology Pkway South Suite 100
Norcross GA 30092
Sarah.Torres@constructconnect.com

8- Abdelmounaim Elkerkouri
3-A Construction Services, LLC
356 Beach St. Apt 3
Revere MA 02151
abdelm122@hotmail.com

9- Seth Adams
Spencer Cleary
The Pearl Company
766 Falmouth Rd. Suite B12
Mashpee MA 02649
seth@pearlcompany.net
scleary@pearlcompany.net

10- Deltek
2291 Wood Oak Dr.
Herndon VA 20171-6008
sourcemanagement@deltek.com

11- Onvia
509 Olive Way
Seattle WA 98101
source@gmail.com
deltekplusonvia@gmail.com

6. From: Donna J. Kalinick, Assistant Town Manager/Procurement Officer
Town of Brewster, 2198 Main St. Brewster MA 02631

7. This Addendum forms part of and modifies Bidding and contract Documents for the project named above. Acknowledge receipt of this Addendum on the attached Bid form.

8. Where any original item called for in the Project manual or indicated on the Drawings is supplemented by this addenda, the supplemental requirements shall supersede the previous item.
9. Where any original item is amended, voided, or superseded hereby, the other provisions of such items not specifically amended, voided, or superseded shall remain in effect.
10. This Addendum consists of this document and the following attachments:
 - 1- Questions from Bidders
 - 2- Specifications Update

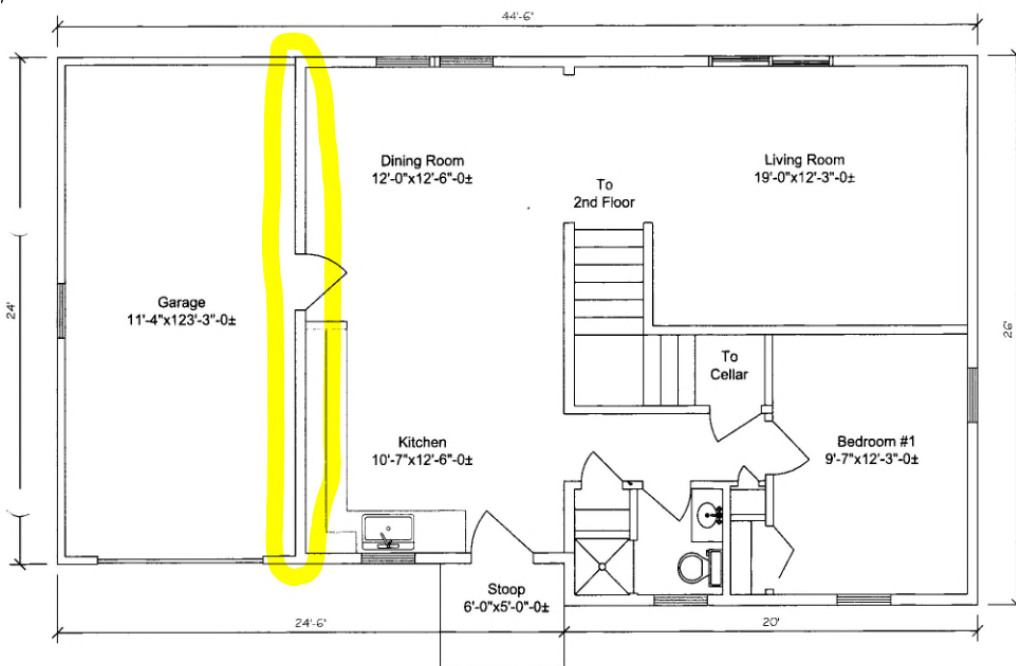
Questions from Bidders:

1- Following up on our call yesterday. As discussed, a 2nd Addendum will be getting issued to include the additional items/clarifications mentioned during the 6/28 walkthrough.

Regarding the electrical scope, it appears the intention is to reuse the existing electrical rough/panel, but an inspection has not been completed. The spec states the existing rough needs to be inspected to ensure that everything is to code and not damaged, but it does not state explicitly how bidders should be pricing this scope. Will the 2nd addendum clarify this as well?

