

**SECTION 00 91 13**

**ADDENDUM NO. 1**

**APRIL 3, 2024**

**PROJECT:** Window & Door Replacement at  
Captains Golf Course  
1000 Freemans Way  
Brewster, MA

- This addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated March 2024 as noted below.
- Please advise all sub-contractors.
- Acknowledge receipt of this Addendum in the space provided on the Bid Form.
- Attached to this Addendum is the Pre-Bid Conference Sign-in Sheet from 3-27-2024.

**GENERAL**

- A. The Bid due date for General Contractors has been extended to **April 24, 2024 by 11:00 A.M.**
- B. The following are questions submitted by Bidders to the Owner and their subsequent answers are highlighted in red.
1. Question: There is a metal window subcontract bid date, is this for someone to supply the windows and then the GC installs? Usually suppliers are not DCAMM rated as required in the bid specs? If the metal window subcontract bid is materials only, who coordinates measurement, delivery, unloading and storage?  
**Response: The Metal Windows Filed Sub-bid includes the Aluminum Entrance doors and Storefront only, not the windows as noted in Specification Section 08 00 01. This is to cover purchase and installation and must be coordinated with the General Contractor.**
  2. Question: Can an Anderson or vinyl widow be quoted?  
**Response: An Andersen 400 series plastic-clad wood window is specified. Vinyl windows will not be accepted as a substitute.**
  3. Question: The existing windows are vinyl andersen windows, the term metal windows describes a different window type. What type of windows are being used?  
**Response: An Andersen 400 series plastic-clad wood window is specified.**
  4. Question: The plans state the windows to meet the 137 MPH wind zone. According to the local inspector the wind zone is 140 mph, which wind speed should be used?  
**Response: The wind zone is 140 MPH. All the exterior windows, storefront and entrance doors and associated glass are specified to meet Large Missile Impact requirements.**
  5. Question: Is exterior painting to be done after the trim is replaced?  
**Response: Yes, on the trim and any damaged surrounding area is to be spot painted on the exterior.**

6. Question: What happens on the interior, there is no note about the interior trim, painting or associated sheetrock repair.  
Response: The Project Manual indicates the wood trim replacement, painting of interior and exterior trim and the sheetrock repair requirements. Detail A/A4 indicates new interior wood trim is to match existing and be painted. Any gypsum board that is damaged during installation of the new windows and trim is to be replaced, taped/compounded, sanded and painted to match flush with the existing. If the gypsum board needs to be painted, the entire gypboard wall needs to be painted from top to bottom and corner to corner.
7. Question: Can you confirm the PVC painting scope? I don't see the PVC called out to be painted on the drawings but under specification section 09 91 00-3.06-A the PVC trim is listed in the painting schedule.  
Response: All the new PVC trim noted in Detail A/A4 is to be painted in accordance with the Specifications. Color is to be white to match the existing and must be confirmed by the Architect.
8. Question: Can the interior and exterior trim scope be defined for window elevations A, B, C and X? Following the walkthrough, the existing conditions do not match the details on A4.  
Response: See attached drawing SKA-1 for information.
9. Question: Can the interior painting scope be defined. Note 1 on A4 states "Paint all new trim and disturbed existing materials." Is the scope to only cut in new paint color around new trim? Or is it to paint the entire wall? Please advise.  
Response: Please see the response of Question No. 6.
10. Question: The only note in the documents for existing automatic door operators is in specification section 08 42 13 owned by the metal window FSB. Can you confirm that any coordination, removal of existing operators, providing new electrified hardware, and reinstallation of existing automatic door operators are owned by the metal window FSB?  
Response: Yes, all the associated operator and equipment as noted in the question are to be included with the Metal Window Filed Sub-bid.
11. Question: Will the facilities be closed in December and while the work is going on  
Response: Yes, the main building will be closed but the Pro Shop will be open the entire time. The Contractors will coordinate all work with the Owner and the Owner will relocate furniture and equipment as required to accommodate the work.
12. Question: Request to extend the GC bids for another week so they are 2 weeks after the filed sub-bids  
Response: The General Contractor's bid due date has been extended to April 24, 2024 by 11:00 A.M.
13. Question: Is the vendor responsible for any trim replacement in the pavilion  
Response: No, only around the windows on the main building and the Pro Shop building.
14. Question: Will Captains staff move the items in pro shop so the work can be completed  
Response: Yes as noted above in Question No. 11.

15. Question: Clarify Metal Window sub-bid is for aluminum doors  
Response: The Metal Windows Filed Sub-bid includes the aluminum entrance doors, aluminum storefront, all associated door operating hardware & equipment and associated glass. The filed sub-bid does not include the windows.
16. Question: Section 08.81.00 – Glass and Glazing is not listed as part of Section 08.00.01 – Metal Window Filed sub bid. Should it be or is this part of the General Contractor’s scope?  
Response: The Glass and Glazing Section 08 81 00 is to be included in the Metal Windows Filed Sub-Bid for all the new Aluminum Entrance Doors and Storefront.
17. Question: Demolition of the entry Doors who owns? GC or Metal window FSB?  
Response: The Metal Windows Filed Sub-Bidder is to include all demolition and disposal work to complete the Aluminum Entrance Door and Storefront work. The FSB is to coordinate all work with the General Contractor. It is the General Contractor’s responsibility to review all FSB work so that all work can be properly and completely performed.
18. Question: There are existing automatic operators at the storefront doors and the bid documents note they are to be removed and reinstalled. The Selective Demo Section owns the removal of the existing storefronts and hardware, but please advise who owns the reinstallation. There is wiring involved that should be done by an electrician or security vendor.  
Response: The Metal Windows Filed Sub-Bidder is to include all demolition and disposal work to complete the Aluminum Entrance Door and Storefront work. The FSB is to include all opening preparation and installation of the new doors and storefront. Most of the wiring already exists, there is some minor new electrical work and all this should be coordinated with an electrician. The FSB owns all this electrical work also. The security wiring will be covered by the Owner.
19. Question: Which trade is responsible for the perimeter caulking at the storefronts?  
Response: The General Contractor is responsible for all perimeter caulking at the new storefront.

**PROJECT MANUAL**

**ITEM NO. 1 – SECTION 08 00 01 – Metal Windows Filed Sub-Bid**

A. Paragraph 1.2.A: Add the following:

4. Section 08 81 00 – GLASS AND GLAZING

**ITEM NO. 2 – SECTION 08 81 00 – GLASS AND GLAZING**

A. Paragraph 3.03: Delete the Schedule in its entirety and substitute with the following:

<u>LOCATION</u>	<u>GLASS</u>
Exterior Aluminum Entrance Doors	Impact Resistant Glass for Aluminum Entrance Doors
Exterior Aluminum Storefront Windows	Impact Resistant Glass for Aluminum Storefront Systems
Interior Aluminum Entrance Doors	Safety Glass

**DRAWINGS**

**ITEM NO. 1 – SK DRAWINGS**

- A. Include the following SK drawing attached to this Addendum as an integral part of these Bidding Documents.

SKA-1

End of Addendum No. 1



PROVIDE AND INSTALL NEW WOOD TRIM TO MATCH EXISTING. IF TRIM CAN BE REMOVED WITHOUT DAMAGE, IT CAN BE REUSED. IF EXISTING TRIM DOES NOT HAVE TO BE REMOVED TO INSTALL NEW WINDOWS OR DOORS, THE TRIM DOES NOT NEED TO BE REPLACED.

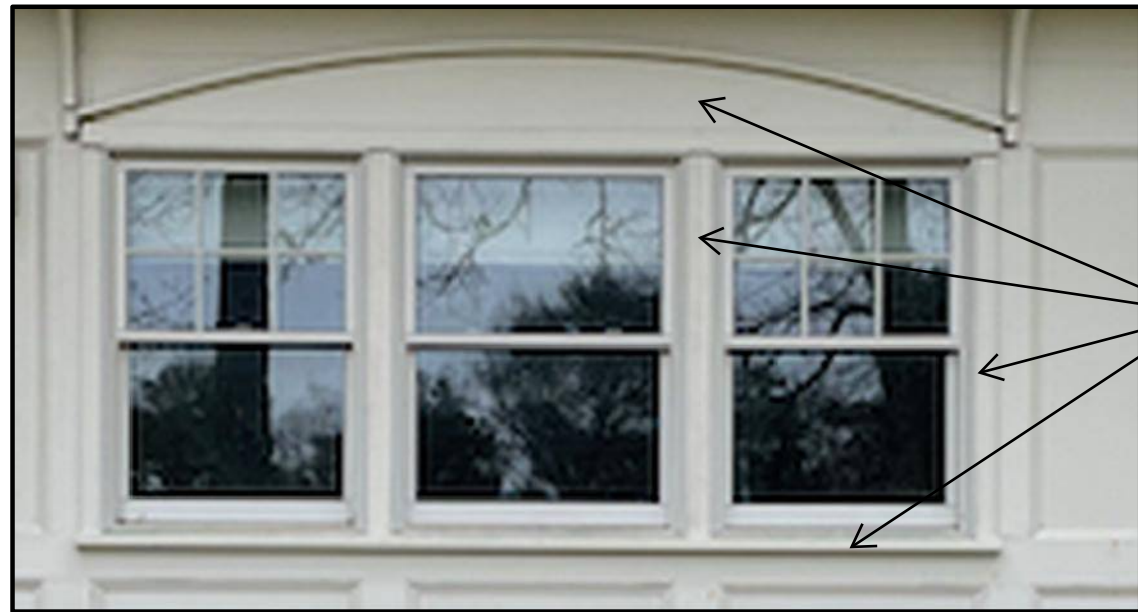
OWNER WILL REMOVE THE EXISTING WINDOW SHADES PRIOR TO THE START OF CONSTRUCTION AND WILL REINSTALL UPON COMPLETION OF ALL WORK.

PROVIDE AND INSTALL NEW WOOD TRIM TO MATCH EXISTING. IF TRIM CAN BE REMOVED WITHOUT DAMAGE, IT CAN BE REUSED. IF EXISTING TRIM DOES NOT HAVE TO BE REMOVED TO INSTALL NEW WINDOWS, THE TRIM DOES NOT NEED TO BE REPLACED.



**B** INTERIOR WINDOW ELEVATION  
 (SKA-1) NO SCALE

**C** INTERIOR DOOR ELEVATION  
 (SKA-1) NO SCALE



PROVIDE AND INSTALL NEW PVC TRIM TO MATCH EXISTING. IF TRIM CAN BE REMOVED WITHOUT DAMAGE, IT CAN BE REUSED. IF EXISTING TRIM DOES NOT HAVE TO BE REMOVED TO INSTALL NEW WINDOWS OR DOORS, THE TRIM DOES NOT NEED TO BE REPLACED.



**A** EXTERIOR WINDOW ELEVATION  
 (SKA-1) NO SCALE

EXTERIOR DOOR ELEVATION

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WINDOW REPLACEMENT  
 CAPTAINS GOLF  
 1000 FREEMANS WAY  
 BREWSTER, MA

SA Job No. 21095

SHEET TITLE  
 INTERIOR WINDOW  
 DETAILS

DRAWN: VL

DATE:  
 4-3-2024

DRAWING NO.

SKA-1