2- We have a few questions regarding the insulation scope.

1. The specifications do not note anything about the basement being insulated. Is there to be no insulation at the 1st floor joists/and or basement walls?
2. There is no reference to the garage itself. To confirm, the garage will not be getting any insulation and the shared kitchen/garage wall should be treated as the exterior wall to received R-21 closed cell insulation?
3. Is the intent to have no insulation at the interior partitions and 1st floor ceiling?



JOHN A. SAARJ, L.L.C.

HOUSING REHABILITATION CONSULTANT BUILDER/CONSTRUCTION MANAGER

Phone: 508-274-1813/Email: john@jasaarillc.com



**Document prepared May 21, 2023, and amended on July 3, 2023
For Amendment #2 dated July 7, 2023**

To

**The PROJECT WORK WRITE – UP for 212 YANKEE DRIVE,
BREWSTER, MA**

The paragraph and sub-paragraphs illustrated herein have been revised or added per Amendment #2. All other paragraphs and sub-paragraphs illustrated in the Work Write-up and Bid Sheet dated May 21, 2023, and amended July 3rd, 2023, have not been changed and in conjunction with Amendment #2 constitute the Scope of Work for the project located at 212 YANKEE DRIVE, BREWSTER, MA

II. Rough & Finish Electrical: (Amended)

A. Rough Electrical: The Contractor shall check all existing rough Electrical, see sub-paragraph A1, to ensure that the existing Wiring, Boxes etc. are not damaged and installed to Code. All additional rough Electrical required for the project shall be installed.

A1. (New, Added) The Contractor shall carry in Line IIA1 of the Quote Sheet, \$2,000.00 to perform the Rough Electrical Inspection of the Wiring from the Meter to the 100 Amp. Service Panel in the Basement to ensure that the existing 100 Amp. Service Panel is in serviceable Condition, meets the applicable Code and is equipped, with the correct size and number of Breakers to adequately supply power to all Outlets, Switches, etc., in the Home per Code, once the Work is complete. Additionally, a portion of the Allowance shall be utilized to inspect all existing Rough Wiring in the Home to ensure that the rough wiring is serviceable and meets the State and Federal Code.

Note1: If deficiencies are found, The Contractor shall prepare a CHANGE ORDER to cover the cost of repairing or replacing the deficiencies encountered. The CHANGE ORDER shall clearly state what each discrepancy is, a break-down of the hourly Labor and a list of Materials for each item to be either repaired or replaced and a total cost of all Electrical Changes to be accomplished.

Note2: Per the Town of Brewster Documents, the CHANGE ORDER shall be approved prior to the start of work on the unforeseen/added work.

III. Insulation: (Amended)

(Amended) All exterior Walls, including the demising Wall between the Garage and the Kitchen and Dining Room shall be insulated with Closed Cell Insulation, the 2nd Floor/Attic Ceilings shall be insulated with R-49 Fiberglass Batt, Insulation. The Rim Joist and Floor Penetrations shall be insulated with Closed Cell Insulation; the perimeters of the Exterior Doors and Windows are to be air sealed. All Insulation shall be to Code and once installed, Inspected by The Building Inspector. The Floor Joist between the Basement and the First Floor and the Floor/Ceiling between the First and second Floor are not to be Insulated.

Note: (Added) The Interior Perimeter walls surrounding the Bathrooms on the 1st and 2nd Floors shall be Sound-proofed with R-13 Batt Insulation.

Amendment #2 dated July 10, 2023 continued

Note: All work shall comply with the requirements of the 9th EDITION of 780 CMR 51.00, the Massachusetts Residential Building Code and the 2015 International Residential Code.

Accepted by: _____ Date: _____

NOTICE TO ALL PARTIES: All CHANGES TO THE SCOPE OF WORK OR TIME FRAME REQUIRE A WRITTEN APPROVED CHANGE ORDER.

End of Amendment: