



# Town of Brewster Planning Board

2198 Main St., Brewster, MA 02631

brewplan@brewster-ma.gov

(508) 896-3701 x1133

## AMENDED PLANNING BOARD MEETING AGENDA

2198 Main Street

April 12, 2023 at 6:30 PM

### Planning Board

Madalyn Hillis-  
Dineen, Chair

Amanda Bebrin  
Vice Chair

Robert Michaels  
Clerk

Charlotte Degen

Antone Freitas

Elizabeth Taylor

Alexander  
Wentworth

Town Planner  
Jonathon Idman

Senior Department  
Assistant  
Lynn St. Cyr

This meeting will be conducted in person at the time and location identified above. This means that at least a quorum of the members of the public body will attend the meeting in person and members of the public are welcome to attend in person as well. As a courtesy only, access to the meeting is also being provided via remote means in accordance with applicable law. Please note that while an option for remote attendance and/or participation is being provided as a courtesy to the public, the meeting/hearing will not be suspended or terminated if technological problems interrupt the virtual broadcast or affect remote attendance or participation, unless otherwise required by law. Members of the public with particular interest in any specific item on this agenda, which includes an applicant and its representatives, should make plans for in-person vs. virtual attendance accordingly.

Members of the public who wish to access the meeting may do so in the following manner:

**Phone:** Call (312) 626 6799 or (301) 715-8592. Webinar ID: 841 0778 1002. Passcode: 612505.

To request to speak: Press \*9 and wait to be recognized.

**Zoom Webinar:** <https://us02web.zoom.us/j/84107781002?pwd=VTVSV1ExaUNCL253NmNZV21Gdmo4dz09>  
Passcode: 612505.

To request to speak: Tap Zoom "Raise Hand", then wait to be recognized.

When required by law or allowed by the Chair, persons wishing to provide public comment or otherwise participate in the meeting, may do so by accessing the meeting remotely, as noted above. Additionally, the meeting will be broadcast live, in real time, via *Live broadcast* (Brewster Government TV Channel 18), *Livestream* ([livestream.brewster-ma.gov](http://livestream.brewster-ma.gov)), or *Video recording* ([tv.brewster-ma.gov](http://tv.brewster-ma.gov)).

The Planning Board packet can be found on the Calendar on the Town of Brewster website ([www.brewster-ma.gov](http://www.brewster-ma.gov)).

1. Call to Order.
2. Declaration of a Quorum.
3. Meeting Participation Statement.
4. Recording Statement. As required by the Open Meeting Law we are informing you that the Town will be video and audio taping as well as broadcasting this public meeting. In addition, if anyone else intends to either video or audio tape this meeting they are required to inform the Chair.
5. Citizen's Forum. Members of the Public are invited to address the Planning Board on matters not on the agenda during this time. The Planning Board asks that a 3-minute maximum comment period be respected by the speaker. In order to avoid any possible interpretation of a violation of the Open Meeting Law, the Planning Board will not provide comment in return to the speaker, however the item may be moved to a future agenda if discussion is deemed warranted.
6. **Major Stormwater Management Permit, Case No. 2023-10:** Applicant/Owner: William and Laura Brondyk through their representative John M. O'Reilly, P.E., P.L.S. of J.M. O'Reilly & Associates, Inc., has submitted a major stormwater permit application for property located at 5 Tanglewood Road and shown on Tax Map 73, Parcel 86, pursuant to Brewster Town Code Chapter 272 and its accompanying Regulations. The Planning Board will consider and potentially vote whether to approve the major stormwater permit.
7. **Major Stormwater Management Permit, Case No. 2023-11:** Applicant/Owner: Michael and Mary Sharon through their representative Matthew T. Farrell, EIT and John M. O'Reilly, P.E., P.L.S. of J.M. O'Reilly & Associates, Inc., has submitted a major stormwater permit application for property located at 393 Paines Creek Road and shown on Tax Map 37, Parcel 6, pursuant to Brewster Town Code Chapter 272 and its accompanying Regulations. The Planning Board will consider and potentially vote whether to approve the major stormwater permit.



**Planning Board**

Madalyn Hillis-Dineen, Chair

Amanda Bebrin  
Vice Chair

Robert Michaels  
Clerk

Charlotte Degen

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Elizabeth Taylor

Alexander  
Wentworth

**Town Planner**  
Jonathon Idman

**Senior Department  
Assistant**  
Lynn St. Cyr

8. **Major Stormwater Management Permit, Case No. 2023-12:** Applicant/Owner: Christopher and Gillian Platts through their representative John M. O'Reilly, P.E., P.L.S. of J.M. O'Reilly & Associates, Inc., has submitted a major stormwater permit application for property located at 0 Run Hill Road and shown on Tax Map 35, Parcel 32, pursuant to Brewster Town Code Chapter 272 and its accompanying Regulations. The Planning Board will consider and potentially vote whether to approve the major stormwater permit.
9. **Site Plan Review, Case No. 2022-09:** Applicant/Owner: Remington's Trust, Peter Lomenzo and Kerry Barton, Trustees, has submitted an application for property located at 61-63 A.P. Newcomb Road and shown on Tax Map 25, Parcel 75 within the Residential Medium Density Zoning District. The Applicant seeks Site Plan Approval to redevelop an existing accessory structure as a three-bedroom bed and breakfast pursuant to Brewster Zoning Bylaw Chapter 179-66. *The Planning Board will consider and potentially vote whether to grant site plan approval.*
10. **Planning Board Application Forms.** The Planning Board will review, discuss, and may vote to approve revised application forms.
11. **Stormwater Management by the Numbers.** The Planning Board will review and generally discuss the number and type of stormwater management *applications and permits to date.*
12. **Approval of Meeting Minutes:** March 8, 2023.
13. **Committee Reports.**
14. **For Your Information.**
15. **Matters Not Reasonably Anticipated by the Chair.**
16. **Next Meetings:** April 26, 2023 and May 10, 2023.
17. **Adjournment.**

**Date Posted:**  
04/05/23

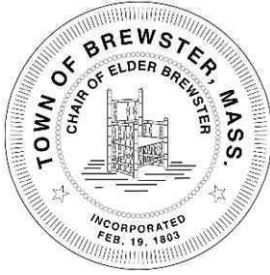
**Date Revised:**  
04/05/23

**Received by Town Clerk:**

*cw*

**MAJOR STORMWATER MANAGEMENT PERMIT**  
**CASE NO. 2023-10**

**APPLICANT/OWNER: WILLIAM AND LAURA BRONDYK**  
**PROPERTY: 5 TANGLEWOOD ROAD**



# Town of Brewster

2198 Main Street  
Brewster, MA 02631-1898  
Phone: (508) 896-3701 x. 1133

Office of:  
Planning Board  
Planning Dept.

## STAFF REPORT

**TO:** Planning Board  
**FROM:** Jon Idman, Town Planner  
**RE:** Major Stormwater Permit SWMP23-10  
5 Tanglewood Road (Map 73 Parcel 86)  
Applicant, M/M Brondyk c/o JM O'Reilly & Associates, Inc.  
**DATE:** March 29, 2023

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### Recommendation

The stormwater permit application meets the applicable performance standards and submission requirements set out in the town's Stormwater Management Regulations for issuance and approval of a Major Stormwater Permit.

To the extent the Board deems a waiver necessary, the applicant's request for a waiver from full compliance with Phosphorus treatment standards appears to meet the waiver criteria from the Regulations.

Approval should be granted subject to the continuing obligations set out in said Regulations, including Sections 5.7, 5.8, 5.9 (Certificates of Compliance), 6.1B (Construction practices), Section 7.2 (Inspections), 8.3 (Recording of stormwater permit and O&M plan) and 8.5 therein.

### Major Stormwater Management Permit

This project triggers a Stormwater Permit under Chapter 272 of the Brewster Code (Stormwater Management Bylaw) and according to Section 4 of the Bylaw's supporting regulations, a Major Stormwater Permit is required because the project involves net new impervious surface of 2500 sq ft or greater. The underlying project is development of a previously undeveloped single-family residential property with a residence and appurtenances.

The property is not subject to wetlands jurisdiction and none of the property is located in a special flood hazard area. The property is not located in a Zone II or the DCPC. The property slopes to the southeast away from its frontage on Crowell's Bog and Tanglewood Roads.

Because the development project, including the stormwater management system, is not located within wetlands jurisdiction, the Planning Board is the stormwater permitting authority. Major Stormwater Permits are subject to review at a public meeting, including for any waivers requested.

The Applicant has provided the required application materials for a Major Stormwater Permit, including a site plan (revised 3/27/23) and Stormwater Management and Hydrologic Report (dated/ stamped 3/22/23), as set out in Appendix B of the Stormwater Management Regulations.

- Proposed Site Plan entitled "J.C. Donald Company- Brondyk, 167 Cranberry Highway, Orleans, MA 02653, Site Plan- Stormwater Design, 5 Tanglewood Road, Brewster, MA, Assr's Map 73, Parcel 86," prepared by JM O'Reilly & Associates, Inc., revised dated 3/27/23 and stamped by John M. O'Reilly, PE, PLS.

The Applicant has requested a waiver to the extent deemed necessary by the Board from full compliance with Phosphorus treatment standards. My opinion is that, where there is no “true impervious surface”/ paving proposed (the driveway is proposed to be gravel) and the roof run-off is proposed to be handled separately from site run-off and directly infiltrated to subsurface leaching facilities, a meeting full phosphorous treatment (60% removal for new construction) requirements is inapplicable. Though estimated Phosphorus removal has not been quantified in the application, there is some Phosphorus treatment assumed with the types of structural post-construction BMPs proposed, e.g. the swale. Further, there is an argument under Section 6.2.B.6.iii. of the Regulations that the combination of treatment and water quality storage volume proposed meets the Regulations.

To the extent the partial waiver from strict compliance is deemed necessary, the proposal appears to be consistent with the waiver criteria in Section 5.10 of the Regulations. Full compliance with Phosphorus treatment requirements is unnecessary or impracticable given the lack of sensitive environmental receptors including the depth to groundwater; the system is otherwise consistent with the purposes and intent of the Stormwater Management Bylaw; and, notwithstanding the waiver, the system provides an adequate level of protection for the public health and safety.

The Applicant has provided construction-period BMPs in an erosion and sedimentation control plan consistent with the performance standards for Major Stormwater Permits set out in Section 6.1B of the Stormwater Management Regulations. Plan elements include straw wattles, a gravel construction drive and protection of catch basins.

The post-construction stormwater management system for the site consists of three separate stormwater management subsystems/ catchment areas. Roof run-off will be collected separately from site run-off, then directed to one of the subsurface leaching facilities for recharge. Run-off from the gravel driveway will be collected from sheet flow, then directed to a gravel infiltration trench. Finally, run-off towards the rear of the site will be collected by sheet flow, directed to and treated in the vegetated water quality swale then conveyed to a subsurface leaching facility separate from the one for the roof run-off. The Applicant has provided a corresponding Operations and Maintenance Manual. These post-construction BMPs are consistent with the Major Stormwater Permits performance standards for new construction set out in Section 6.2B and Section 8.2 of the Stormwater Management Regulations:

- The system meets the applicable standards in the Massachusetts Stormwater Handbook for new development.
- The system was designed under post-development conditions to recharge on-site all peak discharges for the 2, 10, 25 and 100-year storm events.
- As designed, post-development runoff rates are reduced to less than the pre-development conditions including for the 100-year storm.
- The O&M plan deals with long term maintenance of all post-construction BMPs such as the subsurface recharge system and water quality treatment swale.
- The system incorporates Low Impact Development-type (LID) stormwater design elements, specifically a water quality treatment swale.
- In addition to the MA handbook stormwater standards, the system meets the TSS treatment requirements (TSS) set out in the Regulations for new development.
- The system is designed to hold and treat the ‘first flush’ of stormwater volume for the 100 yr storm.
- Phosphorus treatment is provided, including through the swale to the rear of the site.
- The Applicant’s soil tests on the property, and NRCS mapping, have revealed sandy and well-draining soils.
- There is significant separation from stormwater facilities and the groundwater table.



**Town of Brewster  
Code Chapter 272  
Stormwater Management Permit  
Application Form**

**FOR TOWN OFFICIAL USE ONLY**  
TOWN CLERK RECEIVED:  
*[Signature]*  
SWM PERMIT NUMBER ASSIGNED:  
*SWMP# 203-10*

**1. Project Location:**

5 TANGLEWOOD ROAD, BREWSTER  
Street Address

73 / 86 34771, 269  
Assessors Map and Parcel(s) Deed Reference

**2. Applicant:**

Willaim & Laura Brondyk  
Name

52 Darby Drive, Mansfield, MA 02048-1606  
Legal Mailing Address

\_\_\_\_\_  
Phone Number

\_\_\_\_\_  
Email Address

**3. Property Owner (if different than Applicant):**

Same  
Name

\_\_\_\_\_  
Legal Mailing Address

\_\_\_\_\_  
Phone Number

\_\_\_\_\_  
Email Address

**4. Professional Representative:**

John O'Reilly, P.E., P.L.S., J.M. O'REILLY &\* ASSOCAITES, INC.  
Name

P.O. Box 1773, Brewster, MA 02631  
Legal Mailing Address

508-896-6601 joreilly@jmoreillyassoc.com  
Phone Number Email Address

5. Type of Application (Check as applicable):

**Minor Stormwater Permit-** Any combination or series of construction or land disturbance activities that, over a two-year period, will result in a net increase in impervious area of 500 sq.ft. to 2,500 sq.ft. and/or will result in land disturbances of 10,000 sq.ft. to 20,000 sq.ft.

**Major Stormwater Permit-** Any alteration, disturbance, development, or redevelopment that does not meet the eligibility criteria for a Minor Stormwater Permit.

**SWM Permit Amendment-**  
List existing Stormwater Management permit number/ type \_\_\_\_\_.

**Stormwater Management Certificate of Compliance (SMCC) Request-**  
List relevant Stormwater Management permit number \_\_\_\_\_.

6. Brief Project Description, including any waiver requests:

Singel family rdwelling development project. The driveway, roof and landscape areas are being controlled by three subsurface leaching facilities along with a grassed swale.

Potential waiver sought for the phosphorous treatment, see Stormwater Report.

7. Signatures:

Willian & Laura Brondyk

Applicant

Date

Same

Property Owner (if different than Applicant)

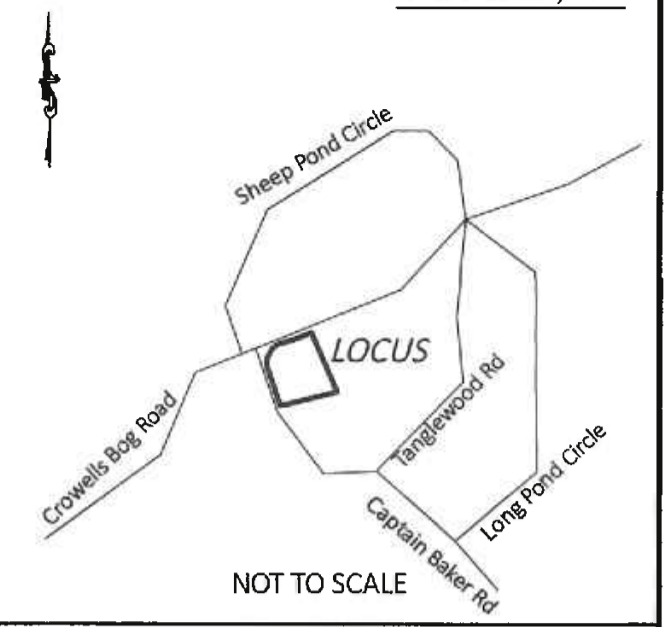
Date

Professional Representative (as applicable)

Date

**NOTES:**

- Please refer to Appendix B of the Stormwater Management Regulations for detailed application submittal and supporting material requirements for Minor and Major Stormwater Management Permits, respectively.
- The application fee schedule is contained in Appendix C of the Regulations.
- Certain activities are exempt from review and permitting (See §272-6 of the Stormwater Management Bylaw).
- If the project is located, in whole or part, within an area subject to state or local wetlands protection law, the review and permitting authority is the Brewster Conservation Commission/ Conservation Department.
- No permit review shall occur nor shall review periods commence until the application is deemed complete.

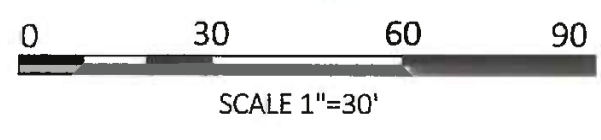
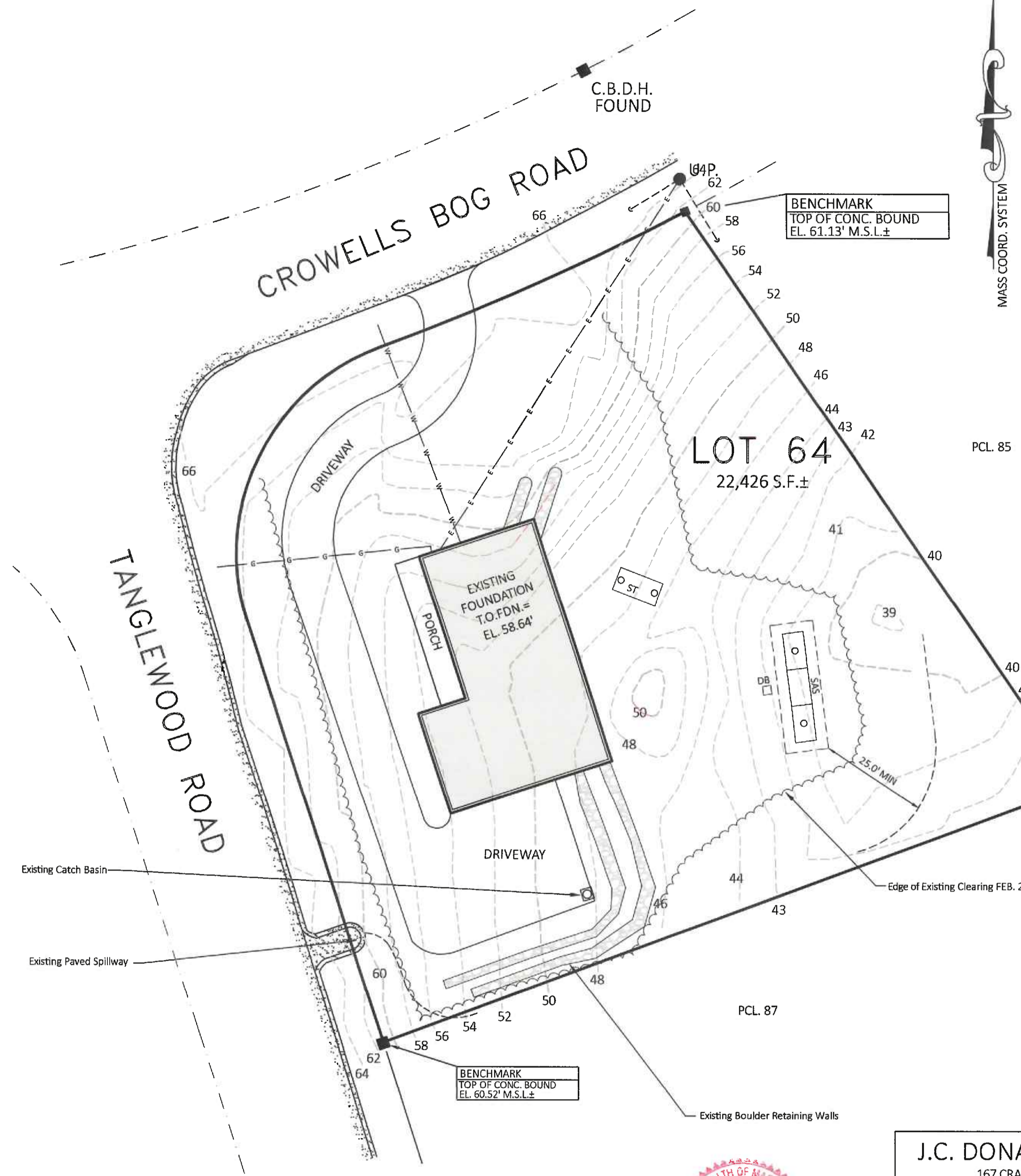


LCC 31810  
 DEED BOOK 34771  
 ASSESSORS' MAP 73

PAGE 269  
 PARCEL 86

**LEGEND**

	EXISTING CONTOUR
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	WATER SERVICE LINE
	OVERHEAD UTILITY SERVICE
	ELECTRIC / COMM. SERVICE LINE
	GAS SERVICE LINE
	TEST HOLE / BORING LOCATION
	SEPTIC TANK
	DISTRIBUTION BOX
	SOIL ABSORPTION SYSTEM
	RESERVED FOR FUTURE
	UTILITY POLE
	CATCH BASIN
	FIRE HYDRANT
	CONCRETE BOUND, FOUND
	LIMIT OF WORK
	EDGE OF CLEARING



**J.C. DONALD COMPANY- BRONDYK**  
 167 CRANBERRY HIGHWAY, ORLEANS, MA 02653

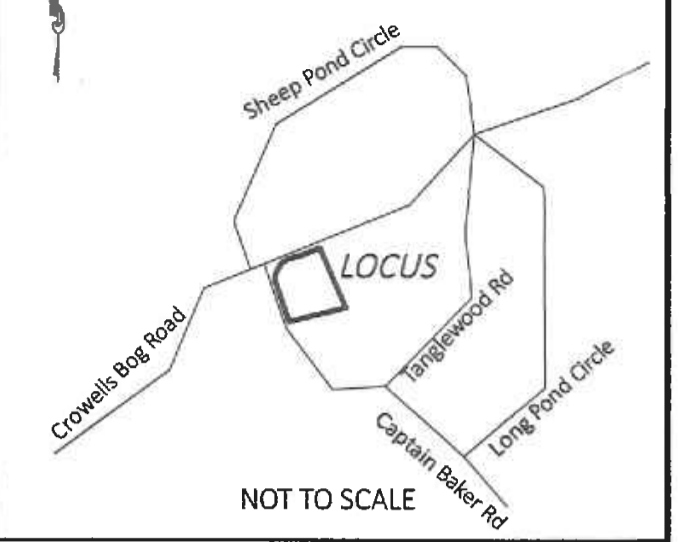
**EXISTING CONDITION PLAN**  
 5 TANGLEWOOD ROAD, BREWSTER, MA ASSR'S MAP 73, PARCEL 86

**J.M. O'REILLY & ASSOCIATES, INC.**  
 Professional Engineering & Land Surveying Services

1573 Main Street - Route 6A  
 P.O. Box 1773  
 (508)896-6601 Office Brewster, MA 02631 (508)896-6602 Fax

DATE: 3-20-2023	SCALE: As Noted	BY: jmo	CHECK: JMO	JOB NUMBER: JMO-9466
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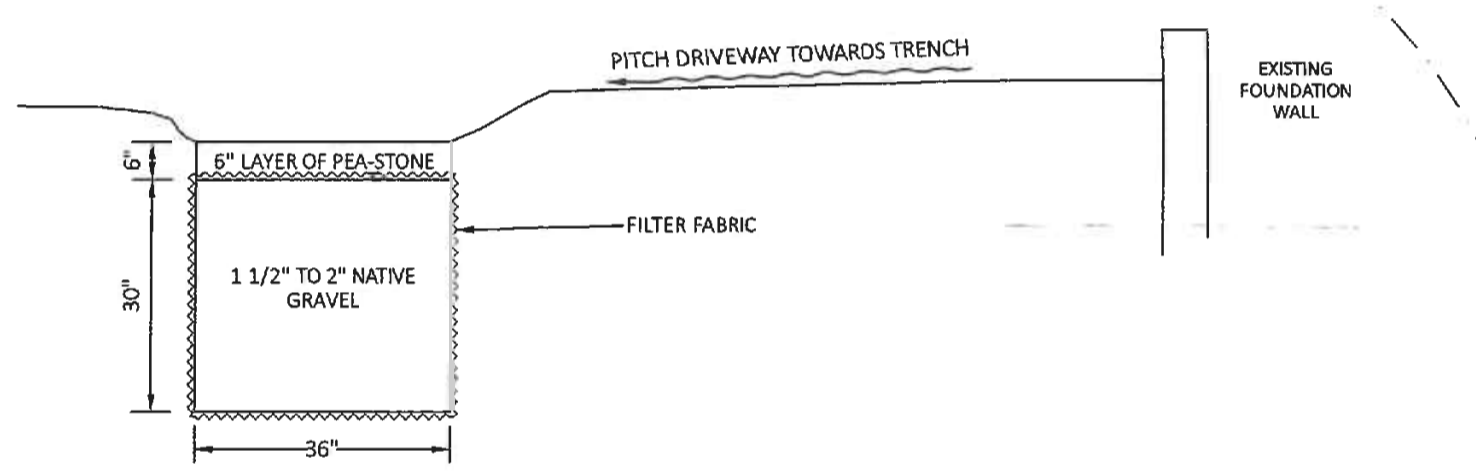
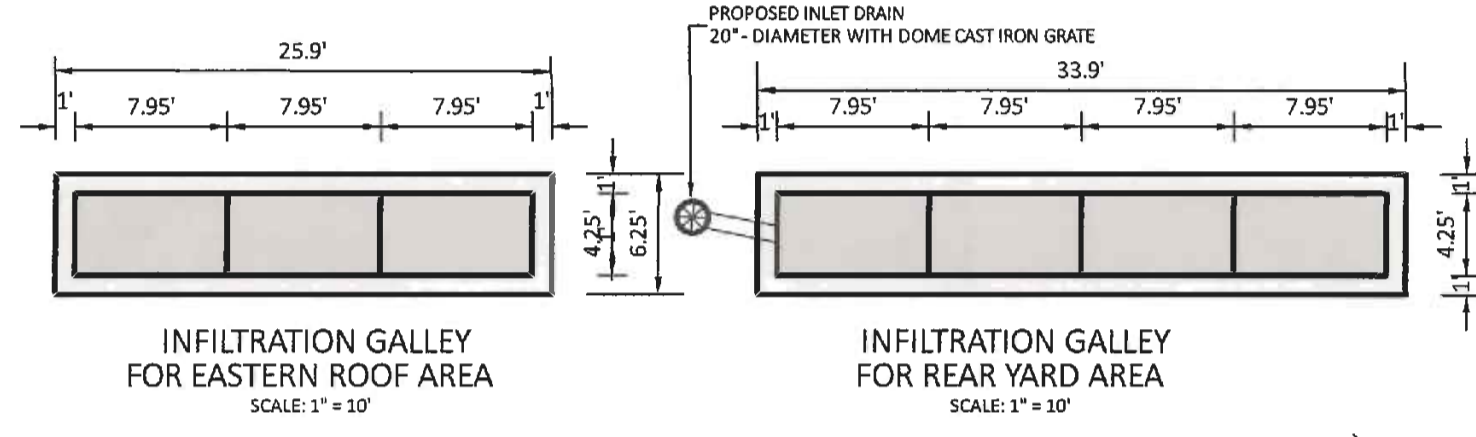
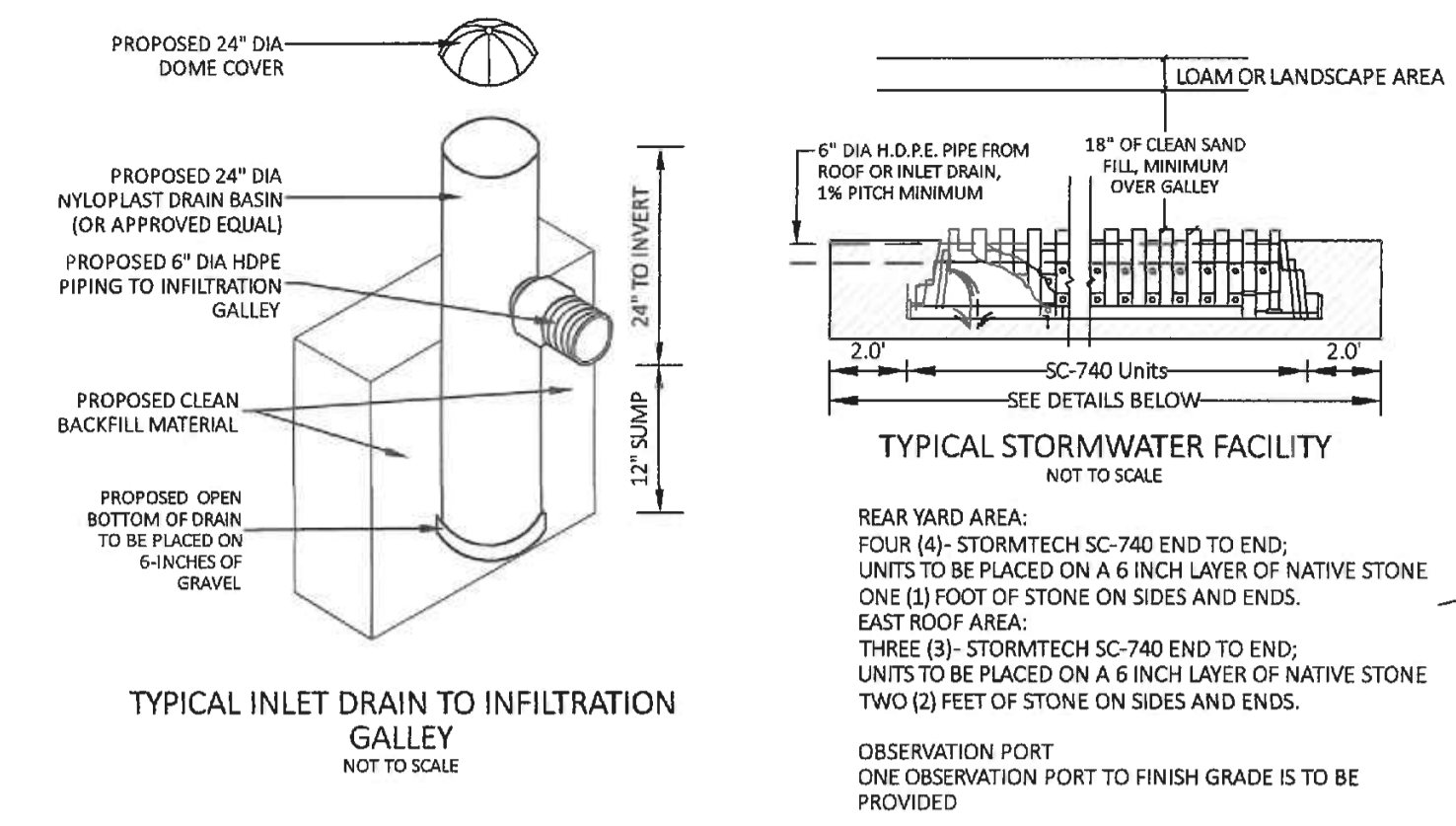




LCC 31810  
DEED BOOK 34771  
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PAGE 269  
PARCEL 86

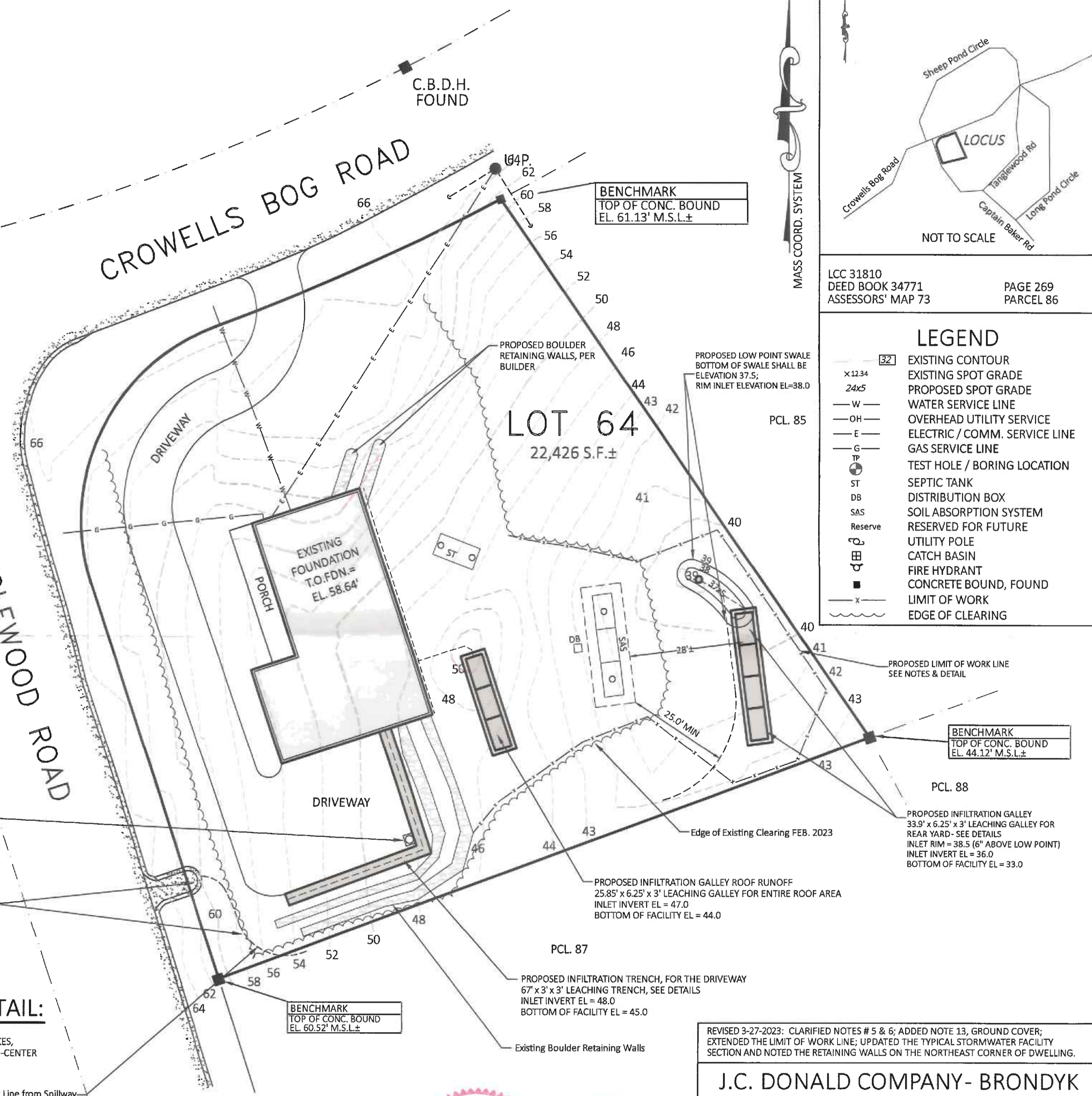
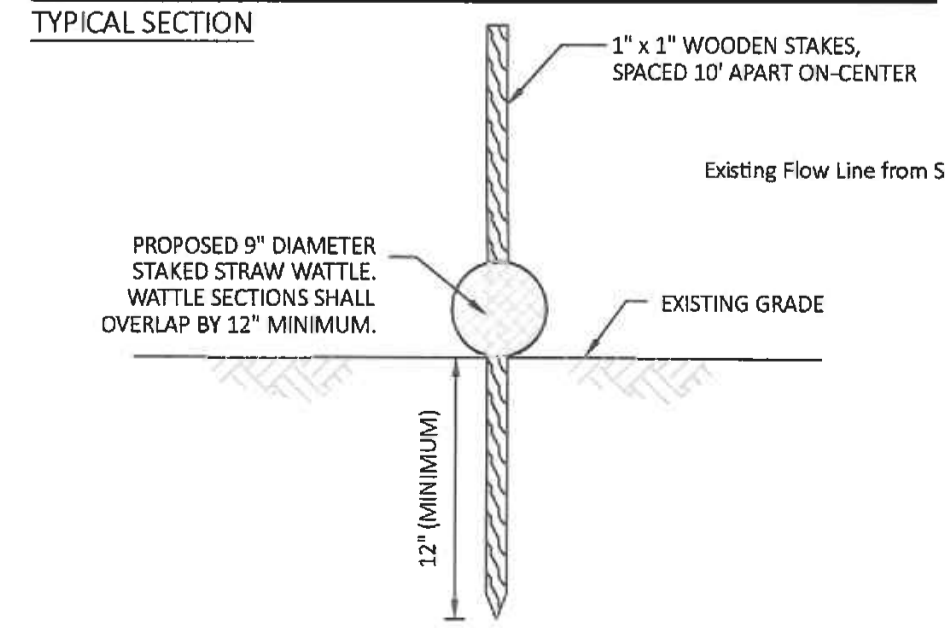
**LEGEND**

- EXISTING CONTOUR
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- WATER SERVICE LINE
- OVERHEAD UTILITY SERVICE
- ELECTRIC / COMM. SERVICE LINE
- GAS SERVICE LINE
- TEST HOLE / BORING LOCATION
- SEPTIC TANK
- DISTRIBUTION BOX
- SOIL ABSORPTION SYSTEM
- RESERVED FOR FUTURE
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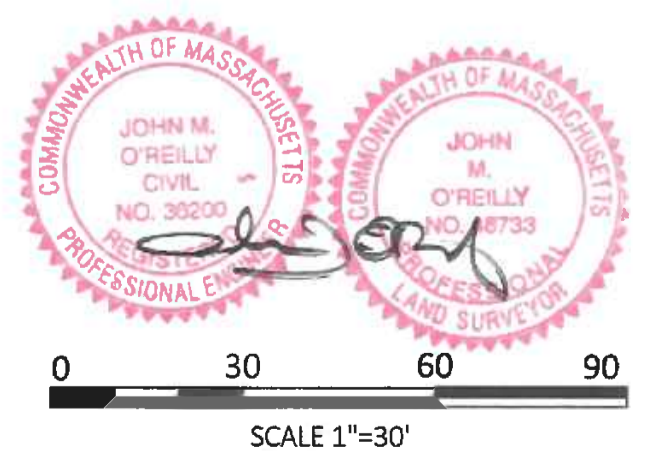


- STORMWATER FACILITY NOTES:**
- GENERAL:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, LOCATING AND PROTECTING ALL ABOVE AND BELOW GROUND UTILITIES PRIOR TO AND DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT DIG-SAFE, ON-TARGET LOCATING, WATER DEPARTMENT AND ALL OTHER NECESSARY UTILITY COMPANIES FOR THE MARKING OF ALL PUBLIC AND PRIVATE UTILITIES.
  - ALL WORKMANSHIP PROVIDED SHALL BE IN CONFORMANCE WITH THE TOWN OF BREWSTER D.P.W. SPECIFICATIONS AND REQUIREMENTS.
  - ALL COMPONENTS SHALL BE SUBJECT TO WHEEL LOADS, UNLESS SPECIFICALLY IDENTIFIED ON THE PLAN DETAILS.
  - ANY MODIFICATIONS AND/OR DEVIATIONS FROM THE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT ENGINEER AND/OR THE TOWN.
- ROOF RUNOFF:**
- & 6.) THE RUNOFF FROM THE ROOF AREA SHALL BE COLLECTED BY GUTTERS, DOWNSPOUTS AND 6" DIA. HDPE PIPE TO THE SUBSURFACE 25.85' x 6.25' x 3.0' LEACHING GALLEY.
- DRIVEWAY:**
- THE PROPOSED DRIVEWAY WILL BE GRAVEL. THE DRIVEWAY SHALL BE CONSTRUCTED TO PITCH TOWARDS THE 67' x 3' x 3' INFILTRATION TRENCH.
  - THE EXISTING CATCH BASIN WITHIN THE DRIVEWAY AREA IS TO BE RE-PLUMBED TO DRAIN TO THE INFILTRATION TRENCH. CONTRACTOR SHALL COORDINATE THE PIPING AND IT SHALL BE INSPECTED BY DESIGN ENGINEER.
- SOIL:**
- THE LEACHING FACILITIES FOR THE STORMWATER SHALL BE SET INTO THE MEDIUM TO COARSE SAND MATERIAL OR THE LOAMY SAND MATERIAL (C' LAYERS) AS SHOWN ON THE SOIL LOGS FOR THE SEWAGE SYSTEM DESIGN. DESIGN ENGINEER SHALL INSPECT THE SOIL CONDITIONS PRIOR TO INSTALLING THE LEACHING FACILITIES.
- LIMIT OF WORK LINE:**
- THE LIMIT OF DISTURBANCE FOR THE CONSTRUCTION OF THE DWELLING SHALL BE AS SHOWN ON THE PLAN VIEW.
  - THE LIMIT OF WORK LINE SHALL BE A ROW OF 9-INCH STRAW WATTLES, SECURED TO THE GROUND WITH STAKES.
  - CONTRACTOR SHALL HAVE EXTRA STRAW WATTLES ON SITE SO AS TO MITIGATE AND / OR REPAIR THE LIMIT OF WORK LINE AND POTENTIAL SOIL WASHOUT.
- GROUND COVER:**
- ALL DISTURBED AREAS ARE TO BE STABILIZED BY COVERING THE AREAS WITH A 4-INCH LAYER OF LOAM, RAKED SMOOTH AND THEN SEEDED WITH A DROUGHT TOLERANT GRASS SEED MIX OR LANDSCAPED TO ADDRESS THE SOIL STABILITY AND TO MITIGATE EROSION AND WASHOUT INTO THE PROPOSED GRASSED SWALE.

**WATTLE/EROSION CONTROL DETAIL:**



**NOTE:**  
EXISTING CONDITIONS AS SHOWN WERE TAKEN FROM THE SITE AND SEWAGE SYSTEM PLAN AS PREPARED BY J.C. ELLIS DESIGN. PLEASE REFER TO THE SITE & SEWAGE SYSTEM PLAN FOR PROPOSED GRADING.



REVISED 3-27-2023: CLARIFIED NOTES # 5 & 6; ADDED NOTE 13, GROUND COVER; EXTENDED THE LIMIT OF WORK LINE; UPDATED THE TYPICAL STORMWATER FACILITY SECTION AND NOTED THE RETAINING WALLS ON THE NORTHEAST CORNER OF DWELLING.

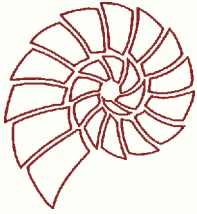
**J.C. DONALD COMPANY - BRONDYK**  
167 CRANBERRY HIGHWAY, ORLEANS, MA 02653

**SITE PLAN - STORMWATER DESIGN**  
5 TANGLEWOOD ROAD, BREWSTER, MA ASSR'S MAP 73, PARCEL 86

**J.M. O'REILLY & ASSOCIATES, INC.**  
Professional Engineering & Land Surveying Services

1573 Main Street - Route 6A  
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Brewster, MA 02631 (508)896-6601 Office (508)896-6602 Fax

DATE:	SCALE:	BY:	CHECK:	JOB NUMBER:
3-20-2023	As Noted	jmo	JMO	JMO-9466



# J.M. O'REILLY & ASSOCIATES, INC.

PROFESSIONAL ENGINEERING, LAND SURVEYING & ENVIRONMENTAL SERVICES

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Site Development • Property Line • Subdivision • Sanitary • Land Court • Environmental Permitting

## STORMWATER MANAGEMENT REPORT AND OPERATIONS & MAINTENANCE MANUAL

J.C. DONALD COMPANY  
BRONDYK RESIDENCE  
5 TANGLEWOOD ROAD, BREWSTER, MA

March 22, 2023

**PREPARED FOR:**

J.C. Donald Company  
167 Cranberry Highway  
Orleans, MA 02653

**PREPARED BY:**

J.M. O'REILLY & ASSOCIATES, INC.  
1573 MAIN STREET  
P.O. BOX 1773  
BREWSTER, MA 02631  
508-896-6601

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1. Property Description and Information
2. Stormwater Management System Description
3. Massachusetts Stormwater Management Design Standards
4. Owner and Responsible Party
5. Schedule of Inspection and Maintenance of System
6. Long Term Lawn Care & Pollution Prevention Plan
7. Emergency Spill Cleanup Plan
8. APPENDICES

APPENDIX A – TSS Removal Calculation Sheets

APPENDIX B - HydroCAD Modeling Reports

**Property Description:**

- Lot Area:** 22,426 sf+/-)
- Parcel Improvements:** The site is to be developed with a new single family dwelling, retaining walls and driveway. Site is currently under construction for the new dwelling.
- Wetlands:** There are no wetlands within 100 feet of the parcel.
- Soils:** The NRCS Soil Survey places the parcel within the Carver Sand 252D area as reflected on MA Mapper. Soil testing completed for the sewage system found clean sands.
- Groundwater:** The soil testing on site identified no groundwater was observed down to elevation 29.4+/-
- Zone II:** The parcel is NOT located within a Zone II Groundwater Recharge mapped area.
- Topography:** The topography is sloping to the northeast down towards a low point just to the southeast of the locus. The high point elevation of the parcel, adjacent of the roadway, is about elevation 66 with a low point adjacent to the roadway of about elevation 40
- Site Conditions:** The existing lot is cleared and under construction.

**Stormwater Management System Description:**

The proposed post-development stormwater management plan consists of three (3) separate stormwater systems that together have been designed to retain and attenuate stormwater runoff from all impervious and landscaped surfaces on the site, including the paved driveway, dwelling, Landscaped Areas, Lawn Areas and Natural Areas. Stormwater systems have been designed to meet the 100-year storm event.

The driveway area is being controlled with a stone infiltration trench, adjacent to the drive and existing boulder retaining walls. The driveway will be gravel and will be graded to run towards the leaching trench. From the Basin, the stormwater flows into a subsurface leaching facility. The driveway will be constructed to slope towards the grassed swale. All disturbed areas will be seeded with a drought tolerant seed mixture or landscaped planting beds. The planting beds shall be designed to accept water and not discharge water.

The roof runoff will be controlled by a subsurface leaching galley. The leaching galley is designed for the 100 year storm.

The remaining rear yard area and patio at the rear of the dwelling is proposed to be controlled by a grassed swale and a subsurface leaching galley. The swale and the subsurface leaching galley is designed for the 100 year storm and will address the nutrient and TSS Loading requirements.

As shown in the HydroCAD Modeling report, all three of the stormwater systems are designed to collect and retain all runoff from their contributory areas for the 100 year storm event. Accordingly, the site's overall peak discharge rate is reduced relative to the Pre-Development discharge rate for the 2, 10, 25

and 100 year storm events. The table below provides a comparison of the site-wide Pre- to Post-Development peak discharge rate for each storm event.

Storm Event	Pre-Development Peak Discharge Rate, cubic feet per second (ft <sup>3</sup> /sec)	Post-Development Peak Discharge Rate, cubic feet per second (ft <sup>3</sup> /sec)
2 year	0.00	0.00
10 year	0.00	0.00
25 year	0.00	0.00
100 year	0.10	0.00

For HydroCAD modeling analysis of the stormwater systems, the following methods and assumptions were used:

- Simple Dynamic
- Rawls Rate of 8.27 in/hr for sands within the subsoil layers for subsurface leaching galleys.
- Rawls Rate of 2.41 in/hr for the loamy sands in the upper soil layers for dry water quality swales.
- Volume capacity of dry water quality swales excluded from peak discharge and recharge calculations.
- 1.0' freeboard provided for all swales above catch basin rim elevation.
- Exfiltration has been assumed to occur along wetted surface area of bottom and walls/slopes.

**Stormwater Management System Specifications by Contributory Area:**

Stormwater System A (Driveway – All Disturbed Areas within L.O.W. Line):

- Runoff from gravel driveway is to be directed via grading and sloped driveway into a stone leaching trench.
- Landscaped and natural areas within the driveway area. Line will flow directly into the swale.
- Overflow from the swale enters into a subsurface leaching facility consisting of ONE(1): 67'x3'x3' Leaching Trench has been sized to retain 100 year storm runoff of the driveway area. Any addition stormwater runoff, beyond the driveway, will eventually be collected and disposal of with the rear swale and leaching facility.

Stormwater System B (Roof Runoff):

- Roof runoff from the proposed dwelling will be connected to the subsurface leaching galley. Connection shall be made via gutters, downspouts and subsurface piping. All roof area shall be collected and pipe to the rear of the dwelling, as shown on Plan. Piping shall be 6-inch Diameter H.D.P.E. pipe and pitched at a minimum of 1% slope.

Stormwater System C (Rear portion of Parcel including a future 18'x20' patio):

- The landscape area, including a future 20'x18' patio, in the rear of the dwelling will be graded and pitched towards the proposed grassed swale. The grasses swale along with the

subsurface leaching galley are design to be the final catchment and disposal area of the parcel. The grassed swale is taking advantage of the lower topography and will mitigate and potential off site runoff of stormwater.

- The swale and subsurface leaching galley are also designed for the 1000-year storm event.

#### **Erosion Control Plan - Temporary Siltation Barrier & Silt Socks:**

- The erosion controls shall include a row of staked 9-inch straw wattles surrounding the down gradient areas to be disturbed. Refer to Plan Notes for location of the straw wattles.
- Once installed and grade, the outlet from the swale shall be protected from siltation using filter fabric or straw wattles.
- The erosion controls shall be monitored and corrected during the entire construction phase and until the site has been stabilized with ground cover and the proposed landscape.
- Contractor shall be required to provide extra siltation controls in case a repair is needed to the straw wattles and/or catch basin filter fabric.

Operation and maintenance plan is included herewith to address the long-term maintenance of the stormwater systems.

### **Massachusetts Stormwater Management Design Standards:**

The following is a description of how the proposed project meets the Massachusetts Stormwater Handbook design standards.

#### **Standard 1: No new untreated discharges:**

This standard is met since there are no new untreated stormwater discharges proposed. See Standards 4-6 calculations.

#### **Standard 2: Maintain Pre-development peak discharge rate:**

This standard has been met. All stormwater management systems are sized such that the post development peak discharge rate for the development site does not exceed the pre-development discharge rate for the 2 year-24 hour; 10 year-24 hour; 25 year-24 hour; and 100 year-24 hour storm events.

As shown in the HydroCAD Modeling report, the site's overall peak discharge rate is reduced relative to the Pre-Development discharge rate for the 2, 10, 25 and 100 year storm events. The Post-Development 100-year Storm Peak Discharge Rate relative to Pre-Development conditions has decreased from 0.10 CFS to 0.00 CFS.

#### **Standard 3: Groundwater Recharge:**

This standard is met. The proposed stormwater management systems are sized so that the total recharge volume provided exceeds the minimum groundwater recharge volume specified in the handbook and the proposed stormwater recharge galleys will drawdown within 72 hours of a storm event. In accordance with the MA Stormwater Manual, the required recharge volume factor (F) required across the impervious area (A) is 0.6 inches per hour for hydraulic soil group A soils. Fine Sand (Rawls Rate: 8.27 inches per hour) has been used in the sizing of the stormwater recharge galleys. Refer to the HydroCAD Stormwater Modeling Report in Appendix. The required recharge volume is calculated based on the total pavement and roof areas on site.

- Required Recharge Volume  $R_v = F \times A = (0.6 \text{ in})(1 \text{ ft}/12 \text{ in})(5,060 \text{ sf}) = 253 \text{ cf}$  (Roof & Driveway)
- Recharge Storage Provided (Subsurface leaching facilities) = 657 cf > 253.0 cf
- The drawdown for the subsurface leaching facilities for the driveway/parking system and roof runoff is 12.3+/- hours < 72 hour maximum allowance.

#### **Standard 4: Water Quality:**

This standard has been met. The roof runoff stormwater system will remove 80% of the annual load of Total Suspended Solids (TSS) via subsurface leaching facilities. The main stormwater system serving the driveway provides 80% TSS pretreatment removal of driveway runoff, and 94% total removal of landscaped areas runoff. TSS removal calculation tables for roadway and roof runoff are included in the Appendix. The Appendix includes two TSS calculation sheets, Driveway and also Rear Landscaped Area.

Phosphorus (P) reductions are estimated based on the pre-treatment dry swale and the stone leaching facility, using the lowest percentages allowed by each facility, 20% & 40%, respectively, we estimate Phosphorus removals at 60%. Due to the lot topography and the limited (level) area around the driveway

area, the phosphorous removal is closer to 40%, given only providing the subsurface trench disposal. However, the design does include a grassed swale for nutrient uptake at the low point of the parcel. The majority of phosphorous will be from the landscaped and grassed areas in the rear of the dwelling and will be address by the proposed to reach the 60% removal with the proposed grassed swale and subsurface leaching facility.

If the Planning board requires full compliance, we would kindly request a waiver from the nutrient removal. We believe the site does qualify since there are not wetlands within 1000 feet of the parcel and the parcel is not in a Zone II.

In accordance with the MA Stormwater Manual, the required water quality depth (Dwq) across the impervious area (A) is 1.0 inches per hour in areas containing soils with rapid infiltration rate greater than 2.4 in/hr. The required water quality volume is based on the total pavement area on site.

- Required Water Quality Volume  $V_{wq} = Dwq \times A = (1.0 \text{ in})(1 \text{ ft}/12 \text{ in})(3,060 \text{ sf}) = 255 \text{ cf}$  (pavement)
- Water Quality Storage Provided (water quality swales, total) = 2,051 cf > 357 cf

Standard 5: Land uses with higher potential pollutant loads:

This standard has been met. The proposed use is a residential building.

Standard 6: Stormwater discharges within Zone II or Interim Wellhead protection area of a public water supply and stormwater discharges near or to any critical area.

This standard has been met. Not Applicable as the site is not in a Zone 2 for a Drinking Water Well. The 1/2 inch Required Water Quality Volume for discharges within a Groundwater Protection area has been met, see Standard 4 calculations.

Standard 7: Redevelopment:

This standard is not applicable given the new development.

Standard 8: Construction Erosion Control Plan:

The project is subject to the proposed erosion control plan as outlined on the plan. Straw wattles shall be implemented as required to mitigate erosion of soil.

Standard 9: Long Term Operation and Maintenance Plan:

A long-term O&M plan has been submitted with this report, refer to Appendix. The property owners will operate and maintain the stormwater systems.

Standard 10: Illicit Discharges:

This standard is met since there are no illicit discharges at this site and no illicit discharges proposed.



## **Owner and Responsible Party**

The owner and responsible party for Stormwater Pollution Control at 5 Tanglewood Road, Brewster, MA

### Owner & Operator:

William & Laura Brondyk  
52 Darby Drive  
Masfield, MA 02048

## **Schedule of Inspection and Maintenance of Stormwater Management Systems**

1. All stormwater systems require regular attention to ensure the effectiveness of the systems. It is recommended that the drainage systems be inspected annually by a stormwater operation and maintenance professional to ensure that the system is properly maintained. Any deterioration threatening the structural integrity of the system shall immediately be repaired.
2. Gravel areas shall be inspected to remove debris and good housekeeping measures should be implemented throughout the site in order to keep paved areas, gutters, downspouts, drain lines and grassed swale clean of debris.
3. All subsurface leaching facilities shall be inspected at least twice a year. Any debris that may clog the system must be removed.
4. The grassed swales shall be inspected and mowed as needed to prevent excessive growth under control. Inspect the grass side slopes and bottom for signs of erosion and formation of gullies. Remove accumulated trash, debris and silt as needed and at time of inspection.

Estimate of annual operation and maintenance budget for common areas = \$ 500.00

## **Long Term Lawn Care & Pollution Prevention Plan**

### **Description of Pollutant Sources:**

- Light vehicle traffic – residential development
- Lawn care products

### **Source Control Best Management Practices**

- There shall be no storage of items or materials which will be subject to the weather.
- Good housekeeping measures shall be implemented throughout the site in order to keep the driveways clean of debris.
- Regularly sweep paved areas to remove debris and any other potential stormwater pollutants.
- The use of winter de-icing sand and salt materials shall be minimized to the maximum extent practicable.
- Winter de-icing sand and salt materials shall be stored indoors.
- Snow storage shall be on paved surfaces.
- Immediately clean up any spillage on paved areas and dispose of wastes properly.

**Emergency Spill Cleanup Plan**

- 1. The owner of the facility shall have a designated person with overall responsibility for spill response cleanup.
  
- 2. In the event of a spill the following shall be notified:
  - A. Brewster Fire Department (508) 896-1708  
(for a gasoline or hazardous material spill) 911
  - B. Massachusetts D.E.P. Emergency Response (800) 304-1133
  - C. Brewster Health Department (508) 896-3701 ext. 1120
  
- 3. Cleanup of spills shall begin immediately.



INSTRUCTIONS:

Version 1, Automated: Mar. 4, 2008

1. In BMP Column, click on Blue Cell to Activate Drop Down Menu
2. Select BMP from Drop Down Menu
3. After BMP is selected, TSS Removal and other Columns are automatically completed.

Location: DRIVEWAY

	B	C	D	E	F
	BMP <sup>1</sup>	TSS Removal Rate <sup>1</sup>	Starting TSS Load*	Amount Removed (C*D)	Remaining Load (D-E)
<b>TSS Removal Calculation Worksheet</b>	Subsurface Infiltration Structure	0.80	1.00	0.80	0.20
		0.00	0.20	0.00	0.20
		0.00	0.20	0.00	0.20
		0.00	0.20	0.00	0.20
		0.00	0.20	0.00	0.20

**Total TSS Removal =**

80%

Separate Form Needs to be Completed for Each Outlet or BMP Train

Project: 5 TANGLEWOOD ROAD  
 Prepared By: JM OREILLY  
 Date: 3/22/2023

\*Equals remaining load from previous BMP (E) which enters the BMP

**INSTRUCTIONS:**

Version 1, Automated: Mar. 4, 2008

1. In BMP Column, click on Blue Cell to Activate Drop Down Menu
2. Select BMP from Drop Down Menu
3. After BMP is selected, TSS Removal and other Columns are automatically completed.

Location:

	B	C	D	E	F
	BMP <sup>1</sup>	TSS Removal Rate <sup>1</sup>	Starting TSS Load*	Amount Removed (C*D)	Remaining Load (D-E)
<b>TSS Removal Calculation Worksheet</b>	Water Quality Swale - Dry	0.70	1.00	0.70	0.30
	Subsurface Infiltration Structure	0.80	0.30	0.24	0.06
		0.00	0.06	0.00	0.06
		0.00	0.06	0.00	0.06
		0.00	0.06	0.00	0.06

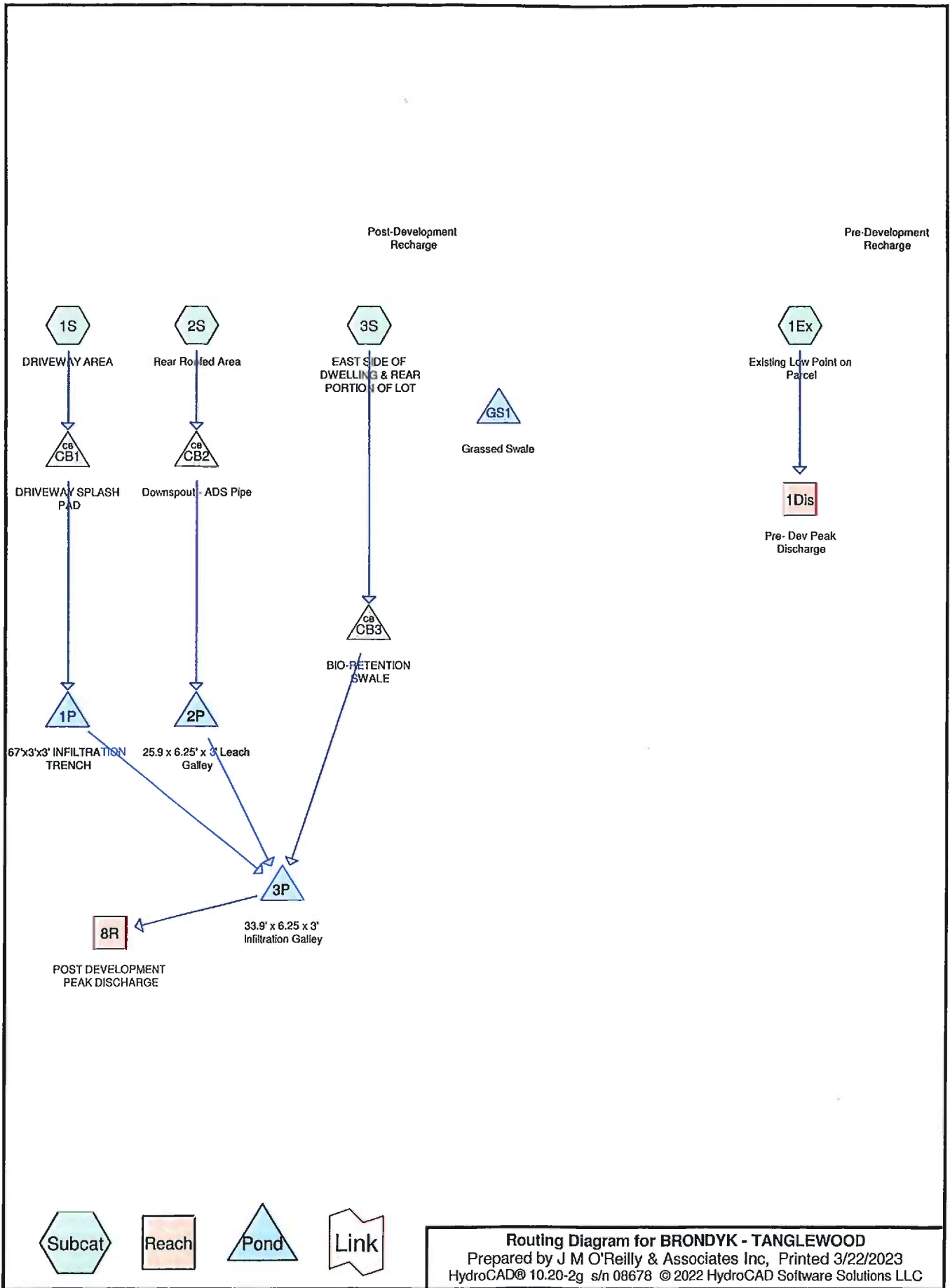
**Total TSS Removal =**

**Separate Form Needs to be Completed for Each Outlet or BMP Train**

Project:   
 Prepared By:   
 Date:

\*Equals remaining load from previous BMP (E) which enters the BMP



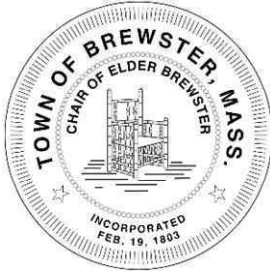


**Routing Diagram for BRONDYK - TANGLEWOOD**  
 Prepared by J M O'Reilly & Associates Inc, Printed 3/22/2023  
 HydroCAD® 10.20-2g s/n 08678 © 2022 HydroCAD Software Solutions LLC

**MAJOR STORMWATER MANAGEMENT PERMIT**  
**CASE NO. 2023-11**

**APPLICANT/OWNER: MICHAEL AND MARY SHARON**  
**PROPERTY: 393 PAINES CREEK ROAD**





# Town of Brewster

2198 Main Street  
Brewster, MA 02631-1898  
Phone: (508) 896-3701 x. 1133

Office of:  
Planning Board  
Planning Dept.

## STAFF REPORT

**TO:** Planning Board  
**FROM:** Jon Idman, Town Planner  
**RE:** Major Stormwater Permit SWMP23-11  
393 Paines Creek Road (Map 37 Parcel 6)  
Applicant, M/M Sharon c/o JM O'Reilly & Associates, Inc.  
**DATE:** March 31, 2023

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### Recommendation

The stormwater permit application meets the applicable performance standards and submission requirements set out in the town's Stormwater Management Regulations for issuance and approval of a Major Stormwater Permit.

Approval should be granted subject to the continuing obligations set out in said Regulations, including Sections 5.7, 5.8, 5.9 (Certificates of Compliance), 6.1B (Construction practices), Section 7.2 (Inspections), 8.3 (Recording of stormwater permit and O&M plan) and 8.5 therein.

### Major Stormwater Management Permit

This project triggers a Stormwater Permit under Chapter 272 of the Brewster Code (Stormwater Management Bylaw) and according to Section 4 of the Bylaw's supporting regulations, a Major Stormwater Permit is required because the project involves net new impervious surface of 2500 sq ft or greater.

The underlying project is redevelopment of a single-family residential property, including razing and replacing the residence and relocating the driveway. The northern portion of the site is proposed to remain as-is, in its current vegetated state. The property slopes from north to south. Paines Creek Road abuts the property to the east.

The property is not subject to wetlands jurisdiction and none of the property is located in a special flood hazard area. The property is not located in a Zone II or the DCPC.

Because the development project, including the stormwater management system, is not located within wetlands jurisdiction, the Planning Board is the stormwater permitting authority. Major Stormwater Permits are subject to review at a public meeting, including for any waivers requested. No waivers have been requested or identified as necessary.

The Applicant has provided the required application materials for a Major Stormwater Permit, including a site plan and Stormwater Management and Hydrologic Report (revised dated 3/31/23), as set out in Appendix B of the Stormwater Management Regulations.

- Proposed stormwater site plan entitled "Sharon Residence, c/o Jim Hagerty, Reef, Cape Cods Home Builder, PO Box 186, Dennis, MA 02670, Proposed Site & Sewage Disposal System Design, 393 Paines Creek Road, Brewster, MA," prepared by JM O'Reilly & Associates, Inc., revised dated 3/31/23 and stamped by John M. O'Reilly, PE, PLS.

The Applicant has provided construction-period BMPs in an erosion and sedimentation control plan consistent with the performance standards for Major Stormwater Permits set out in Section 6.1B of the Stormwater Management Regulations. Plan elements include straw wattles, a gravel construction drive, erosion control blankets as needed and protection of catch basins or other stormwater facility inlets.

The post-construction stormwater management system for the site consists of a 3-chamber, subsurface leaching facility; deep sump catch basins; and a grass swale.


1. The run-off from the easterly portion of the roof will be directly piped to the leaching chambers.
2. Sheet-flow from the gravel driveway will enter a catch basin and then will be piped to the grass swale via rip rap. There is a catch basin in the swale that will then convey run-off to the leaching chambers.
3. Run-off from the westerly portion of the roof will be piped to a catch basin in the western portion of the site along with other run-off from the westerly portion of the site, and will then be piped to the leaching chambers.
4. The swale will also pick-up sheet flow from the rear/ south portion of the site, which will then be conveyed through a catch basin to the leaching chambers.

The Applicant has provided a corresponding Operations and Maintenance Manual. These post-construction BMPs are consistent with the Major Stormwater Permits performance standards for new construction set out in Section 6.2B and Section 8.2 of the Stormwater Management Regulations:

- The system meets the applicable standards in the Massachusetts Stormwater Handbook for the development.
- The system was designed under post-development conditions to recharge on-site all peak discharges for the 2, 10, 25 and 100-year storm events.
- As designed, post-development runoff rates are reduced to less than the pre-development conditions including for the 100-year storm.
- The O&M plan deals with long term maintenance of all post-construction BMPs such as the subsurface recharge system and water quality treatment swale.
- The system incorporates Low Impact Development-type (LID) stormwater design elements, specifically a water quality treatment swale.
- In addition to the MA handbook stormwater standards, the system meets the TSS and Phosphorus treatment requirements (TSS) set out in the Regulations for the development.
- The system is designed to hold and treat the ‘first flush’ of site stormwater run-off volume for the 100 yr storm.
- The Applicant’s soil tests on the property, and NRCS mapping, have revealed appropriate, draining soils.
- The stormwater leaching facilities have sufficient freeboard above the groundwater table.



Town of Brewster  
Code Chapter 272  
Stormwater Management Permit  
Application Form

**FOR TOWN OFFICIAL USE ONLY**  
**TOWN CLERK RECEIVED:**  
  
**SWM PERMIT NUMBER ASSIGNED:**  
 SWMP 2023-11

1. Project Location:

393 Paines Creek Road

Street Address

Map 37 Parcel 6

Assessors Map and Parcel(s)

Book 23288 Page 278

Deed Reference

2. Applicant:

Michael J. & Mary P. Sharon

Name

4 Leslie Road, Winchester, MA 01890

Legal Mailing Address

\_\_\_\_\_  
Phone Number

\_\_\_\_\_  
Email Address

3. Property Owner (if different than Applicant):

\_\_\_\_\_  
Name

\_\_\_\_\_  
Legal Mailing Address

\_\_\_\_\_  
Phone Number

\_\_\_\_\_  
Email Address

4. Professional Representative:

Matthew T. Farrell, EIT & John O'Reilly, PE, PLS

Name

PO Box 1773, Brewster, MA 02631

Legal Mailing Address

508 896 6601

Phone Number

mfarrell@jmoreillyassoc.com, joreilly@jmoreillyassoc.com

Email Address

5. Type of Application (Check as applicable):

\_\_\_\_\_ **Minor Stormwater Permit-** Any combination or series of construction or land disturbance activities that, over a two-year period, will result in a net increase in impervious area of 500 sq.ft. to 2,500 sq.ft. and/or will result in land disturbances of 10,000 sq.ft. to 20,000 sq.ft.

X **Major Stormwater Permit-** Any alteration, disturbance, development, or redevelopment that does not meet the eligibility criteria for a Minor Stormwater Permit.

\_\_\_\_\_ **SWM Permit Amendment-**  
List existing Stormwater Management permit number/ type \_\_\_\_\_.

\_\_\_\_\_ **Stormwater Management Certificate of Compliance (SMCC) Request-**  
List relevant Stormwater Management permit number \_\_\_\_\_.

6. Brief Project Description, including any waiver requests:

The property was developed in 1930, with a single family dwelling, septic and shell driveway. Proposal is to remove the aging cottage and construct a new single family dwelling, including new pervious driveway, up to date sewage disposal system and Stormwater Drainage Design meeting Chapter 272, Brewster Stormwater Management Bylaw.

7. Signatures:

\_\_\_\_\_  
Applicant Date

\_\_\_\_\_  
Property Owner (if different than Applicant) Date

  
Professional Representative (as applicable) MATTHEW T. FARRELL Date 3-24-2023

**NOTES:**

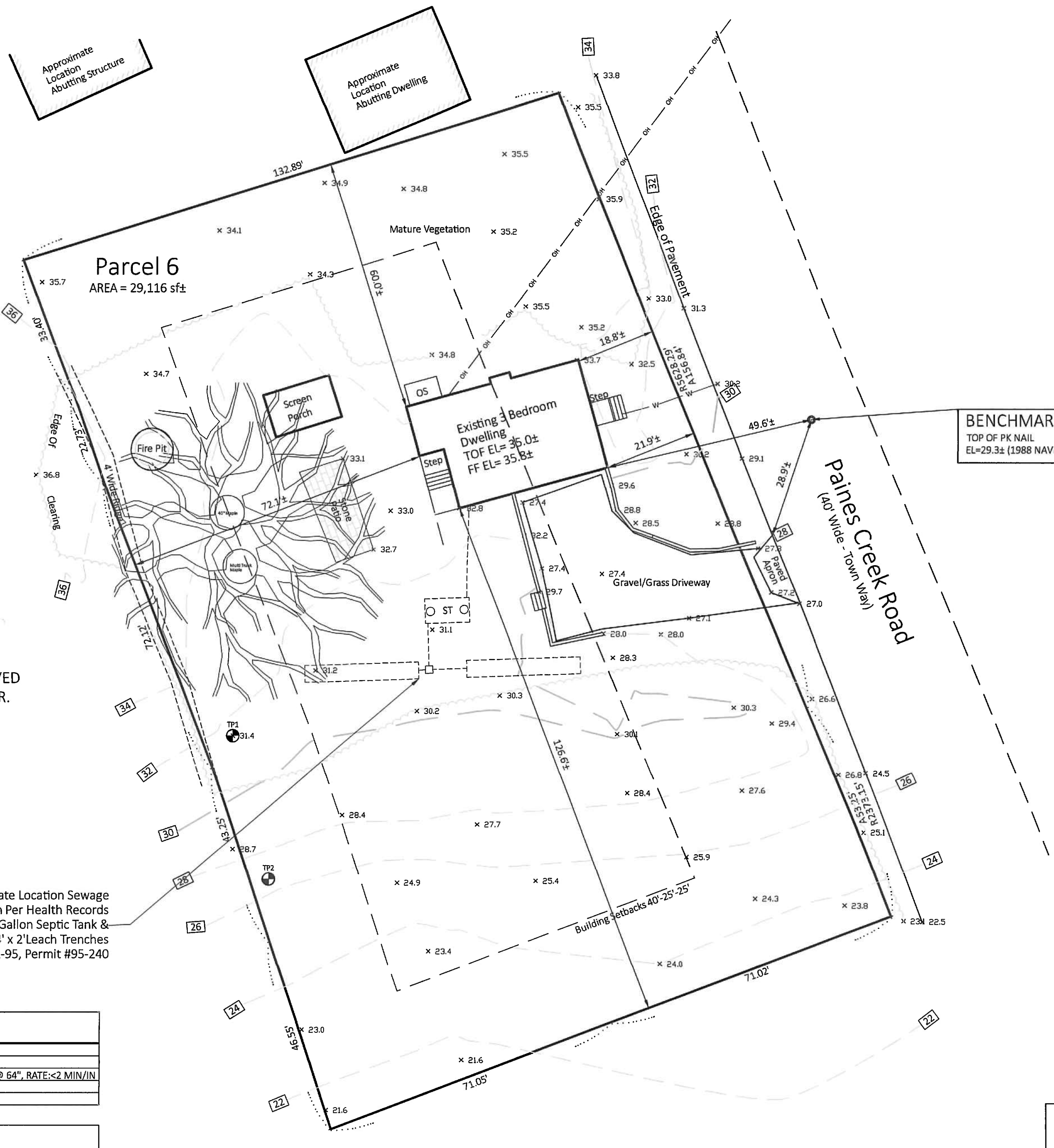
- Please refer to Appendix B of the Stormwater Management Regulations for detailed application submittal and supporting material requirements for Minor and Major Stormwater Management Permits, respectively.
- The application fee schedule is contained in Appendix C of the Regulations.
- Certain activities are exempt from review and permitting (See §272-6 of the Stormwater Management Bylaw).
- If the project is located, in whole or part, within an area subject to state or local wetlands protection law, the review and permitting authority is the Brewster Conservation Commission/ Conservation Department.
- No permit review shall occur nor shall review periods commence until the application is deemed complete.

### ZONING TABLE

ZONE: (RESIDENTIAL)	RM (Residential)
FRONT YARD SETBACK	40 FEET
SIDE YARD SETBACKS	25 FEET
REAR YARD SETBACKS	25 FEET
BUILDING HEIGHT	30 FEET
BUILDING HEIGHT	30'
MAX BUILDING COVERAGE	25%
EXISTING BUILDING COVERAGE: Includes House, Steps, & Porch	
$\frac{1,303 \text{ S.F.}}{29,116 \text{ S.F.}} \times 100 = 4.5\%$	

### STORMWATER TABLE

IMPERVIOUS AREAS	SQUARE FEET (SF)
DWELLING	1,042 SF
STEPS	93 SF
SCREEN PORCH	168 SF
STONE PATIO	231 SF
DRIVEWAY	1,238 SF
RETAINING WALL	76 SF
FIRE PIT	79 SF
OUTSIDE SHOWER	40 SF
<b>TOTAL AREA'S</b>	<b>2,967 SF</b>



**PLAN**  
SCALE 1"=20'  
THIS AREA IS SERVED  
BY TOWN WATER.

Approximate Location Sewage System Per Health Records  
1500 Gallon Septic Tank & Two, 27' x 4' x 2' Leach Trenches Installed 5-1-95, Permit #95-240

### SOIL TEST LOGS:

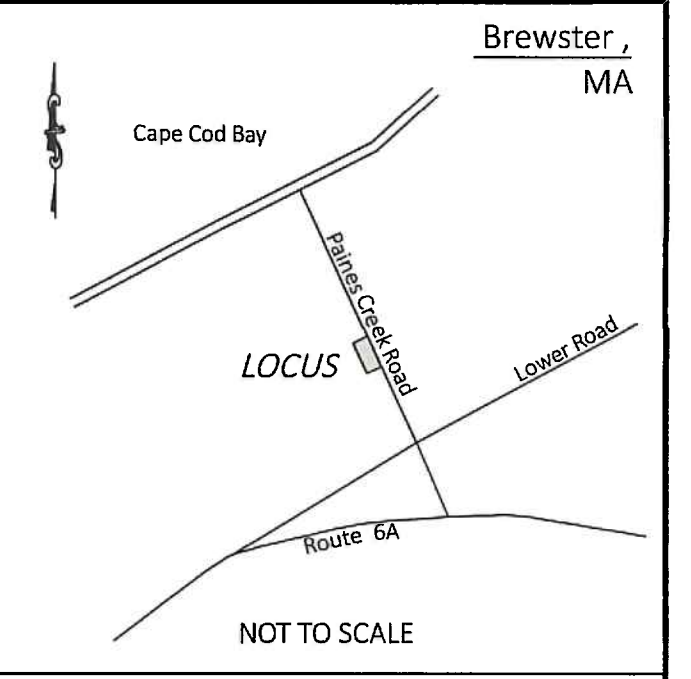
TEST HOLE 1: EL= 31.4±

DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-14"	E	Loamy Fine Sand	10YR2/2	NONE	
14-32"	B	Loamy Fine Sand	10YR5/4	NONE	
32-69"	C1	Fine Sand	10YR6/4	NONE	PERC @ 64", RATE: <2 MIN/IN
69-144"	C2	Medium Sand	10YR6/2	NONE	Loose

TEST HOLE 2: EL= 26.4±

DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-13"	E	Loamy Fine Sand	10YR2/2	NONE	
13-33"	B	Loamy Fine Sand	10YR5/4	NONE	
33-64"	C1	Fine Sand	10YR6/4	NONE	Loose
64-138"	C2	Medium Sand	10YR6/2	NONE	Loose

DATE OF TESTING: 10/4/2022  
PERCOLATION RATE: LESS THAN 2 MIN/INCH IN "C" LAYERS.  
WITNESSED BY: MATT FARRELL, EIT, J.M. O'REILLY & ASSOCIATES, INC.  
SHERRIE MCULLOUGH, AGENT, BREWSTER HEALTH DEPARTMENT  
NO WATER ENCOUNTERED  
USE A LOADING RATE OF 0.74 GPD/SF FOR SIZING OF SOIL ABSORPTION SYSTEM.



PLAN BOOK 327  
DEED BOOK 23288  
ASSESSORS' MAP 37

PAGE 62  
PAGE 278  
PARCEL 6

### LEGEND

- 32 — EXISTING CONTOUR
- - - 32 - - - PROPOSED CONTOUR
- x 12.34 24x5 EXISTING SPOT GRADE
- - - 24x5 - - - PROPOSED SPOT GRADE
- W — WATER SERVICE LINE
- OH — OVERHEAD UTILITY SERVICE
- E — ELECTRIC / COMM. SERVICE LINE
- G — GAS SERVICE LINE
- TP TEST HOLE / BORING LOCATION
- ST SEPTIC TANK
- DB DISTRIBUTION BOX
- SAS SOIL ABSORPTION SYSTEM
- Reserve RESERVED FOR FUTURE
- UP UTILITY POLE
- CB CATCH BASIN
- FH FIRE HYDRANT
- W WELL
- DM DRAINAGE MANHOLE
- CBM CONCRETE BOUND, FOUND
- — — LIMIT OF WORK
- — — FENCE
- — — EDGE OF CLEARING



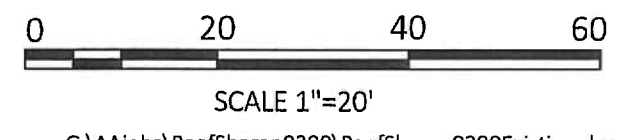
**Sharon Residence**  
c/o Jim Hagerty, Reef, Cape Cods Home Builder, PO Box 186 Dennis, MA 02670

**Existing Condition Site Plan**  
393 Paines Creek Road, Brewster, MA

**J.M. O'REILLY & ASSOCIATES, INC.**  
Professional Engineering & Land Surveying Services

1573 Main Street - Route 6A  
P.O. Box 1773  
Brewster, MA 02631 (508)896-6602 Fax

DATE: 10/25/2022 SCALE: As Noted BY: MTF CHECK: JMO JOB NUMBER: JMO-9390



G:\AA\Jobs\Reef\Sharon9390\ReefSharon9390Existing.dwg

**GENERAL NOTES:**

- A) NEITHER DRIVEWAYS NOR PARKING AREAS ARE ALLOWED OVER SEPTIC SYSTEM UNLESS H-20 COMPONENTS ARE USED.
- B) THE DESIGNER WILL NOT BE RESPONSIBLE FOR THE SYSTEM AS DESIGNED UNLESS CONSTRUCTED AS SHOWN. ANY CHANGES SHALL BE APPROVED IN WRITING.
- C) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.

**CONSTRUCTION NOTES:**

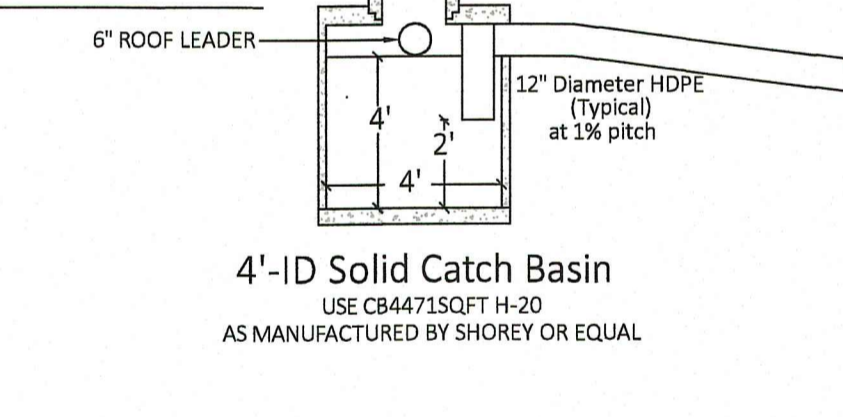
- 1) ALL CONSTRUCTION SHALL CONFORM TO THE STATE ENVIRONMENTAL CODE, TITLE 5, AND THE REQUIREMENTS OF THE LOCAL BOARD OF HEALTH.
- 2) SEPTIC TANKS, GREASE TRAPS, DOSING CHAMBERS AND DISTRIBUTION BOXES SHALL BE SET ON A LEVEL STABLE BASE WHICH HAS BEEN MECHANICALLY COMPACTED OR ON A 6 INCH CRUSHED STONE BASE.
- 3) SEPTIC TANKS SHALL MEET ASTM STANDARD C1127-93 AND SHALL HAVE AT LEAST THREE 20" DIAMETER MANHOLES. THE MINIMUM DEPTH FROM THE BOTTOM OF THE SEPTIC TANK TO THE FLOW LINE SHALL BE 48".
- 4) SCHEDULE 40 PVC INLET AND OUTLET TEES SHALL EXTEND A MINIMUM OF 6" ABOVE THE FLOW LINE OF THE SEPTIC TANK AND SHALL BE INSTALLED ON 6" ABOVE THE CENTERLINE OF THE TANK DIRECTLY UNDER THE CLEANOUT MANHOLE.
- 5) RAISE COVERS OF THE SEPTIC TANK AND DISTRIBUTION BOX WITH PRECAST CONCRETE WATER TIGHT RISERS OVER INLET AND OUTLET TEES TO WITHIN 6" OF FINISH GRADE, OR AS APPROVED BY THE LOCAL BOARD OF HEALTH AGENT.
- 6) PIPING SHALL CONSIST OF 4" SCHEDULE 40 PVC OR EQUIVALENT. PIPE SHALL BE LAID ON A MINIMUM CONTINUOUS GRADE OF NOT LESS THAN 1%.
- 7) DISTRIBUTION LINES FOR SOIL ABSORPTION SYSTEM (AS REQUIRED) SHALL BE 4" DIAMETER SCHEDULE 40 PVC LAID AT 0.005 FT/FT. LINE SHALL BE CAPPED AT END OR AS NOTED.
- 8) OUTLET PIPES FROM DISTRIBUTION BOX SHALL REMAIN LEVEL FOR AT LEAST 2' BEFORE PITCHING TO SOIL ABSORPTION SYSTEM. WATER TEST DISTRIBUTION BOX TO ENSURE EVEN DISTRIBUTION.
- 9) DISTRIBUTION BOX SHALL HAVE A MINIMUM SUMP OF 6" MEASURED BELOW THE OUTLET INVERT.
- 10) BASE AGGREGATE FOR THE LEACHING FACILITY SHALL CONSIST OF 3/4" TO 1-1/2" DOUBLE WASHED NATIVE STONE FREE OF IRON, FINES AND DUST AND SHALL BE INSTALLED BELOW THE CROWN OF THE DISTRIBUTION LINE TO THE BOTTOM OF THE SOIL ABSORPTION SYSTEM. BASE AGGREGATE SHALL BE COVERED WITH A LAYER OF FILTER FABRIC OR APPROVED EQUIVALENT.
- 11) VENT SOIL ABSORPTION SYSTEM WHEN DISTRIBUTION LINES EXCEED 50 FEET; WHEN LOCATED EITHER IN WHOLE OR IN PART UNDER DRIVEWAYS, PARKING AREAS, TURNING AREAS OR OTHER IMPERVIOUS MATERIAL; OR WHEN PRESSURE DOSED.
- 12) SOIL ABSORPTION SYSTEM SHALL BE COVERED WITH A MINIMUM OF 9" OF CLEAN MEDIUM SAND (EXCLUDING TOPSOIL).
- 13) FINISH GRADE SHALL BE A MAXIMUM OF 36" OVER THE TOP OF ALL SYSTEM COMPONENTS, INCLUDING THE SEPTIC TANK, DISTRIBUTION BOX, DOSING CHAMBER AND SOIL ABSORPTION SYSTEM. SEPTIC TANKS SHALL HAVE A MINIMUM COVER OF 9".
- 14) FROM THE DATE OF INSTALLATION OF THE SOIL ABSORPTION SYSTEM UNTIL RECEIPT OF A CERTIFICATE OF COMPLIANCE, THE PERIMETER OF THE SOIL ABSORPTION SYSTEM SHALL BE STAKED AND FLAGGED TO PREVENT THE USE OF SUCH AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE SYSTEM.

- 15) SOIL VERIFICATION: DESIGNER AND HEALTH AGENT TO WITNESS AND VERIFY SOILS TO EL= 12.0±, 8± FEET BELOW THE SAS BOTTOM PRIOR TO SETTING ANY SEPTIC COMPONENTS.
- 16) SOIL REMOVAL: ALL TOPSOIL AND SUBSOIL SHALL BE REMOVED FOR A DISTANCE OF 5' FROM THE SOIL ABSORPTION SYSTEM DOWN TO THE CLEAN SAND LAYER, EL=19.2±. AREA TO BE BACKFILLED WITH CLEAN SAND AND COMPACTED TO MINIMIZE SETTLING.
- 17) INSTALL A 40 MIL HDPE LINER FROM EL=22.0 TO EL=20.0 AS SHOWN ON PLAN, LINER SHALL BE 58 FEET LONG.
- 18) EXISTING SEPTIC SYSTEM TO BE REMOVED IN ACCORDANCE WITH 310 CMR 15.354. ANY CONTAMINATED SOIL WITHIN THE FOOTPRINT OF THE NEW DWELLING SHALL BE REMOVED AND REPLACED WITH CLEAN SAND. AREA TO BE COMPACTED TO MINIMIZE SETTLING.

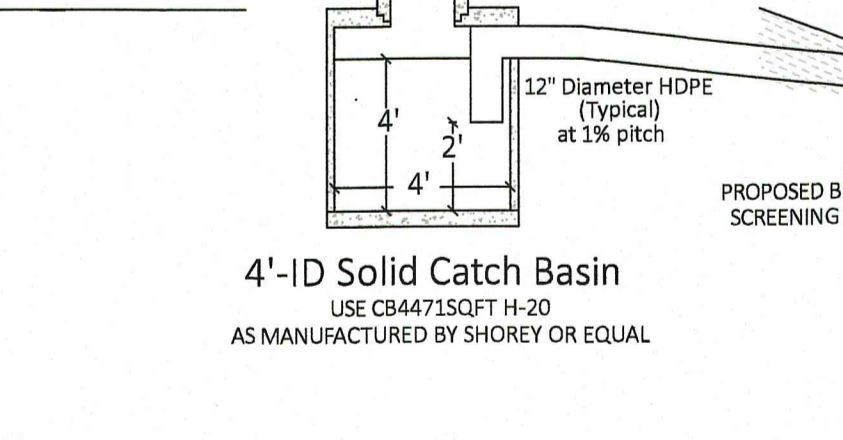
**DRAINAGE PROFILES:**

NOT TO SCALE

**PROFILES B:**

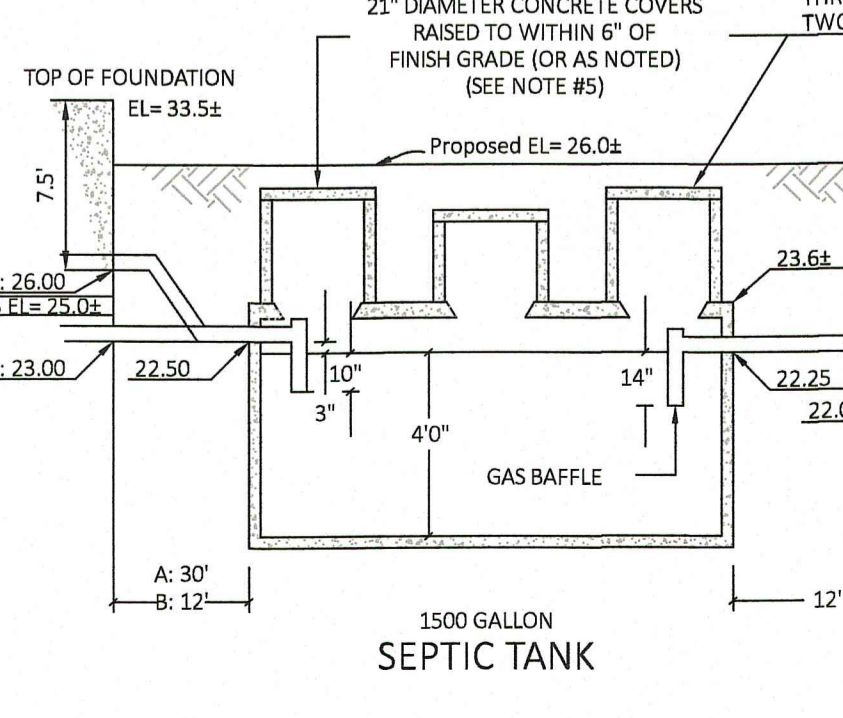


**PROFILE A:**



**FLOW PROFILE:**

NOT TO SCALE



**SOIL TEST LOGS:**

TEST HOLE 1: EL= 31.4±

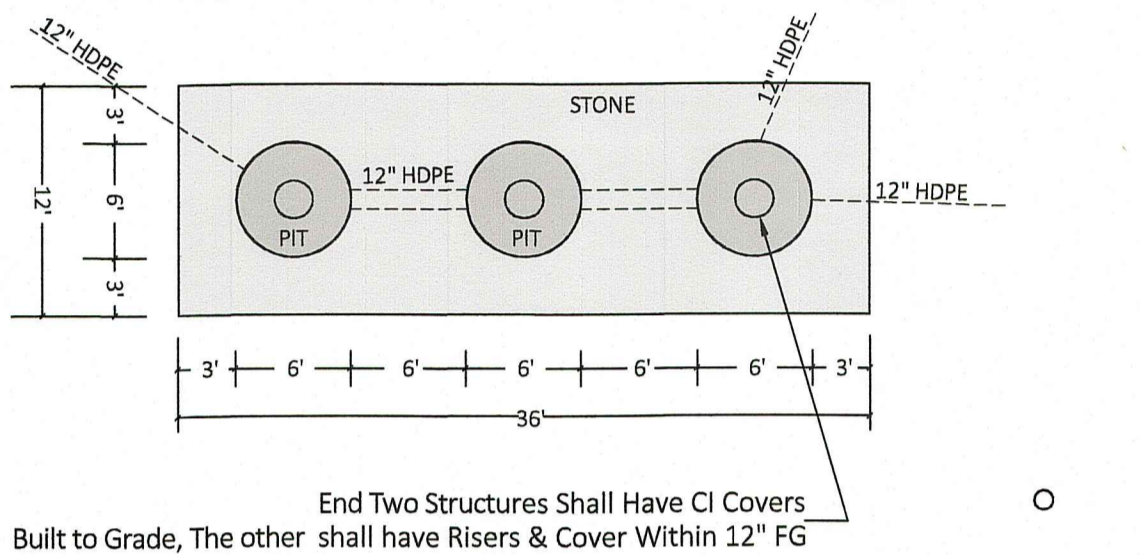
DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-14"	F	Loam Fine Sand	10YR2/2	NONE	
14-32"	B	Loam Fine Sand	10YR5/4	NONE	
32-69"	C1	Fine Sand	10YR6/4	NONE	PERC @ 64", RATE: <2 MIN/IN
69-144"	C2	Medium Sand	10YR6/2	NONE	Loose

TEST HOLE 2: EL= 26.4±

DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-14"	F	Loam Fine Sand	10YR2/2	NONE	
14-33"	B	Loam Fine Sand	10YR5/4	NONE	
33-64"	C1	Fine Sand	10YR6/4	NONE	Loose
64-138"	C2	Medium Sand	10YR6/2	NONE	Loose

DATE OF TESTING: 10/4/2022  
 PERCOLATION RATE: LESS THAN 2 MIN/INCH IN "C" LAYERS.  
 WITNESSED BY: MATT FARRELL, ETI, J.M. O'REILLY & ASSOCIATES, INC.  
 SHERRIE MCCULLOUGH, AGENT, BREWSTER HEALTH DEPARTMENT  
 NO WATER ENCOUNTERED  
 USE A LEACHING RATE OF 0.74 GPD/SF FOR SIZING OF SOIL ABSORPTION SYSTEM.

**PROFILES A & B:  
36'x12'x4' LEACHING GALLEY DETAIL:**



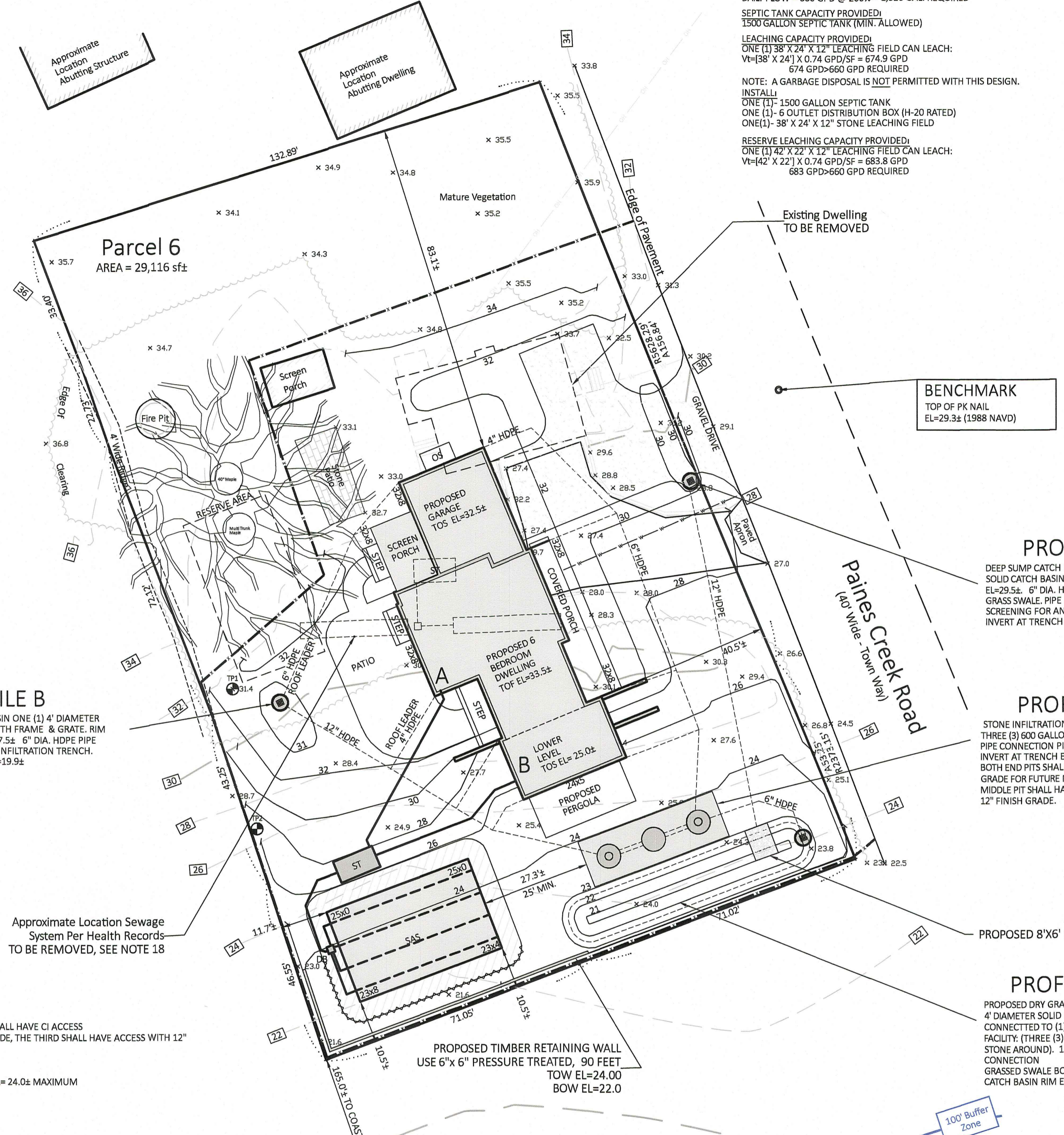
**PROFILE B**

DEEP SUMP CATCH BASIN ONE (1) 4" DIAMETER SOLID CATCH BASIN WITH FRAME & GRATE. RIM EL=30.0±. INVERT EL=27.5±. 6" DIA. HDPE PIPE CONNECTION PIPE TO INFILTRATION TRENCH. INVERT AT TRENCH EL=19.9±.

TWO(2) PITS SHALL HAVE CI ACCESS COVERS TO GRADE, THE THIRD SHALL HAVE ACCESS WITH 12"

**PLAN**

SCALE 1"=20'  
THIS AREA IS SERVED BY TOWN WATER.



**SYSTEM DESIGN CALCULATIONS:**

SEWAGE DESIGN FLOW:  
 6 BEDROOM DWELLING @ 110 GPD = 660 GPD  
 LEACHING CAPACITY REQUIRED:  
 6 BEDROOMS (MAX) @ 110 GPD = 660 GPD REQUIRED  
 SEPTIC TANK CAPACITY REQUIRED:  
 DAILY FLOW = 660 GPD @ 2008 = 1,320 GAL. REQUIRED  
 SEPTIC TANK CAPACITY PROVIDED:  
 1500 GALLON SEPTIC TANK (MIN. ALLOWED)  
 LEACHING CAPACITY PROVIDED:  
 ONE (1) 38" X 24" X 12" LEACHING FIELD CAN LEACH:  
 V=38" X 24" X 0.74 GPD/SF = 674.9 GPD  
 674 GPD > 660 GPD REQUIRED  
 NOTE: A GARBAGE DISPOSAL IS NOT PERMITTED WITH THIS DESIGN.  
 INSTALL:  
 ONE (1) 1500 GALLON SEPTIC TANK  
 ONE (1) 6 OUTLET DISTRIBUTION BOX (H-20 RATED)  
 ONE (1) 38" X 24" X 12" LEACHING FIELD  
 RESERVE LEACHING CAPACITY PROVIDED:  
 ONE (1) 42" X 22" X 12" LEACHING FIELD CAN LEACH:  
 V=42" X 22" X 0.74 GPD/SF = 683.8 GPD  
 683 GPD > 660 GPD REQUIRED

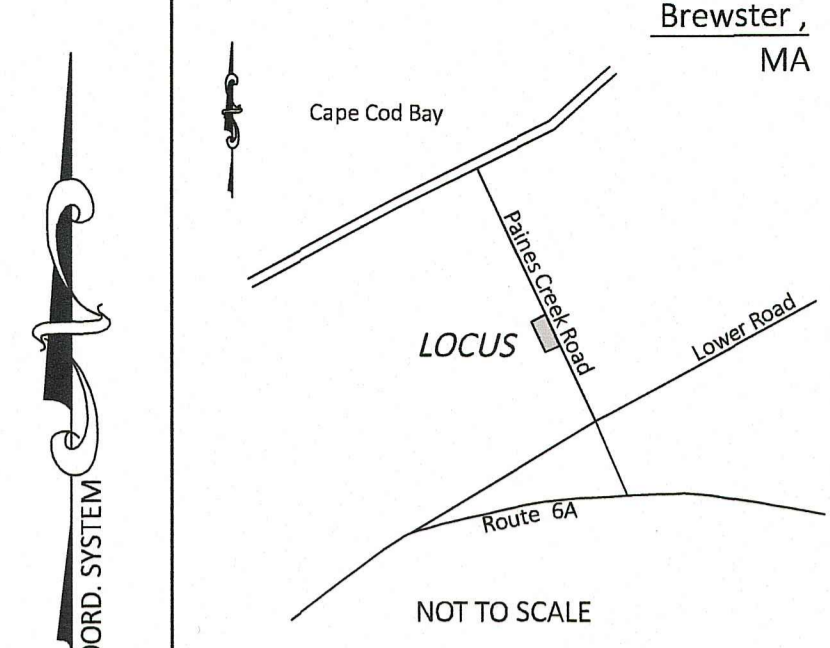
**STORMWATER TABLE EXISTING**

IMPERVIOUS AREAS	SQUARE FEET (SF)
DWELLING	1,042 SF
STEPS	93 SF
SCREEN PORCH	168 SF
STONE PATIO	231 SF
DRIVEWAY	1,238 SF
RETAINING WALL	76 SF
FIRE PIT	79 SF
OUTSIDE SHOWER	40 SF
<b>TOTAL AREA'S</b>	<b>2,967 SF</b>

**STORMWATER TABLE PROPOSED**

IMPERVIOUS AREAS	SQUARE FEET (SF)
DWELLING & GARAGE	2,592 SF
STEPS	193 SF
COVERED PORCH	237 SF
STONE PATIO	850 SF
DRIVEWAY	1,472 SF
RETAINING WALLS	36 SF
PROPOSED SCREEN PORCH	189 SF
OUTSIDE SHOWER	36 SF
<b>TOTAL PROPOSED AREA'S</b>	<b>5,605 SF</b>
<b>INCREASE IN IMPERVIOUS AREAS</b>	<b>(5,605 - 2,967) = 2,638 SF</b>

**MAJOR STORMWATER PERMIT REQUIRED**



PLAN BOOK 327  
DEED BOOK 23288  
ASSESSORS' MAP 37

PAGE 62  
PAGE 278  
PARCEL 6

**LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- WATER SERVICE LINE
- OVERHEAD UTILITY SERVICE LINE
- ELECTRIC / COMM. SERVICE LINE
- GAS SERVICE LINE
- TEST HOLE / BORING LOCATION
- SEPTIC TANK
- DISTRIBUTION BOX
- SOIL ABSORPTION SYSTEM
- RESERVED FOR FUTURE UTILITY POLE
- CATCH BASIN
- FIRE HYDRANT
- WELL
- DRAINAGE MANHOLE
- CONCRETE BOUND, FOUND
- LIMIT OF WORK
- FENCE
- EDGE OF CLEARING

**ZONING TABLE**

ZONE: (RESIDENTIAL)	RM (Residential)
FRONT YARD SETBACK	40 FEET
SIDE YARD SETBACKS	25 FEET
REAR YARD SETBACKS	25 FEET
BUILDING HEIGHT	30 FEET
BUILDING HEIGHT	30'
MAX BUILDING COVERAGE	25%

**AVERAGE GRADE & BUILDING HEIGHT**

AVERAGE MEAN EXISTING GRADE ELEVATION: 32.3 + 27.7 + 29.5 + 29.7 + 27.7 + 26.3 + 28.4 + 29.4 + 31.1 + 33.0/10 = 29.5, EL=29.5  
 MAX ALLOWABLE ROOF PEAK: 29.5 + 30 FEET = 59.5, EL=59.5  
 PROPOSED BUILDING HEIGHT: TOP EL + 25.3 FEET = 33.5 + 25.3 FEET = 58.8 < EL=59.5 HEIGHT OKAY!

**PROPOSED BUILDING COVERAGE**

PROPOSED BUILDING COVERAGE: Includes House, Garage, Front Porch, Screen Porch, Roof Overhangs, Steps, Pergola & Detached Screen Porch:  
 3,622 S.F. X 100 = 12.4 %  
 29,116 S.F.

**STORMWATER FACILITY NOTES:**

**GENERAL:**

- 1) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, LOCATING AND PROTECTING ALL ABOVE AND BELOW GROUND UTILITIES PRIOR TO AND DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT DIG-SAFE, ON-TARGET LOCATING, WATER DEPARTMENT AND ALL OTHER NECESSARY UTILITY COMPANIES FOR THE MARKING OF ALL PUBLIC AND PRIVATE UTILITIES.
- 2) ALL WORKMANSHIP PROVIDED SHALL BE IN CONFORMANCE WITH THE TOWN OF BREWSTER D.P.W. SPECIFICATIONS AND REQUIREMENTS.
- 3) ALL COMPONENTS SHALL BE SUBJECT TO H20 WHEEL LOADS, UNLESS SPECIFICALLY IDENTIFIED ON THE PLAN DETAILS.
- 4) ANY MODIFICATIONS AND/OR DEVIATIONS FROM THE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT ENGINEER AND/OR THE TOWN.

**STORMWATER FACILITY NOTES: (CONT'D)**

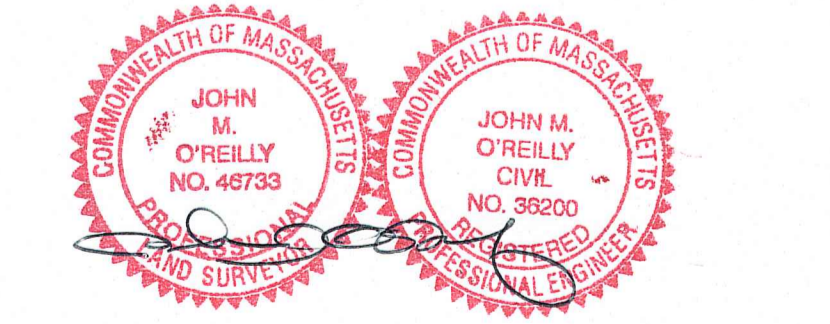
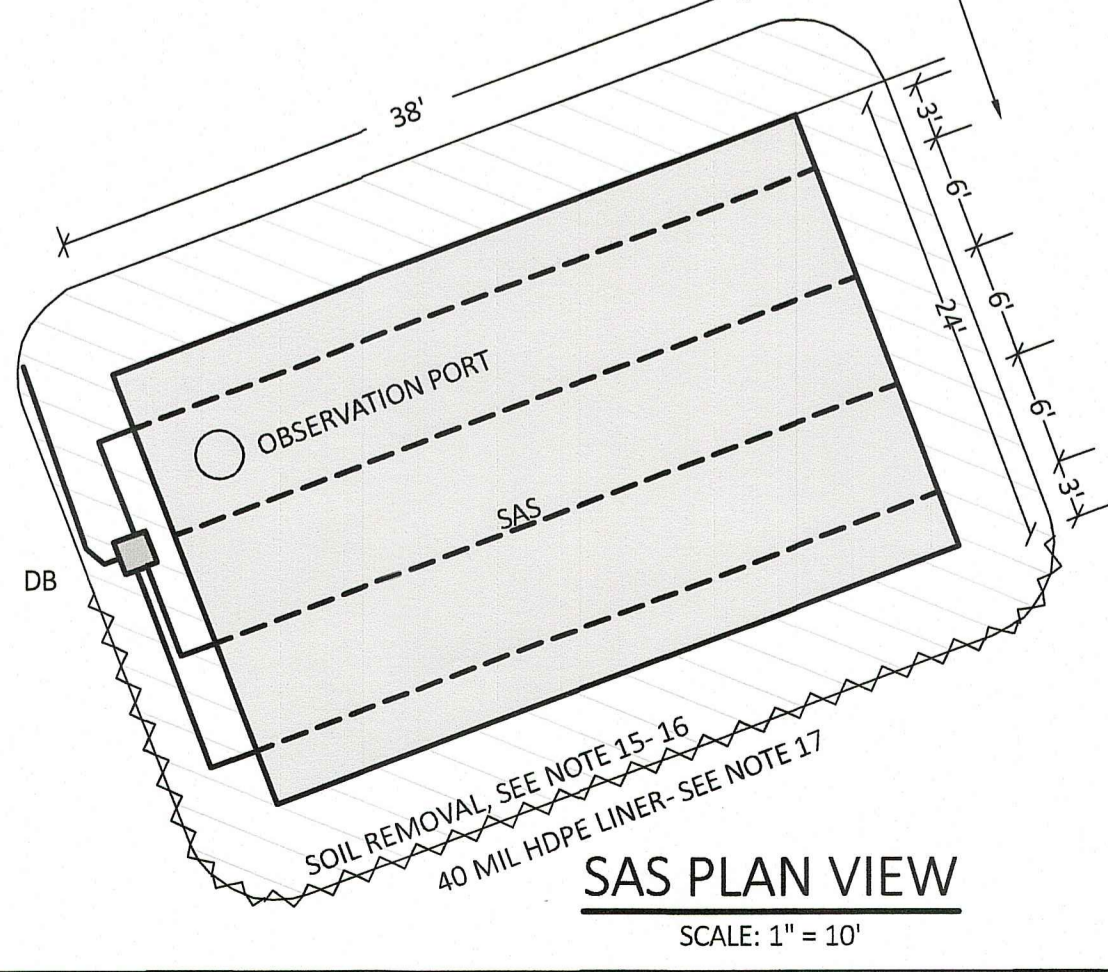
**DRIVEWAY ACCESS:**

- 5) CONTRACTOR SHALL COORDINATE THE CURB-CUT ACCESS INTO THE PARCEL WITH THE BREWSTER D.P.W.
- 6) NO EXISTING DRAINAGE STRUCTURES ARE NEAR THE PROJECT.
- 7) DRIVEWAY ENTRANCE APRON, DURING CONSTRUCTION, SHALL BE 15 FEET DEEP AND FINISHED WITH A 12 INCH LAYER OF NATIVE GRAVEL TO CONTROL DUST AND SILTATION FROM THE PROJECT SITE.
- 8) CONTRACTOR SHALL PROVIDE A ROW OF STRAW WATTLES ALONG THE ENTRANCE OF THE DRIVEWAY WHEN CONSTRUCTION ACTIVITY IS NOT OCCURRING ON THE SITE. THE WATTLES SHALL BE SECURED IN PLACE SO PREVENT WASHING OF SOIL INTO PAINES CREEK ROAD.
- 9) THE LEACHING FACILITY FOR THE STORMWATER SHALL BE SET INTO THE FINE SAND OR MEDIUM SAND MATERIAL. DESIGN ENGINEER SHALL BE NOTIFIED IF SOIL CONDITIONS ARE DIFFERENT FROM WHAT WAS FOUND DURING THE SOIL TESTING. SEE SOIL PROFILES ABOVE.

**STORMWATER FACILITY NOTES: (CONT'D)**

**GRASSED CHANNEL:**

- 10) THE GRASSED SWALE SHALL BE COVERED WITH A 4 INCH LAYER OF LOAM, RAKED SMOOTH AND SEEDED WITH NEW ENGLAND EROSION CONTROL / RESTORATION SEED MIX FOR WET SITES.
- 11) ONCE SEEDDED, THE SWALE SHALL BE INSPECTED AND REPAIRED AS NEEDED AFTER ALL RAIN EVENTS. CONTRACTOR SHALL INSTALL EROSION CONTROL BLANKETS AND / OR STRAW WATTLES AS NECESSARY TO CONTROL THE SWALE SLOPE AND MITIGATE WASHOUT.
- 12) THE LIMIT OF DISTURBANCE FOR THE CONSTRUCTION OF THE DWELLING SHALL BE AS SHOWN ON THE PLAN VIEW.
- 13) THE LIMIT OF WORK LINE, UP SLOPE FROM THE SITE ACTIVITIES, SHALL BE DELINEATED BY EITHER TEMPORARY ORANGE CONSTRUCTION FENCING OR SIGNAGE.
- 14) THE LIMIT OF WORK LINE, DOWN SLOPE FROM THE SITE ACTIVITIES SHALL BE A ROW OF 9-INCH STRAW WATTLES, SECURED TO THE GROUND WITH STAKES.
- 15) CONTRACTOR SHALL HAVE EXTRA STRAW WATTLES ON SITE SO AS TO MITIGATE AND / OR REPAIR THE LIMIT OF WORK LINE AND POTENTIAL SOIL WASHOUT.



REVISED 3-31-2023: UPDATED AND CLARIFIED THE PIPING FOR DRAINAGE PROFILE 'B'.

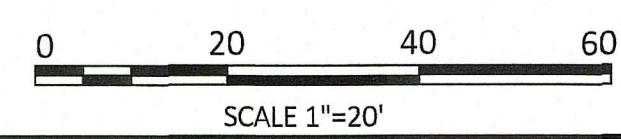
**Sharon Residence**  
 c/o Jim Hagerty, Reef, Cape Cods Home Builder, PO Box 186 Dennis, MA 02670

**PROPOSED SITE & SEWAGE DISPOSAL SYSTEM DESIGN**  
 393 Paines Creek Road, Brewster, MA

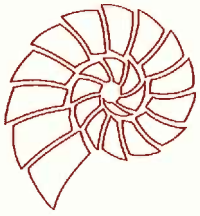
**J.M. O'REILLY & ASSOCIATES, INC.**  
 Professional Engineering & Land Surveying Services

1573 Main Street - Route 6A  
 Brewster, MA 02631 (508)696-8602 Fax  
 P.O. Box 1773

DATE: 3/24/23 SCALE: As Noted BY: MTF CHECK: JMO JOB NUMBER: JMO-9390



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# J.M. O'REILLY & ASSOCIATES, INC.

PROFESSIONAL ENGINEERING, LAND SURVEYING & ENVIRONMENTAL SERVICES

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Site Development • Property Line • Subdivision • Sanitary • Land Court • Environmental Permitting

## STORMWATER MANAGEMENT REPORT AND OPERATIONS & MAINTENANCE MANUAL

Michael J. & Mary P. Sharon  
Parcel 6, 393 Paines Creek Road, Brewster

March 22, 2023  
*(Revised March 31, 2023)*

**PREPARED FOR:**

Michael J. & Mary P. Sharon  
4 Leslie Road  
Winchester, MA 01890

**PREPARED BY:**

J.M. O'REILLY & ASSOCIATES, INC.  
1573 MAIN STREET  
P.O. BOX 1773  
BREWSTER, MA 02631  
508-896-6601

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1. Property Description and Information
2. Stormwater Management System Description
3. Massachusetts Stormwater Management Design Standards
4. Owner and Responsible Party
5. Schedule of Inspection and Maintenance of System
6. Long Term Lawn Care & Pollution Prevention Plan
7. Emergency Spill Cleanup Plan
8. APPENDICES

APPENDIX A – Checklist for Stormwater Report

APPENDIX B – TSS Removal Calculation Sheets

APPENDIX C - HydroCAD Modeling Reports



**Property Description:**

- Lot Area: 0.668 acres (29,116 sf+/-)
- Parcel Improvements: The site is to be developed with a single family dwelling, retaining walls and driveway. Site is currently developed with a Single Family Dwelling, Shell Driveway, Lawn and Natural Wooded Areas.
- Wetlands: There are no wetlands on the property. A coastal flood Plain, EL=13.0, AE Zone, a Coastal Bank & A Salt Marsh are located approximately 165 Feet South of Southern Lot Line. No Work is proposed within Wetland Resources or Within Buffer Zones.
- Soils: The NRCS Soil Survey places the parcel within the Hinesburg Sandy Loam, HnB area as reflected on MA Mapper. Soil testing completed for the sewage system found clean fine grain and medium grain sands in the substratum. No Soil Conservancy soils are mapped on the property.
- Groundwater: The soil testing on site identified no ground water table to EL= 14.9 (see Test Hole 2). Worst case the water table is estimated at EL= 12.0.
- Zone II: The parcel is NOT located within a Zone II Groundwater Recharge mapped area.
- Topography: The topography is gently sloping from North to South.
- Site Conditions: Site contains an existing single family dwelling, shell driveway, lawn areas, and natural wooded areas.

**Stormwater Management System Description:**

The proposed post-development stormwater management plan consists of stormwater being collected on site through three(3) Deep Sump Catch Basins, a Dry Grass Swale and One(1) Leaching Facility that together have been designed to retain and attenuate stormwater runoff from all impervious and landscaped surfaces on the site, including the pervious driveway, dwelling, landscaped areas, lawn areas and natural areas. Stormwater systems have been designed to meet the 100-year storm event.

The driveway/landscape area around the dwelling (front yard) are being controlled with a deep sump catch basin, a dry grassed swale, with deep sump catch basin flowing toward a common leaching facility. The driveway & landscaped areas will be constructed to slope towards the deep sump catch basin. South of the driveway all surface stormwater flow will terminate at the dry grass swale. All roof runoff from the front yard, will be plumbed directly into the 36'12"x4' stone infiltration trench. All disturbed areas will be seeded with a drought tolerant seed mixture or landscaped planting beds. The planting beds shall be designed to accept water and not discharge water.

The rear yard area will be controlled by a deep sump catch basin, to collect stormwater from the back patio area and all roof runoff from the rear of the dwelling. The roof runoff will be plumbed through the catch basin and directly into the stone infiltration trench. South of the catch basin, storm runoff will flow toward the dry swale and ultimately into the common leaching trench. All disturbed areas will be seeded with a drought tolerant seed mixture or landscaped planting beds. All planting beds shall be designed to accept water.

As shown in the HydroCAD Modeling report, both of the stormwater systems are designed to collect and retain all runoff from their contributory areas for the 100 year storm event. Accordingly, the site's overall peak discharge rate is reduced relative to the Pre-Development discharge rate for the 2, 10, 25 and 100 year storm events. The table below provides a comparison of the site-wide Pre- to Post-Development peak discharge rate for each storm event.

Storm Event	Pre-Development Peak Discharge Rate, cubic feet per second (ft <sup>3</sup> /sec)	Post-Development Peak Discharge Rate, cubic feet per second (ft <sup>3</sup> /sec)
2 year	0.00	0.00
10 year	0.06	0.00
25 year	0.20	0.00
100 year	0.69	0.48

For HydroCAD modeling analysis of the stormwater systems, the following methods and assumptions were used:

- Simple Dynamic
- Rawls Rate of 8.27 in/hr for sands within the subsoil layers for subsurface leaching galleys.
- Rawls Rate of 2.41 in/hr for the loamy sands in the upper soil layers for dry water quality swales.
- Volume capacity of dry water quality swale excluded from peak discharge and recharge calculations.
- 1.0' freeboard provided for the swale above catch basin rim elevation.
- Exfiltration has been assumed to occur along wetted surface area of bottom and walls/slopes.

**Stormwater Management System Specifications by Contributory Area:**

Stormwater System A (Driveway and Landscape Areas – All Disturbed Areas within L.O.W. Line):

- Runoff from pervious driveway and landscaped areas on the northerly portion of the lot are directed via grading into a deep sump catch basin, plumbed to a dry grass swale. South of the driveway all stormwater will terminate at the dry grass swale flow through the deep sump catch basin and into the stone infiltration trench.
- Landscaped and natural areas within the L.O.W. Line will flow directly into the swale.
- Overflow from the swale enters into a subsurface leaching facility consisting of ONE(1): 36'x12'x4'. Leaching facility has been sized to retain 100 year storm runoff with no overflow.

Stormwater System B (Roof Runoff, Landscaped & Natural Areas (includes areas inside the L.O.W.):

- Roof runoff from the proposed dwelling will be connected to the stone infiltration trench. Connection in the rear, shall be made to the deep sump catch basin via gutters, downspouts

and subsurface piping. Connection in the front shall be made directly to leaching facility via gutters, downspouts and subsurface piping. Piping shall be 4 -6-inch Diameter H.D.P.E. pipe, and pitched at a minimum of 1% slope.

**Erosion Control Plan - Temporary Siltation Barrier & Silt Socks:**

Prior to start of construction:

- Contractor shall coordinate the driveway access curb cut with the Brewster D.P.W. Department.
- The erosion controls shall include a row of staked 9-inch straw wattles surrounding the down gradient areas to be disturbed. Erosion controls shall be installed around all areas of disturbance. Refer to Plan Notes for location of the straw wattles.
- Once the stormwater systems are installed, deep sump catch basins shall be fitted with filter fabric (silt socks) underneath the grates, to prevent silt and debris from clogging and/or damaging the dry water quality swales and subsurface leaching facility.
- The erosion controls shall be monitored and corrected during the entire construction phase and until the site has been stabilized with ground cover and the proposed landscape.
- Contractor shall be required to provide extra siltation controls in case a repair is needed to the straw wattles and/or catch basin filter fabric.

Operation and maintenance plan is included herewith in order to address the long-term maintenance of the stormwater systems.

**Massachusetts Stormwater Management Design Standards:**

The following is a description of how the proposed project meets the Massachusetts Stormwater Handbook design standards.

**Standard 1: No new untreated discharges:**

This standard is met since there are no new untreated stormwater discharges proposed. See Standards 4-6 calculations.

**Standard 2: Maintain Pre-development peak discharge rate:**

This standard has been met. All stormwater management systems are sized such that the post development peak discharge rate for the development site does not exceed the pre-development discharge rate for the 2 year-24 hour; 10 year-24 hour; 25 year-24 hour; and 100 year-24 hour storm events.

As shown in the HydroCAD Modeling report, the site's overall peak discharge rate is reduced relative to the Pre-Development discharge rate for the 2, 10, 25 and 100 year storm events. The Post-Development 100-year Storm Peak Discharge Rate relative to Pre-Development conditions has decreased from 0.69 CFS to 0.48 CFS.

**Standard 3: Groundwater Recharge:**

This standard is met. The proposed stormwater management systems are sized so that the total recharge volume provided exceeds the minimum groundwater recharge volume specified in the handbook and the proposed stormwater recharge in the leaching trench will drawdown within 72 hours of a storm event. In accordance with the MA Stormwater Manual, the required recharge volume factor (F) required across the impervious area (A) is 0.6 inches per hour for hydraulic soil group A soils. Fine Sand (Rawls Rate: 8.27 inches per hour) has been used in the sizing of the stormwater recharge galleys. Refer to the HydroCAD Stormwater Modeling Report in Appendix. The required recharge volume is calculated based on the total pavement and roof areas on site.

- Required Recharge Volume  $R_v = F \times A = (0.6 \text{ in})(1 \text{ ft}/12 \text{ in})(5,605 \text{ sf}) = 280.3 \text{ cf}$  (Impervious)
- Recharge Storage Provided (Subsurface leaching facilities) = 2,880 cf > 280.3 cf
- The drawdown for the subsurface leaching facilities for the driveway/parking system and roof runoff is 24 hours < 72 hour maximum allowance.

**Standard 4: Water Quality:**

This standard has been met. The roof runoff stormwater system will remove 80% of the annual load of Total Suspended Solids (TSS) via subsurface leaching facilities. The main stormwater system serving the roadway provides 77% TSS pretreatment removal of roadway runoff, and 93% total removal of roadway runoff. TSS removal calculation tables for roadway and roof runoff are included in the Appendix.

Phosphorus (P) reductions are estimated based on the pre treatment dry grass swale and the stone leaching trench, using the lowest percentages allowed by each facility, 20% & 40%, respectively, we estimate Phosphorus removals at 60%.

In accordance with the MA Stormwater Manual, the required water quality depth (Dwq) across the impervious area (A) is 1.0 inches per hour in areas containing soils with rapid infiltration rate greater than 2.4 in/hr. The required water quality volume is based on the total pavement area on site.

- Required Water Quality Volume  $V_{wq} = D_{wq} \times A = (1.0 \text{ in})(1 \text{ ft}/12 \text{ in})(2,394 \text{ sf}) = 200 \text{ cf}$  (stone drive, rear patio))
- Water Quality Storage Provided (water quality swales, total) = 950 cf > 200 cf

Standard 5: Land uses with higher potential pollutant loads:

This standard has been met. The proposed use is a residential building.

Standard 6: Stormwater discharges within Zone II or Interim Wellhead protection area of a public water supply and stormwater discharges near or to any critical area.

This standard has been met. Not Applicable as the site is not in a Zone 2 for a Drinking Water Well. The 1/2 inch Required Water Quality Volume for discharges within a Groundwater Protection area has been met, see Standard 4 calculations.

Standard 7: Redevelopment:

This standard is met as we are compliant with Standards 1, 8, 9 and 10. The project is compliant with the Local Town of Brewster Stormwater By-law standards.

Standard 8: Construction Erosion Control Plan:

The project is subject to the proposed erosion control plan as outlined on the plan. Straw wattles and erosion control blankets (as applicable for steep slopes >3:1) shall be implemented as required to mitigate erosion of soil.

Standard 9: Long Term Operation and Maintenance Plan:

A long-term O&M plan has been submitted with this report, refer to Appendix. The property owners will operate and maintain the stormwater systems.

Standard 10: Illicit Discharges:

This standard is met since there are no illicit discharges at this site and no illicit discharges proposed.

## Owner and Responsible Party

The owner and responsible party for Stormwater Pollution Control at Parcel 6, 393 Paines Creek Road, Brewster, MA – SHARON RESIDENCE

### Owner & Operator:

Michael J. & Mary P. Sharon  
4 Leslie Road  
Winchester, MA 01890

## Schedule of Inspection and Maintenance of Stormwater Management Systems

1. All stormwater systems require regular attention in order to ensure the effectiveness of the systems. It is recommended that the drainage systems be inspected annually by a stormwater operation and maintenance professional in order to ensure that the system is properly maintained. Any deterioration threatening the structural integrity of the system shall immediately be repaired.
2. Paved and gravel parking areas shall be swept when necessary to remove debris. Good housekeeping measures should be implemented throughout the site to keep paved areas, gutters, downspouts, drain lines and grassed channel clean of debris.
3. The hooded, deep-sump catch basin shall be inspected at least two times per year; at the end of foliage (approximately November 30<sup>th</sup>) and snow removal (approximately March 31<sup>st</sup>) seasons. Sediments must be removed when the depth of deposits is greater than or equal to one half the depth of the sumps. All deep-sump catch basins shall be cleaned out via vacuum truck or other catch basin cleaning mechanism a minimum of once per year.
4. The subsurface leaching facility serving the driveway shall be inspected at least twice a year. Any debris that may clog the system must be removed.
5. The grassed swale shall be inspected and mowed as needed to prevent excessive growth under control. Inspect the grass side slopes and bottom for signs of erosion and formation of gullies. Remove accumulated trash, debris and silt as needed and at time of inspection.

Estimate of annual operation and maintenance budget for common areas = \$ 500.00



## Long Term Lawn Care & Pollution Prevention Plan

### Description of Pollutant Sources:

- Light vehicle traffic – residential development
- Lawn care products

### Source Control Best Management Practices

- There shall be no storage of items or materials which will be subject to the weather.
- Good housekeeping measures shall be implemented throughout the site in order to keep the driveways clean of debris.
- Regularly sweep paved areas to remove debris and any other potential stormwater pollutants.
- The use of winter de-icing sand and salt materials shall be minimized to the maximum extent practicable.
- Winter de-icing sand and salt materials shall be stored indoors.
- Snow storage shall be on paved surfaces.
- Immediately clean up any spillage on paved areas and dispose of wastes properly.

## Emergency Spill Cleanup Plan

1. The owner of the facility shall have a designated person with overall responsibility for spill response cleanup.
2. In the event of a spill the following shall be notified:
  - A. Brewster Fire Department (508) 896-1708  
(for a gasoline or hazardous material spill) 911
  - B. Massachusetts D.E.P. Emergency Response (800) 304-1133
  - C. Brewster Health Department (508) 896-3701 ext. 1120
3. Cleanup of spills shall begin immediately.



INSTRUCTIONS:

Version 1, Automated: Mar. 4, 2008

1. In BMP Column, click on Blue Cell to Activate Drop Down Menu
2. Select BMP from Drop Down Menu
3. After BMP is selected, TSS Removal and other Columns are automatically completed.

Location:

	B	C	D	E	F
	BMP <sup>1</sup>	TSS Removal Rate <sup>1</sup>	Starting TSS Load*	Amount Removed (C*D)	Remaining Load (D-E)
<b>TSS Removal Calculation Worksheet</b>	Deep Sump and Hooded Catch Basin	0.25	1.00	0.25	0.75
	Grass Channel	0.50	0.75	0.38	0.38
	Subsurface Infiltration Structure	0.80	0.38	0.30	0.08
		0.00	0.08	0.00	0.08
		0.00	0.08	0.00	0.08

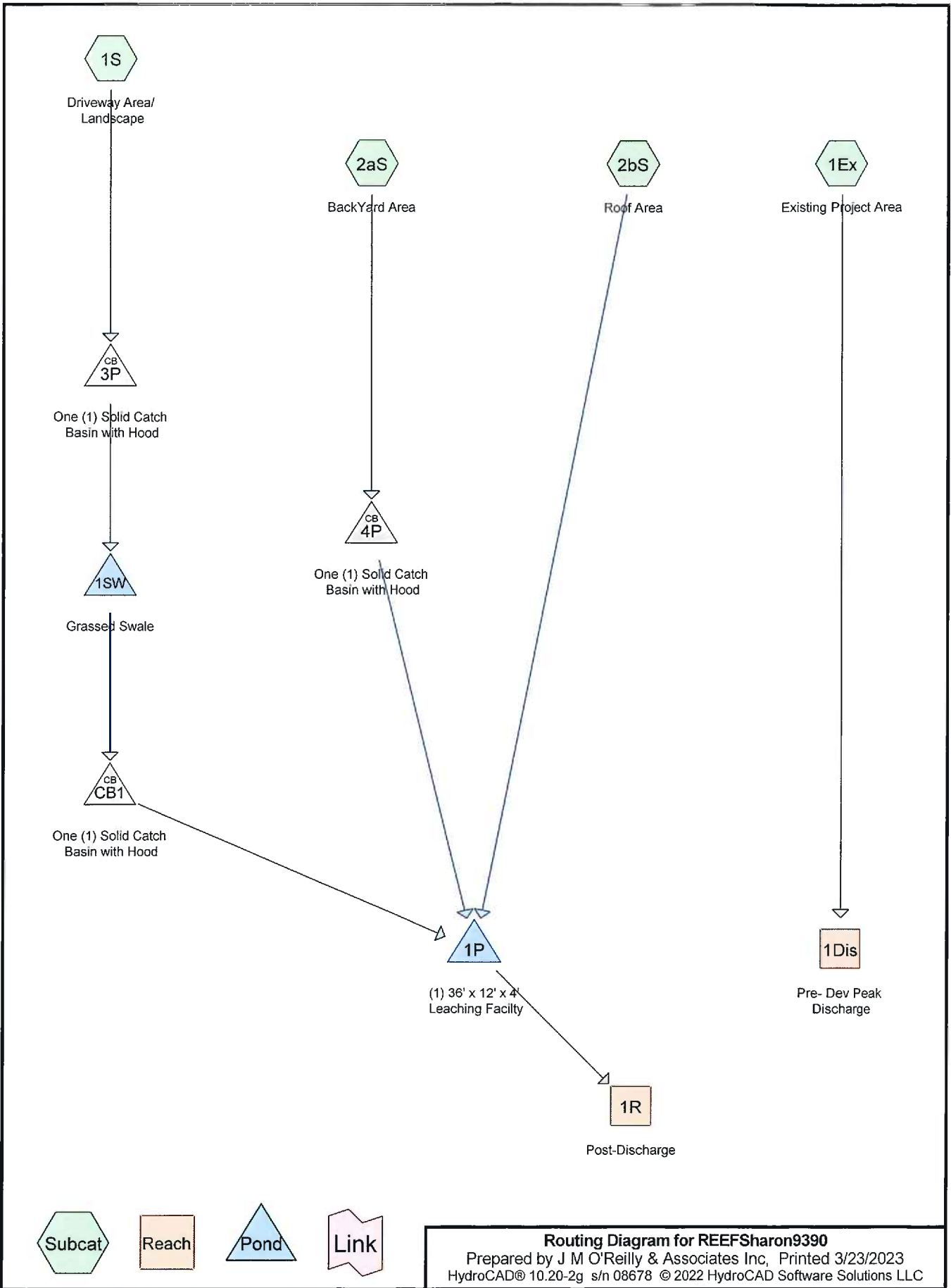
**Total TSS Removal =**

**Separate Form Needs to be Completed for Each Outlet or BMP Train**

Project:   
 Prepared By:   
 Date:

\*Equals remaining load from previous BMP (E) which enters the BMP

Non-automated TSS Calculation Sheet must be used if Proprietary BMP Proposed  
 1. From MassDEP Stormwater Handbook Vol. 1



**GENERAL NOTES:**

- A.) NEITHER DRIVEWAYS NOR PARKING ARE ALLOWED OVER SEPTIC SYSTEM UNLESS H-20 COMPONENTS ARE USED.
- B.) THE DESIGNER WILL NOT BE RESPONSIBLE FOR THE SYSTEM AS DESIGNED UNLESS CONTRACTOR AS SHOWN. ANY CHANGES SHALL BE APPROVED BY WRITING.
- C.) THE DESIGNER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.

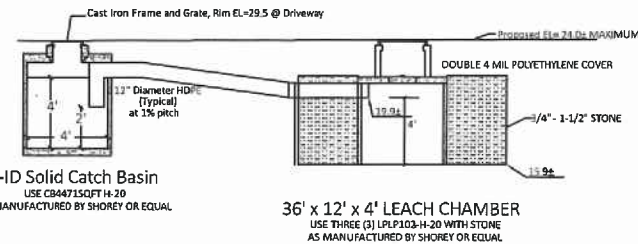
**CONSTRUCTION NOTES:**

- 1.) ALL CONSTRUCTION SHALL CONFORM TO THE STATE ENVIRONMENTAL CODE, TITLE 5, AND THE REQUIREMENTS OF THE LOCAL BOARD OF HEALTH.
- 2.) SEPTIC TANK(S), GREASE TRAP(S), DOSING CHAMBER(S) AND DISTRIBUTION BOX(ES) SHALL BE SET ON A LEVEL STABLE BASE WHICH HAS BEEN MECHANICALLY COMPACTED, OR ON A 6 INCH CRUSHED STONE BASE.
- 3.) SEPTIC TANK(S) SHALL MEET ASTM STANDARD C1127-93 AND SHALL HAVE AT LEAST THREE 20" DIAMETER MANHOLES. THE MINIMUM DEPTH FROM THE BOTTOM OF THE SEPTIC TANK TO THE FLOW LINE SHALL BE 48".
- 4.) SCHEDULE 40 PVC INLET AND OUTLET TEES SHALL EXTEND A MINIMUM OF 6" ABOVE THE FLOW LINE OF THE SEPTIC TANK AND SHALL BE INSTALLED ON THE CENTERLINE OF THE TANK DIRECTLY UNDER THE CLEAROUT MANHOLE.
- 5.) RAISE COVERS OF THE SEPTIC TANK AND DISTRIBUTION BOX WITH PRECAST CONCRETE WATER TIGHT RISERS OVER INLET AND OUTLET TEES TO WITHIN 6" OF FINISH GRADE, OR AS APPROVED BY THE LOCAL BOARD OF HEALTH AGENT.
- 6.) PIPING SHALL CONSIST OF 4" SCHEDULE 40 PVC OR EQUIVALENT. PIPE SHALL BE LAID ON A MINIMUM CONTINUOUS GRADE OF NOT LESS THAN 1%.
- 7.) DISTRIBUTION LINES FOR SOIL ABSORPTION SYSTEM (AS REQUIRED) SHALL BE 4" DIAMETER SCHEDULE 40 PVC LAID AT 0.005 FT/FT. LINE SHALL BE CAPPED AT END OR AS NOTED.
- 8.) OUTLET PIPES FROM DISTRIBUTION BOX SHALL REMAIN LEVEL FOR AT LEAST 2' BEFORE PITCHING TO SOIL ABSORPTION SYSTEM. WATER TEST DISTRIBUTION BOX TO ENSURE EVEN DISTRIBUTION.
- 9.) DISTRIBUTION BOX SHALL HAVE A MINIMUM SUMP OF 6" MEASURED BELOW THE OUTLET INVERT.
- 10.) BASE AGGREGATE FOR THE LEACHING FACILITY SHALL CONSIST OF 3/4" TO 1-1/2" DOUBLE WASHED NATIVE STONE FREE OF IRON, FINES AND DUST AND SHALL BE INSTALLED BELOW THE CROWN OF THE DISTRIBUTION LINE TO THE BOTTOM OF THE SOIL ABSORPTION SYSTEM. BASE AGGREGATE SHALL BE COVERED WITH A LAYER OF FILTER FABRIC OR APPROVED EQUIVALENT.
- 11.) VENT SOIL ABSORPTION SYSTEM WHEN DISTRIBUTION LINES EXCEED 50 FEET, WHEN LOCATED EITHER IN WHOLE OR IN PART UNDER DRIVEWAYS, PARKING AREAS, TURNING AREAS OR OTHER IMPERVIOUS MATERIAL, OR WHEN PRESSURE DOSED.
- 12.) SOIL ABSORPTION SYSTEM SHALL BE COVERED WITH A MINIMUM OF 9" OF CLEAN MEDIUM SAND (EXCLUDING TOPSOIL).
- 13.) FINISH GRADE SHALL BE A MAXIMUM OF 36" OVER THE TOP OF ALL SYSTEM COMPONENTS, INCLUDING THE SEPTIC TANK, DISTRIBUTION BOX, DOSING CHAMBER AND SOIL ABSORPTION SYSTEM. SEPTIC TANKS SHALL HAVE A MINIMUM COVER OF 9".
- 14.) FROM THE DATE OF INSTALLATION OF THE SOIL ABSORPTION SYSTEM UNTIL RECEIPT OF A CERTIFICATE OF COMPLIANCE, THE PERIMETER OF THE SOIL ABSORPTION SYSTEM SHALL BE STAKED AND FLAGGED TO PREVENT THE USE OF SUCH AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE SYSTEM.
- 15.) SOIL VERIFICATION: DESIGNER AND HEALTH AGENT TO WITNESS AND VERIFY SOILS TO EL=32.0±, 7 FEET BELOW THE SAS BOTTOM PRIOR TO SETTING ANY SEPTIC COMPONENTS.
- 16.) SOIL REMOVAL: ALL TOPSOIL AND SUBSOIL SHALL BE REMOVED FOR A DISTANCE OF 5' FROM THE SOIL ABSORPTION SYSTEM DOWN TO THE CLEAN SAND LAYER, EL=19.2±. AREA TO BE BACKFILLED WITH CLEAN SAND AND COMPACTED TO MINIMIZE SETTLING.
- 21.) INSTALL A 40 MIL HDPE LINER FROM EL=22.0 TO EL=20.0 AS SHOWN ON PLAN, LINER SHALL BE 68 FEET LONG.

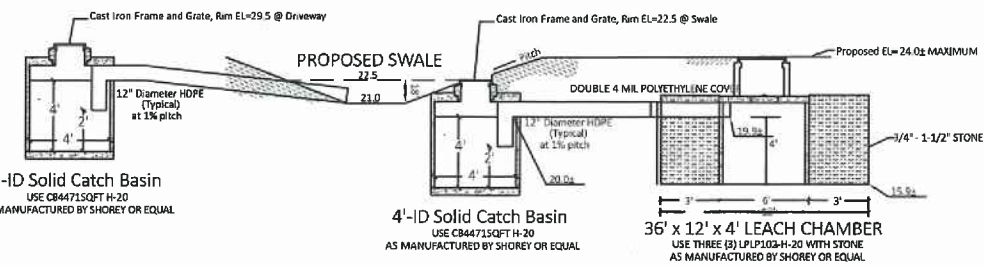
**DRAINAGE PROFILES:**

NOT TO SCALE

**PROFILES B:**

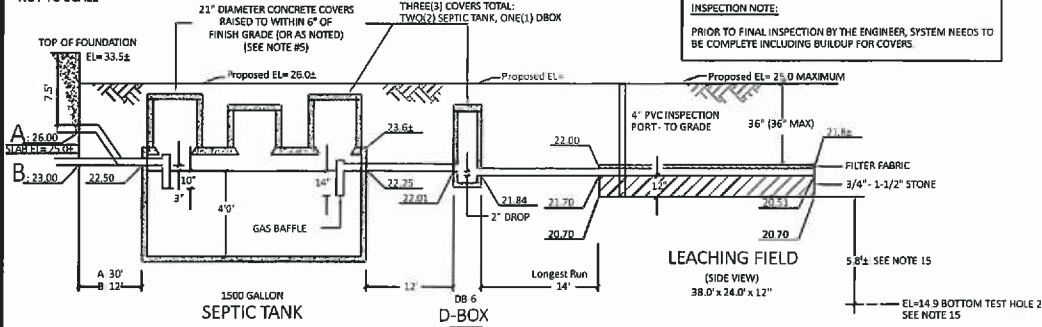


**PROFILE A:**



**FLOW PROFILE:**

NOT TO SCALE



**SOIL TEST LOGS:**

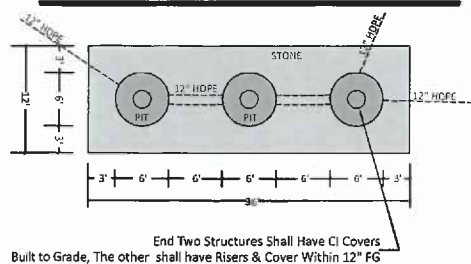
DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-14"	E	Loamy Fine Sand	10YR2/2	NONE	
14-22"	B	Loamy Fine Sand	10YR5/4	NONE	
22-69"	C1	Fine Sand	10YR6/4	NONE	PERC @ 64" RATE <2 MIN/IN
69-144"	C2	Medium Sand	10YR6/2	NONE	Loose

DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-13"	F	Loamy Fine Sand	10YR2/2	NONE	
13-23"	B	Loamy Fine Sand	10YR5/4	NONE	
23-64"	C1	Fine Sand	10YR6/4	NONE	Loose
64-138"	C2	Medium Sand	10YR6/2	NONE	Loose

DATE OF TESTING: 10/4/2022  
 PERCOLATION RATE: LESS THAN 2 MIN/INCH IN "C" LAYERS  
 WITNESSED BY: MATT FARRELL, G.T. I.M. O'REILLY & ASSOCIATES, INC.  
 SHERRIE MCULLOUGH, AGENT, BREWSTER HEALTH DEPARTMENT  
 NO WATER ENCOUNTERED  
 USE A LOADING RATE OF 0.74 GPD/SF FOR SIZING OF SOIL ABSORPTION SYSTEM.

**PROFILES A & B:  
 36'x12'x4' LEACHING GALLEY DETAIL:**



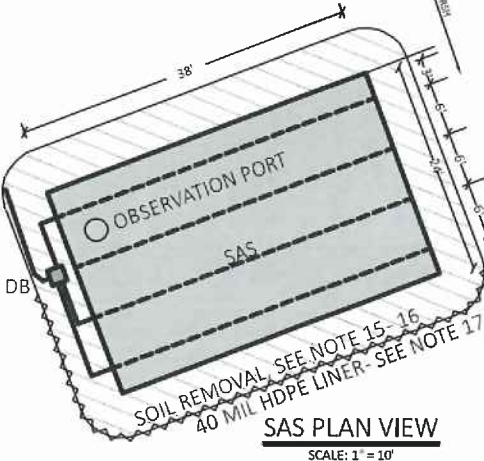
End Two Structures Shall Have CI Covers Built to Grade, The other shall have Risers & Cover Within 12" FG

**PROFILE B**

DEEP SUMP CATCH BASIN ONE (1) 4' DIAMETER SOLID CATCH BASIN WITH FRAME & GRATE. RIM EL=30.0±. INVERT EL=27.5±. 6" DIA. HDPE PIPE CONNECTION PIPE TO INFILTRATION TRENCH. INVERT AT TRENCH EL=19.9±

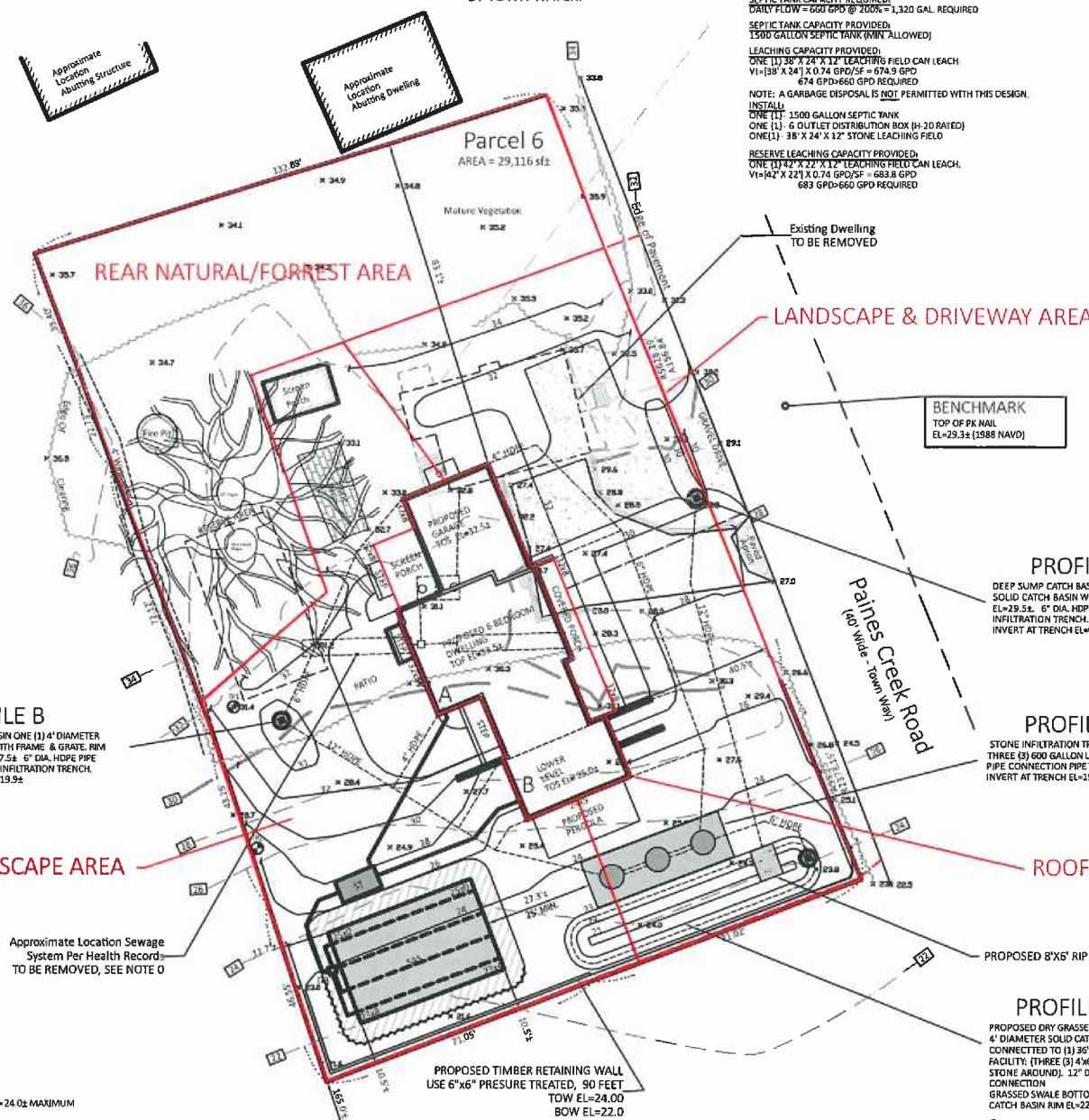
**REAR LANDSCAPE AREA**

Approximate Location Sewage System Per Health Record TO BE REMOVED, SEE NOTE 0



**PLAN**

SCALE 1"=20'  
 THIS AREA IS SERVED BY TOWN WATER.



**SYSTEM DESIGN CALCULATIONS:**

SEWAGE DESIGN FLOW: 6 BEDROOM DWELLING @ 110 GPD = 660 GPD  
 LEACHING CAPACITY REQUIRED: 6 BEDROOMS (MAX) @ 110 GPD = 660 GPD REQUIRED  
 SEPTIC TANK CAPACITY REQUIRED: DAILY FLOW = 660 GPD @ 200% = 1,320 GAL. REQUIRED  
 1500 GALLON SEPTIC TANK (MIN ALLOWED)  
 LEACHING CAPACITY PROVIDED: ONE (1) 36" X 12" X 4" LEACHING FIELD CAN LEACH V=138' X 24' X 0.74 GPD/SF = 674.9 GPD  
 ONE (1) 36" X 24" X 12" STONE LEACHING FIELD CAN LEACH V=142' X 24' X 0.74 GPD/SF = 683.8 GPD  
 683 GPD > 660 GPD REQUIRED

**STORMWATER TABLE EXISTING**

IMPERVIOUS AREAS	SQUARE FEET (SF)
DWELLING	1,042 SF
STEPS	93 SF
SCREEN PORCH	168 SF
STONE PATIO	231 SF
DRIVEWAY	1,238 SF
RETAINING WALL	76 SF
FIRE PIT	79 SF
OUTSIDE SHOWER	40 SF
<b>TOTAL AREA'S</b>	<b>2,967 SF</b>

**STORMWATER TABLE PROPOSED**

IMPERVIOUS AREAS	SQUARE FEET (SF)
DWELLING & GARAGE	2,592 SF
STEPS	193 SF
COVERED PORCH	237 SF
STONE PATIO	850 SF
DRIVEWAY	1,472 SF
RETAINING WALLS	36 SF
PROPOSED SCREEN PORCH	189 SF
OUTSIDE SHOWER	36 SF
<b>TOTAL PROPOSED AREA'S</b>	<b>5,605 SF</b>
<b>INCREASE IN IMPERVIOUS AREAS (5,605 - 2,967) = 2,638 SF</b>	
<b>MAJOR STORMWATER PERMIT REQUIRED</b>	

**PROFILE A**

DEEP SUMP CATCH BASIN ONE (1) 4' DIAMETER SOLID CATCH BASIN WITH FRAME & GRATE. RIM EL=29.5±. 6" DIA. HDPE PIPE CONNECTION PIPE TO INFILTRATION TRENCH. INVERT AT TRENCH EL=00.0±

**PROFILE A & B**

STONE INFILTRATION TRENCH 36"x12"x4" WITH THREE (3) 600 GALLON LEACH PITS. 6" DIA. HDPE PIPE CONNECTION PIPE TO INFILTRATION TRENCH. INVERT AT TRENCH EL=19.9±

**PROFILE A**

PROPOSED DRY GRASSED SWALE WITH ONE (1) 4' DIAMETER SOLID CATCH BASIN WITH HOOD, CONNECTED TO (1) 36"x12"x4" LEACHING FACILITY. (THREE (3) 4'x6" LEACH PITS WITH 36" STONE AROUND). 12" DIA. HDPE PIPE CONNECTION GRASSED SWALE BOTTOM EL=21.0±. CATCH BASIN RIM EL=22.5±

**STORMWATER FACILITY NOTES:**

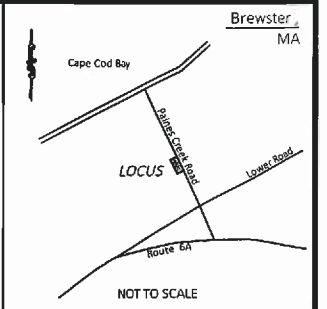
- GENERAL:**
- 1.) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, LOCATING AND PROTECTING ALL ABOVE AND BELOW GROUND UTILITIES PRIOR TO AND DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT DIG SAFE, ON-TARGET LOCATING, WATER DEPARTMENT AND ALL OTHER NECESSARY UTILITY COMPANIES FOR THE MARKING OF ALL PUBLIC AND PRIVATE UTILITIES.
  - 2.) ALL WORKMANSHIP PROVIDED SHALL BE IN CONFORMANCE WITH THE TOWN OF BREWSTER D.P.W. SPECIFICATIONS AND REQUIREMENTS.
  - 3.) ALL COMPONENTS SHALL BE SUBJECT TO H20 WHEEL LOADS, UNLESS SPECIFICALLY IDENTIFIED ON THE PLAN DETAILS.
  - 4.) ANY MODIFICATIONS AND/OR DEVIATIONS FROM THE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT ENGINEER AND/OR THE TOWN.

**STORMWATER FACILITY NOTES: (CONT'D)**

- DRIVEWAY ACCESS:**
- 5.) CONTRACTOR SHALL COORDINATE THE CURB-CUT ACCESS INTO THE PARCEL WITH THE BREWSTER D.P.W.
  - 6.) NO EXISTING DRAINAGE STRUCTURES ARE NEAR THE PROJECT.
  - 7.) DRIVEWAY ENTRANCE APRON, DURING CONSTRUCTION, SHALL BE 15 FEET DEEP AND FINISHED WITH A 12 INCH LAYER OF NATIVE GRAVEL TO CONTROL DUST AND SILTATION FROM THE PROJECT SITE.
  - 8.) CONTRACTOR SHALL PROVIDE A ROW OF STRAW WATTLES ALONG THE ENTRANCE OF THE DRIVEWAY WHEN CONSTRUCTION ACTIVITY IS NOT OCCURRING ON THE SITE. THE WATTLES SHALL BE SECURED IN PLACE SO PREVENT WASHING OF SOIL INTO PAINES CREEK ROAD.
  - 9.) THE LEACHING FACILITY FOR THE STORMWATER SHALL BE SET INTO THE FINE SAND OR MEDIUM SAND MATERIAL. DESIGN ENGINEER SHALL BE NOTIFIED IF SOIL CONDITIONS ARE DIFFERENT FROM WHAT WAS FOUND DURING THE SOIL TESTING, SEE SOIL PROFILES ABOVE.

**STORMWATER FACILITY NOTES: (CONT'D)**

- GRASSED CHANNEL:**
- 10.) THE GRASSED SWALE SHALL BE COVERED WITH A 4 INCH LAYER OF LOAM, BAKED SMOOTH AND SEEDED WITH NEW ENGLAND EROSION CONTROL / RESTORATION SEED MIX FOR WET SITES.
  - 11.) ONCE SEEDDED, THE SWALE SHALL BE INSPECTED AND REPAIRED AS NEEDED AFTER ALL RAIN EVENTS. CONTRACTOR SHALL INSTALL EROSION CONTROL BLANKETS AND / OR STRAW WATTLES AS NECESSARY TO CONTROL THE SWALE SLOPE AND MITIGATE WASHOUT.
- LIMIT OF WORK LINE:**
- 12.) THE LIMIT OF DISTURBANCE FOR THE CONSTRUCTION OF THE DWELLING SHALL BE AS SHOWN ON THE PLAN VIEW.
  - 13.) THE LIMIT OF WORK LINE, UP SLOPE FROM THE SITE ACTIVITIES, SHALL BE DELINEATED BY EITHER TEMPORARY ORANGE CONSTRUCTION FENCING OR SIGNAGE.
  - 14.) THE LIMIT OF WORK LINE, DOWN SLOPE FROM THE SITE ACTIVITIES SHALL BE A ROW OF 9 INCH STRAW WATTLES, SECURED TO THE GROUND WITH STAKES.
  - 15.) CONTRACTOR SHALL HAVE EXTRA STRAW WATTLES ON SITE SO AS TO MITIGATE AND / OR REPAIR THE LIMIT OF WORK LINE AND POTENTIAL SOIL WASHOUT.



PLAN BOOK 327  
 DEED BOOK 23288  
 ASSESSORS' MAP 37

PAGE 62  
 PAGE 278  
 PARCEL 6

**LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- WATER SERVICE LINE
- OVERHEAD UTILITY SERVICE
- ELECTRIC / COMM. SERVICE LINE
- GAS SERVICE LINE
- TEST HOLE / BORING LOCATION
- SEPTIC TANK
- DISTRIBUTION BOX
- SOIL ABSORPTION SYSTEM
- RESERVED FOR FUTURE UTILITY POLE
- CATCH BASIN
- FIRE HYDRANT
- WELL
- DRAINAGE MANHOLE
- CONCRETE BOUND, FOUND
- LIMIT OF WORK
- FENCE
- EDGE OF CLEARING

**ZONING TABLE**

ZONE (RESIDENTIAL)	RM (Residential)
FRONT YARD SETBACK	40 FEET
SIDE YARD SETBACKS	25 FEET
REAR YARD SETBACKS	25 FEET
BUILDING HEIGHT	30 FEET

**AVERAGE GRADE & BUILDING HEIGHT**

AVERAGE MEAN EXISTING GRADE ELEVATION: 32.3 + 27.7 + 29.5 + 29.7 + 27.7 + 26.3 + 28.4 + 29.4 + 31.1 + 33.0 / 10 = 29.5, EL=29.5  
 MAX ALLOWABLE ROOF PEAK: 29.5 + 30 FEET = 59.5, EL=59.5  
 PROPOSED BUILDING HEIGHT: TOF EL + 25.3 FEET = 33.5 + 25.3 FEET = 58.8 < EL=59.5 HEIGHT OKAY!

**PROPOSED BUILDING COVERAGE**

PROPOSED BUILDING COVERAGE: Includes House, Garage, Front Porch, Screen Porch, Roof Overhangs, Steps, Pergola & Detached Screen Porch:  
 3,622 SF / 29,116 SF = X 100 = 12.4%

**WATERSHED SKETCH PLAN**

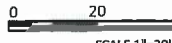
**Sharon Residence**  
 c/o Jim Hagerty, Reef, Cape Cods Home Builder, PO Box 186 Dennis, MA 02670

PROPOSED STORWATER AREAS  
 393 Paines Creek Road, Brewster, MA

**J.M. O'REILLY & ASSOCIATES, INC.**  
 Professional Engineering & Land Surveying Services

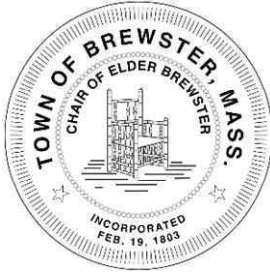
1673 Main Street - Route 6A  
 P.O. Box 1778  
 Brewster, MA 00801 (508)660-6601

DATE: 3/24/23 SCALE: As Noted BY: MTF CHECK: JMO JOB NUMBER: JMO-9390



**MAJOR STORMWATER MANAGEMENT PERMIT**  
**CASE NO. 2023-12**

**APPLICANT/OWNER: CHRISTOPHER AND GILLIAN PLATTS**  
**PROPERTY: 0 RUN HILL ROAD**



# Town of Brewster

2198 Main Street  
Brewster, MA 02631-1898  
Phone: (508) 896-3701 x. 1133

Office of:  
Planning Board  
Planning Dept.

## STAFF REPORT

**TO:** Planning Board  
**FROM:** Jon Idman, Town Planner  
**RE:** Major Stormwater Permit SWMP23-12  
Run Hill Road (Map 35 Parcel 32)  
Applicant, M/M Platts c/o JM O'Reilly & Associates, Inc.  
**DATE:** March 30, 2023

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### Recommendation

The stormwater permit application meets the applicable performance standards and submission requirements set out in the town's Stormwater Management Regulations for issuance and approval of a Major Stormwater Permit.

Approval should be granted subject to the continuing obligations set out in said Regulations, including Sections 5.7, 5.8, 5.9 (Certificates of Compliance), 6.1B (Construction practices), Section 7.2 (Inspections), 8.3 (Recording of stormwater permit and O&M plan) and 8.5 therein.

### Major Stormwater Management Permit

This project triggers a Stormwater Permit under Chapter 272 of the Brewster Code (Stormwater Management Bylaw) and according to Section 4 of the Bylaw's supporting regulations, a Major Stormwater Permit is required because the project involves net new impervious surface of 2500 sq ft or greater. The underlying project is development of a previously undeveloped single-family residential property with a residence and appurtenances.

The southern portion of the property is within wetlands jurisdiction; its frontage along Lower Mill Pond is within a special flood hazard area. The property is not located in a Zone II or the DCPC. The property slopes from Run Hill Road towards Lower Mill Pond. The steepest site topography is located within the wetland buffer portion of the property, which is not proposed to be altered or developed.

However, because the development project, including the stormwater management system or limit of work, is not located within wetlands jurisdiction, the Planning Board is the stormwater permitting authority. Major Stormwater Permits are subject to review at a public meeting, including for any waivers requested. No waivers have been requested or identified as necessary.

The Applicant has provided the required application materials for a Major Stormwater Permit, including a site plan (revised 3/27/23) and Stormwater Management and Hydrologic Report (dated/ stamped 3/22/23), as set out in Appendix B of the Stormwater Management Regulations.

- Proposed Site Plan entitled "Mr. Christopher Platts, 1 Partridge Lane, Littleton, MA 01460, Sewage & Stormwater Site Plan, Lot 7, Run Hill Road, Brewster, MA," prepared by JM O'Reilly & Associates, Inc., revised dated 3/27/23 and stamped by John M. O'Reilly, PE, PLS.

The Applicant has provided construction-period BMPs in an erosion and sedimentation control plan consistent with the performance standards for Major Stormwater Permits set out in Section 6.1B of the Stormwater Management Regulations. Plan elements include straw wattles, a gravel construction drive



and protection of catch basins or other stormwater facility inlets. Special care has been paid to intercepting run-off and sediment prior to the wetland buffer on-site.

The post-construction stormwater management system for the site consists of three separate stormwater management subsystems/ catchment areas. Roof run-off will be collected separately from site run-off, then directed to one of the subsurface leaching facilities for recharge; there is a system for each the front and rear halves of the proposed residence. Run-off from the gravel driveway will be conveyed by grass channel, collected from sheet flow, then directed to a grass swale and then to two subsurface leaching facilities. There is also a natural depression in the northeast portion of the site, proposed to remain unaltered, which will assist in collecting, infiltrating and treating stormwater. The Applicant has provided a corresponding Operations and Maintenance Manual. These post-construction BMPs are consistent with the Major Stormwater Permits performance standards for new construction set out in Section 6.2B and Section 8.2 of the Stormwater Management Regulations:

- The system meets the applicable standards in the Massachusetts Stormwater Handbook for new development.
- The system was designed under post-development conditions to recharge on-site all peak discharges for the 2, 10, 25 and 100-year storm events.
- As designed, post-development runoff rates are reduced to less than the pre-development conditions including for the 100-year storm.
- The O&M plan deals with long term maintenance of all post-construction BMPs such as the subsurface recharge system and water quality treatment swale.
- The system incorporates Low Impact Development-type (LID) stormwater design elements, specifically a water quality treatment swale.
- In addition to the MA handbook stormwater standards, the system meets the TSS and Phosphorus treatment requirements (TSS) set out in the Regulations for new development.
- The system is designed to hold and treat the 'first flush' of stormwater volume for the 100 yr storm.
- The Applicant's soil tests on the property, and NRCS mapping, have revealed sandy and well-draining soils.
- There is significant separation from stormwater facilities and the groundwater table.
- There is a particular oak tree proposed to be removed on or along the eastern property line, as depicted on the site plan. The planning department has correspondence in which the easterly neighbor has consented to this removal. The applicant maintains that its removal is necessary to facilitate the proposed roof mounted solar energy system on locus.



Town of Brewster
Code Chapter 272
Stormwater Management Permit
Application Form

FOR TOWN OFFICIAL USE ONLY
TOWN CLERK RECEIVED:
SWM PERMIT NUMBER ASSIGNED:
[Handwritten signature and permit number]

1. Project Location:

Lot 7, Run Hill Road,

Street Address

map 35, parcel 32

Assessors Map and Parcel(s)

book 34191, page 300

Deed Reference

2. Applicant:

Christopher & Gillian Platts

Name

One Partridge Lane, Littleton, MA 01460

Legal Mailing Address

c.platts@icloud.com

Email Address

3. Property Owner (if different than Applicant):

Same

Name

Legal Mailing Address

Phone Number

Email Address

4. Professional Representative:

John O'Reilly, J.M. O'REILLY & ASSOCIATES, INC.

Name

P.O. Box 1773, Brewster, MA 02631

Legal Mailing Address

508-896-6601

Phone Number

joreilly@jmoreillyassoc.com

Email Address

5. Type of Application (Check as applicable):

\_\_\_\_\_ **Minor Stormwater Permit-** Any combination or series of construction or land disturbance activities that, over a two-year period, will result in a net increase in impervious area of 500 sq.ft. to 2,500 sq.ft. and/or will result in land disturbances of 10,000 sq.ft. to 20,000 sq.ft.

**Major Stormwater Permit-** Any alteration, disturbance, development, or redevelopment that does not meet the eligibility criteria for a Minor Stormwater Permit.

\_\_\_\_\_ **SWM Permit Amendment-**  
List existing Stormwater Management permit number/ type \_\_\_\_\_.

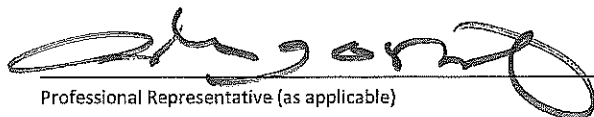
\_\_\_\_\_ **Stormwater Management Certificate of Compliance (SMCC) Request-**  
List relevant Stormwater Management permit number \_\_\_\_\_.

6. Brief Project Description, including any waiver requests:

7. Signatures:

Chris Platts 3-23-2023  
\_\_\_\_\_  
Applicant Date

\_\_\_\_\_  
Property Owner (if different than Applicant) Date

 3-23-2023  
\_\_\_\_\_  
Professional Representative (as applicable) Date

**NOTES:**

- Please refer to Appendix B of the Stormwater Management Regulations for detailed application submittal and supporting material requirements for Minor and Major Stormwater Management Permits, respectively.
- The application fee schedule is contained in Appendix C of the Regulations.
- Certain activities are exempt from review and permitting (See §272-6 of the Stormwater Management Bylaw).
- If the project is located, in whole or part, within an area subject to state or local wetlands protection law, the review and permitting authority is the Brewster Conservation Commission/ Conservation Department.
- No permit review shall occur nor shall review periods commence until the application is deemed complete.

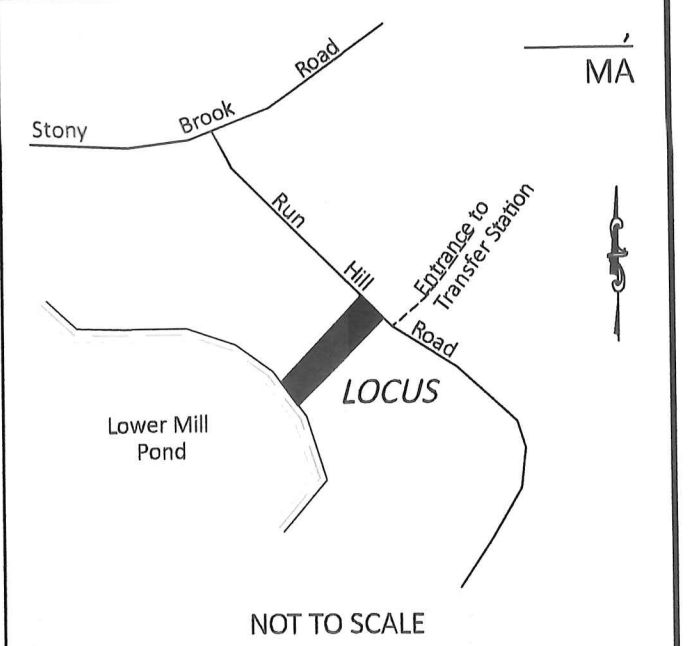
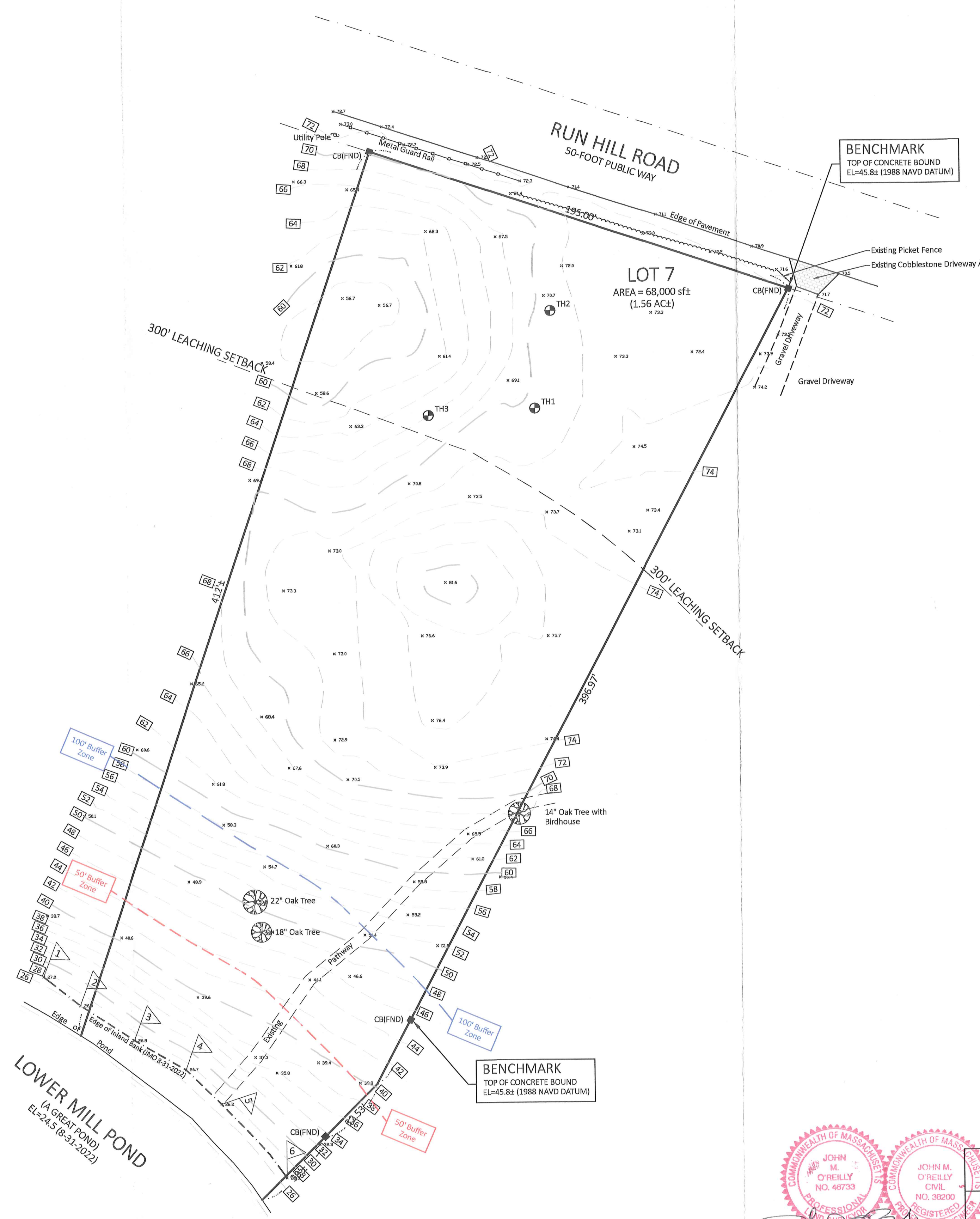
**SOIL TEST LOGS:**

TEST HOLE 1: EL=70.5±					
DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-3	A	FINE LOAMY SAND	10YR 3/2	NONE	
3-22	B	FINE LOAMY SAND	10YR 5/8	NONE	
22-124	C	MEDIUM TO COARSE SAND	10YR 6/3	NONE	LOOSE WITH COBBLES

TEST HOLE 2: EL=71.0±					
DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-5	A	FINE LOAMY SAND	10YR 3/2	NONE	
5-27	B	FINE LOAMY SAND	10YR 5/8	NONE	
27-144	C	MEDIUM TO COARSE SAND	10YR 6/3	NONE	LOOSE WITH COBBLES

TEST HOLE 2: EL=66.0±					
DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-5	A	FINE LOAMY SAND	10YR 3/2	NONE	
5-43	B	FINE LOAMY SAND	10YR 5/8	NONE	
43-160	C	MEDIUM TO COARSE SAND	10YR 6/3	NONE	LOOSE WITH COBBLES

DATE OF TESTING: 5-6-2021  
 PERCOLATION RATE: LESS THAN 2 MIN/INCH IN "C" LAYERS.  
 WITNESSED BY: M. WROBEL, ETI, J.M. O'REILLY & ASSOCIATES, INC.  
 S. McCULLOUGH, AGENT, BREWSTER HEALTH DEPARTMENT  
 NO WATER ENCOUNTERED  
 USE A LOADING RATE OF 0.74 GPD/SF FOR SIZING OF SOIL ABSORPTION SYSTEM.



PLAN BOOK 462 DEED BOOK 34191 ASSESSORS' MAP 35  
 PAGE 11 PAGE 300 PARCEL 32

**LEGEND**

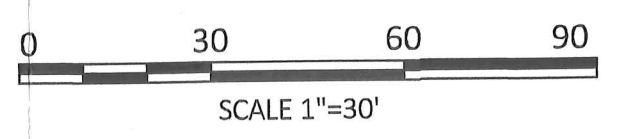
32	EXISTING CONTOUR
32	PROPOSED CONTOUR
x12.34	EXISTING SPOT GRADE
24x5	PROPOSED SPOT GRADE
W	WATER SERVICE LINE
OH	OVERHEAD UTILITY SERVICE
E	ELECTRIC / COMM. SERVICE LINE
G	GAS SERVICE LINE
TH	TEST HOLE / BORING LOCATION
ST	SEPTIC TANK
DB	DISTRIBUTION BOX
SAS	SOIL ABSORPTION SYSTEM
Reserve	RESERVED FOR FUTURE
U	UTILITY POLE
C	CATCH BASIN
F	FIRE HYDRANT
W	WELL
DM	DRAINAGE MANHOLE
CB	CONCRETE BOUND, FOUND
---	LIMIT OF WORK
---	FENCE
---	EDGE OF CLEARING



MR. CHRISTOPHER PLATTS  
 1 PARTRIDGE LAN, LITTLETON, MA 01460

EXISTING CONDITION PLAN  
 LOT 7 RUN HILL ROAD, BREWSTER, MA

**J.M. O'REILLY & ASSOCIATES, INC.**  
 Professional Engineering & Land Surveying Services



1573 Main Street - Route 6A P.O. Box 1773 Brewster, MA 02631		(508)896-6601 Office (508)896-6602 Fax	
DATE: 9-20-2022	SCALE: As Noted	BY: jmo	CHECK: JMO
		JOB NUMBER: JMO-9082	

G:\AAJob\9082.Platts\dwg\9082.Existing Condition Plan.dwg

**GENERAL NOTES:**

- A) NEITHER DRIVEWAYS NOR PARKING ARE ALLOWED OVER SEPTIC SYSTEM UNLESS H-20 COMPONENTS ARE USED.
- B) THE DESIGNER WILL NOT BE RESPONSIBLE FOR THE SYSTEM AS DESIGNED UNLESS CONSTRUCTED AS SHOWN. ANY CHANGES SHALL BE APPROVED IN WRITING.
- C) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.

**CONSTRUCTION NOTES:**

- 1) ALL CONSTRUCTION SHALL CONFORM TO THE STATE ENVIRONMENTAL CODE, TITLE 5, AND THE REQUIREMENTS OF THE LOCAL BOARD OF HEALTH.
- 2) SEPTIC TANK(S), GREASE TRAP(S), DOSING CHAMBER(S) AND DISTRIBUTION BOX(ES) SHALL BE SET ON A LEVEL, STABLE BASE WHICH HAS BEEN MECHANICALLY COMPACTED, OR ON A 6 INCH CRUSHED STONE BASE.
- 3) SEPTIC TANK(S) SHALL MEET ASTM STANDARD C1127-93 AND SHALL HAVE AT LEAST THREE 20" DIAMETER MANHOLES. THE MINIMUM DEPTH FROM THE BOTTOM OF THE SEPTIC TANK TO THE FLOW LINE SHALL BE 48".
- 4) SCHEDULE 40 PVC INLET AND OUTLET TEES SHALL EXTEND A MINIMUM OF 6" ABOVE THE FLOW LINE OF THE SEPTIC TANK AND SHALL BE INSTALLED ON THE CENTERLINE OF THE TANK DIRECTLY UNDER THE CLEANOUT MANHOLE.
- 5) RAISE COVERS OF THE SEPTIC TANK AND DISTRIBUTION BOX WITH PRECAST CONCRETE WATER TIGHT RISERS OVER INLET AND OUTLET TEES TO WITHIN 6" OF FINISH GRADE, OR AS APPROVED BY THE LOCAL BOARD OF HEALTH AGENT.
- 6) PIPING SHALL CONSIST OF 4" SCHEDULE 40 PVC OR EQUIVALENT. PIPING SHALL BE LAID ON A MINIMUM CONTINUOUS GRADE OF NOT LESS THAN 1%. 7) DISTRIBUTION LINES FOR SOIL ABSORPTION SYSTEM (AS REQUIRED) SHALL BE 4" DIAMETER SCHEDULE 40 PVC LAD AT 0.005 FT/FT. LINE SHALL BE CAPPED AT END OR AS NOTED.
- 8) OUTLET PIPES FROM DISTRIBUTION BOX SHALL REMAIN LEVEL FOR AT LEAST 2' BEFORE PITCHING TO SOIL ABSORPTION SYSTEM. WATER TEST DISTRIBUTION BOX TO ENSURE EVEN DISTRIBUTION.
- 9) DISTRIBUTION BOX SHALL HAVE A MINIMUM SUMP OF 6" MEASURED BELOW THE OUTLET INVERT.
- 10) BASE AGGREGATE FOR THE LEACHING FACILITY SHALL CONSIST OF 3/4" TO 1-1/2" DOUBLE WASHED NATIVE STONE FREE OF IRON, FINES AND DUST AND SHALL BE INSTALLED BELOW THE CROWN OF THE DISTRIBUTION LINE TO THE BOTTOM OF THE SOIL ABSORPTION SYSTEM. BASE AGGREGATE SHALL BE COVERED WITH A LAYER OF FILTER FABRIC OR APPROVED EQUIVALENT.
- 11) VENT SOIL ABSORPTION SYSTEM WHEN DISTRIBUTION LINES EXCEED 50 FEET; WHEN LOCATED EITHER IN WHOLE OR IN PART UNDER DRIVEWAYS, PARKING AREAS, TURNING AREAS OR OTHER IMPERVIOUS MATERIAL, OR WHEN PRESSURE DOSED.
- 12) SOIL ABSORPTION SYSTEM SHALL BE COVERED WITH A MINIMUM OF 9" OF CLEAN MEDIUM SAND (EXCLUDING TOPSOIL).
- 13) FINISH GRADE SHALL BE A MAXIMUM OF 36" OVER THE TOP OF ALL SYSTEM COMPONENTS, INCLUDING THE SEPTIC TANK, DISTRIBUTION BOX, DOSING CHAMBER AND SOIL ABSORPTION SYSTEM. SEPTIC TANKS SHALL HAVE A MINIMUM COVER OF 9".
- 14) FROM THE DATE OF INSTALLATION OF THE SOIL ABSORPTION SYSTEM UNTIL RECEIPT OF A CERTIFICATE OF COMPLIANCE, THE PERIMETER OF THE SOIL ABSORPTION SYSTEM SHALL BE STAKED AND FLAGGED TO PREVENT THE USE OF SUCH AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE SYSTEM.

**SOIL TEST LOGS:**

TEST HOLE 1: EL=70.5z

DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-3	A	FINE LOAMY SAND	10YR 3/2	NONE	
3-22	B	FINE LOAMY SAND	10YR 5/8	NONE	
22-124	C	MEDIUM TO COARSE SAND	10YR 6/3	NONE	LOOSE WITH COBBLES

TEST HOLE 2: EL=71.0z

DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-6	A	FINE LOAMY SAND	10YR 3/2	NONE	
6-27	B	FINE LOAMY SAND	10YR 5/8	NONE	
27-144	C	MEDIUM TO COARSE SAND	10YR 6/3	NONE	LOOSE WITH COBBLES

TEST HOLE 2: EL=66.0z

DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-5	A	FINE LOAMY SAND	10YR 3/2	NONE	
5-43	B	FINE LOAMY SAND	10YR 5/8	NONE	
43-160	C	MEDIUM TO COARSE SAND	10YR 6/3	NONE	LOOSE WITH COBBLES

DATE OF TESTING: 5-6-2021  
 PERCOLATION RATE: LESS THAN 2 MIN/INCH IN "C" LAYERS.  
 WITNESSED BY: M. WROBEL, EIT, J.M. O'REILLY & ASSOCIATES, INC.  
 S. MCCULLOUGH, AGENT, BREWSTER HEALTH DEPARTMENT  
 NO WATER ENCOUNTERED.  
 USE A LOADING RATE OF 0.74 GPD/SF FOR SIZING OF SOIL ABSORPTION SYSTEM.

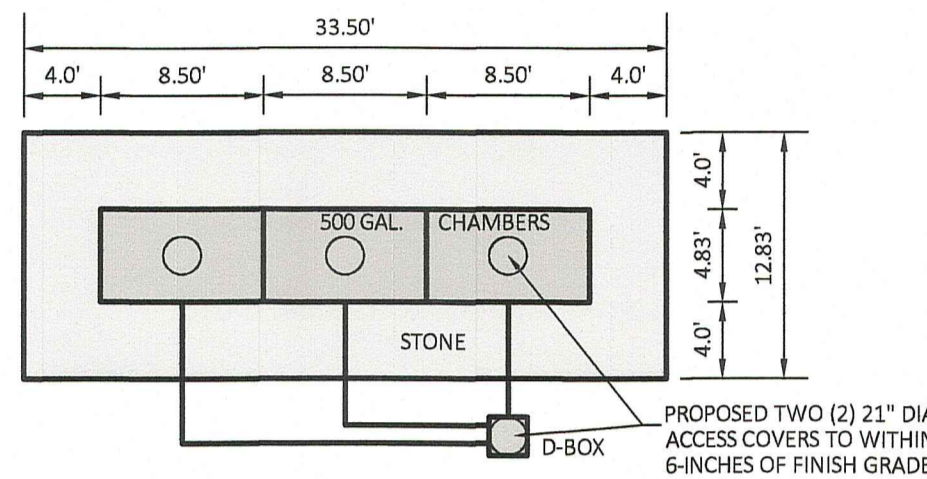
**CONSTRUCTION NOTES cont'd:**

- 15) SUBSURFACE COMPONENTS OF A SYSTEM SHALL NOT BE BACKFILLED OR OTHERWISE CONCEALED FROM VIEW UNTIL A FINAL INSPECTION HAS BEEN CONDUCTED BY THE APPROVING AUTHORITY AND PERMISSION HAS BEEN GRANTED BY THE APPROVING AUTHORITY TO BACKFILL THE SYSTEM. THE DESIGNER SHALL INSPECT THE CONSTRUCTION AFTER THE INITIAL EXCAVATION, PRIOR TO BACKFILLING, AND DURING BACKFILLING. IN ADDITION, THE FINAL INSPECTION OF THE SYSTEM SHALL BE CONDUCTED BY THE APPROVING AUTHORITY, THE SYSTEM INSTALLER AND DESIGNER PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE PURSUANT TO 310 CMR 15.02(1)(3). ANY COMPONENT OF THE SYSTEM WHICH HAS BEEN COVERED WITHOUT SUCH PERMISSION SHALL BE UNCOVERED UPON REQUEST OF THE APPROVING AUTHORITY OR THE DEPARTMENT.
- 16) OWNER / CONTRACTOR SHALL REVIEW HOUSE LOCATION AND GRADING PRIOR TO EXCAVATION.

**SYSTEM DESIGN CALCULATIONS:**

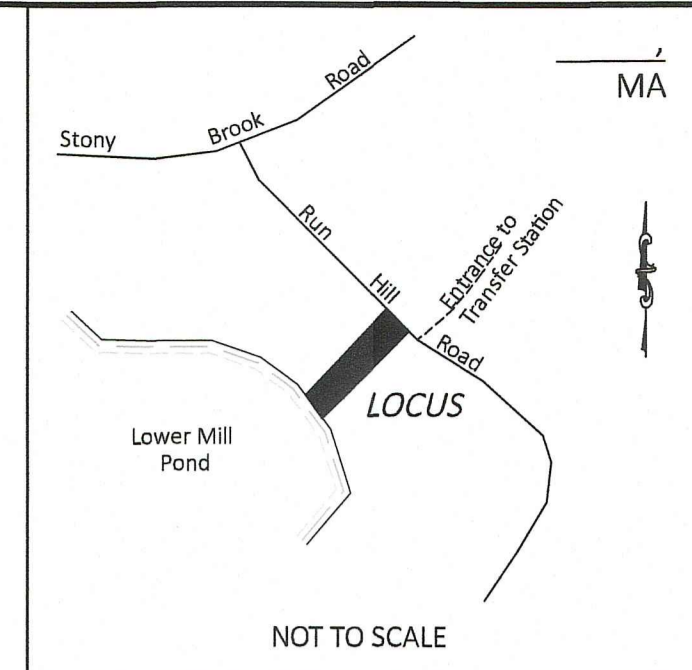
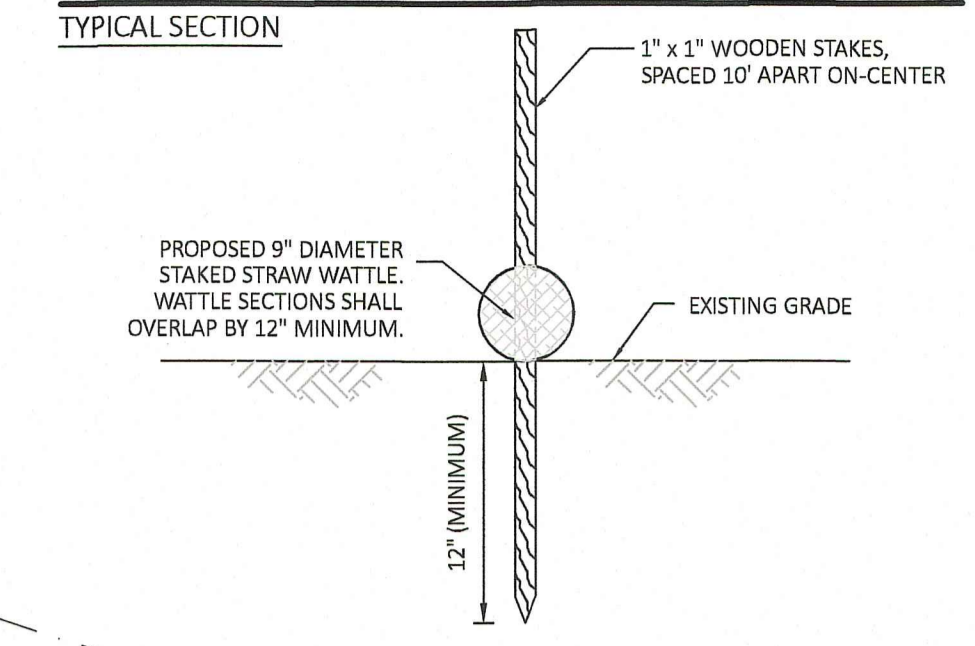
SEWAGE DESIGN FLOW:  
 4 BEDROOM DWELLING @ 110 GPD = 440 GPD  
 LEACHING CAPACITY REQUIRED:  
 4 BEDROOMS (MAX) @ 110 GPD = 440 GPD REQUIRED  
 SEPTIC TANK CAPACITY REQUIRED:  
 DAILY FLOW = 440 GPD @ 200% = 880 GAL. REQUIRED  
 SEPTIC TANK CAPACITY PROVIDED:  
 1500 GALLON SEPTIC TANK (MIN. ALLOWED)  
 LEACHING CAPACITY PROVIDED:  
 ONE (1) 33.5' X 12.83' X 2.0' LEACHING CHAMBER CAN LEACH:  
 V=133.5 X 12.83 X 2.02 = 133.5 X 2.02 X 12.83 X 2.02 X 0.74 GPD/SF = 455.10 GPD  
 455 GPD > 440 GPD REQUIRED

NOTE: A GARBAGE DISPOSAL IS NOT PERMITTED WITH THIS DESIGN.  
 INSTALL:  
 ONE (1) - 1500 GALLON SEPTIC TANK  
 ONE (1) - 3" OUTLET DISTRIBUTION BOX (H-20 RATED)  
 THREE (3) - 500 GALLON LEACH CHAMBERS WITH 4" OF STONE ALL AROUND



**S.A.S. PLAN VIEW DETAIL**  
 SCALE: 1" = 10'

**WATTLE/EROSION CONTROL DETAIL:**



PLAN BOOK 462  
 DEED BOOK 34191  
 ASSESSORS' MAP 35

PAGE 11  
 PAGE 300  
 PARCEL 32

**LEGEND**

— 32	EXISTING CONTOUR
— 32	PROPOSED CONTOUR
x 12.34	EXISTING SPOT GRADE
24x5	PROPOSED SPOT GRADE
— W	WATER SERVICE LINE
— OH	OVERHEAD UTILITY SERVICE
— E	ELECTRIC / COMM. SERVICE LINE
— G	GAS SERVICE LINE
⊙	TEST HOLE / BORING LOCATION
ST	SEPTIC TANK
DB	DISTRIBUTION BOX
SAS	SOIL ABSORPTION SYSTEM
Reserve	RESERVED FOR FUTURE
⊙	UTILITY POLE
⊙	CATCH BASIN
⊙	FIRE HYDRANT
⊙	WELL
⊙	DRAINAGE MANHOLE
⊙	CONCRETE BOUND, FOUND
—	LIMIT OF WORK
—	FENCE
—	EDGE OF CLEARING

**ZONING:**

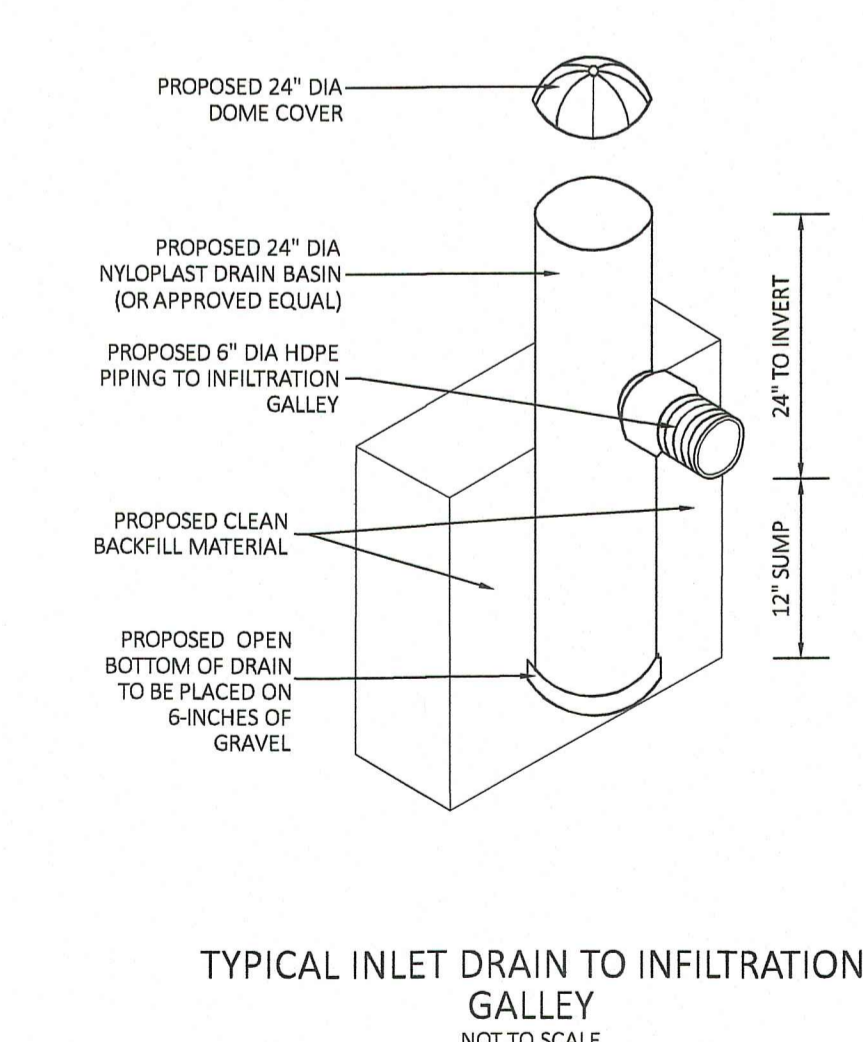
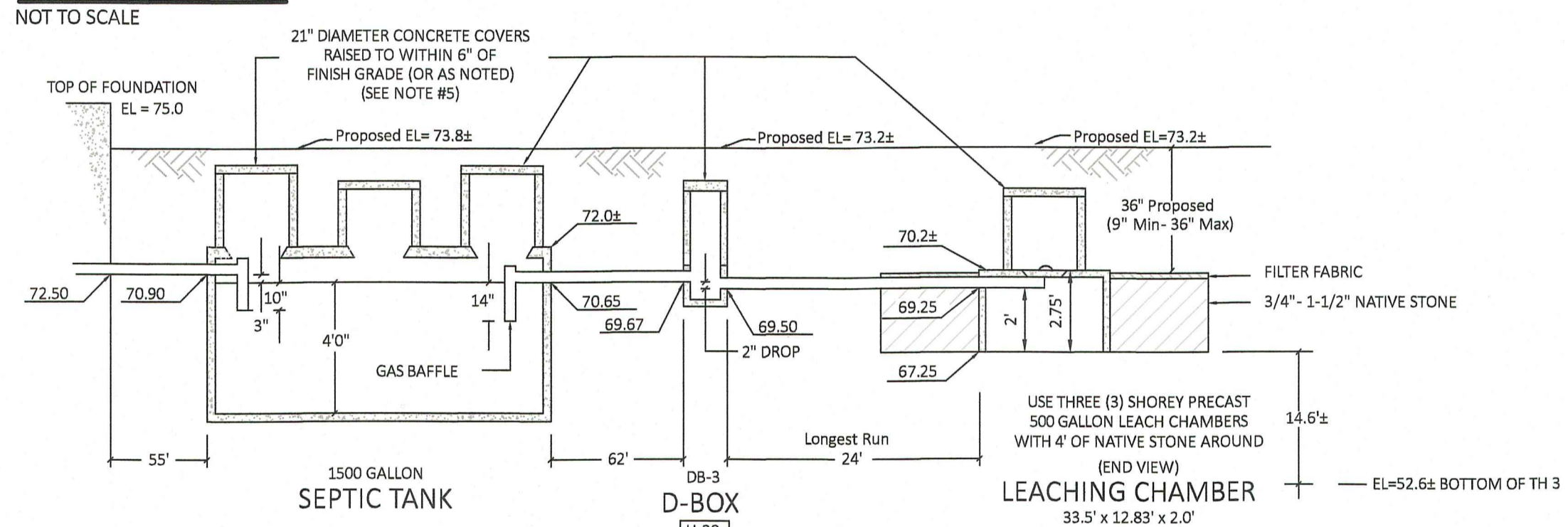
**COVERAGE:**

PROPOSED BUILDING & PORCH AREA: 3,974 SF  
 LOT AREA: 68,000 SF  
 PROPOSED COVERAGE: [(3974 / 68,000) x 100% = 5.8 %]

**AVERAGE GRADE:**

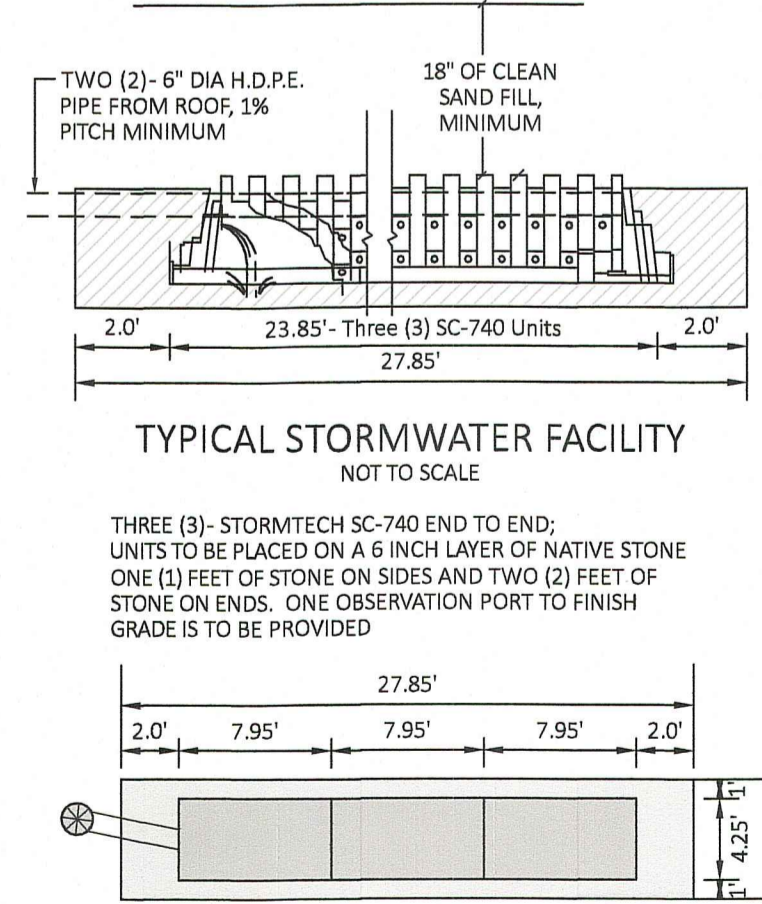
EXISTING AVERAGE GRADE AT THE BUILDING CORNERS:  
 G(AVG) = [76 + 70 + 68.5 + 72] / 4 = 71.6 ±  
 MAXIMUM RIDGE ELEVATION = 71.6 + 30' = 101.6 ±

**FLOW PROFILE:**



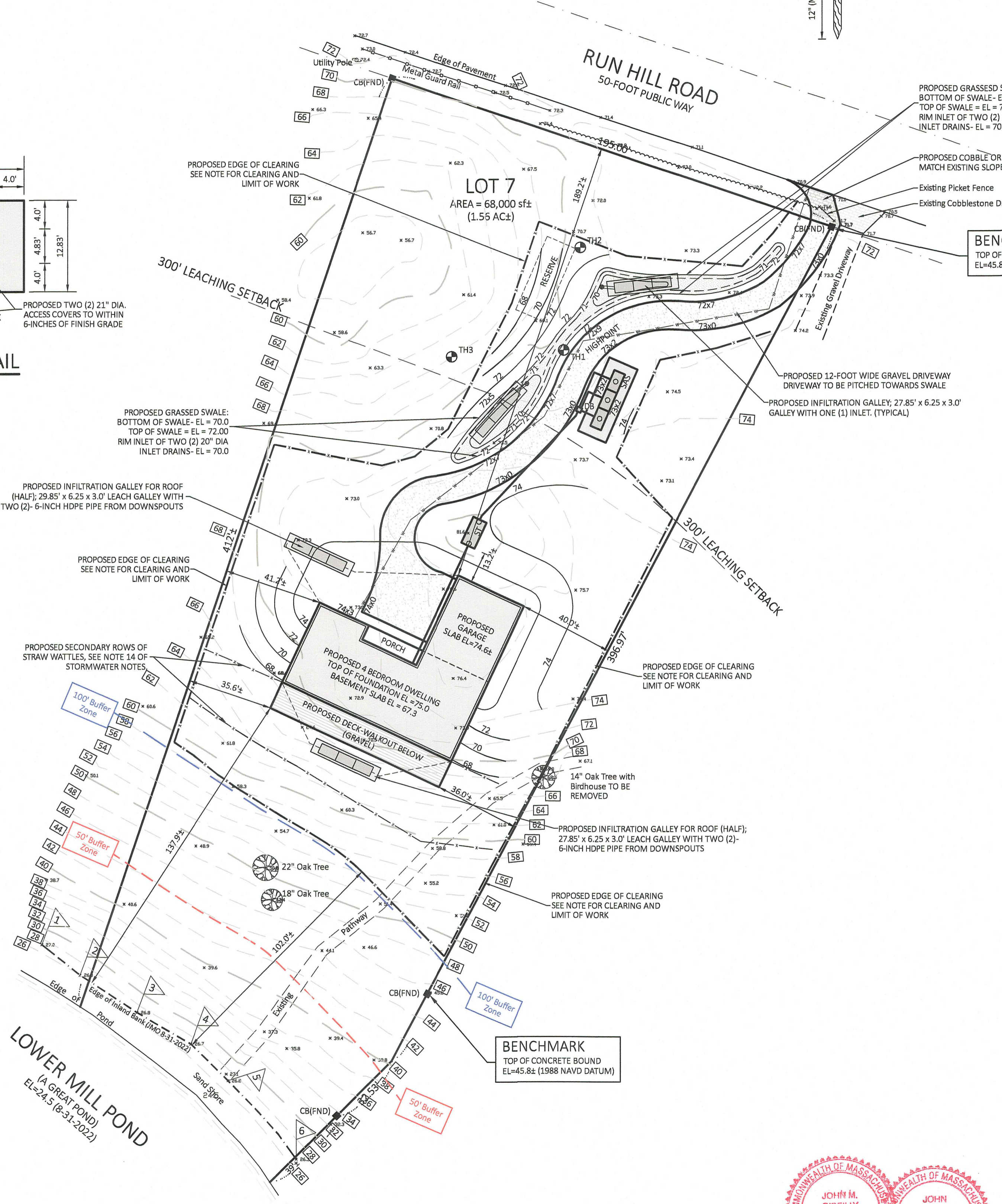
**STORMWATER FACILITY NOTES:**

- GENERAL:**
- 1) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, LOCATING AND PROTECTING ALL ABOVE AND BELOW GROUND UTILITIES PRIOR TO AND DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT DIG-SAFE, ON-TARGET LOCATING, WATER DEPARTMENT AND ALL OTHER NECESSARY UTILITY COMPANIES FOR THE MARKING OF ALL PUBLIC AND PRIVATE UTILITIES.
  - 2) ALL WORKMANSHIP PROVIDED SHALL BE IN CONFORMANCE WITH THE TOWN OF BREWSTER D.P.W. SPECIFICATIONS AND REQUIREMENTS.
  - 3) ALL COMPONENTS SHALL BE SUBJECT TO WHEEL LOADS, UNLESS SPECIFICALLY IDENTIFIED ON THE PLAN DETAILS.
  - 4) ANY MODIFICATIONS AND/OR DEVIATIONS FROM THE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT ENGINEER AND/OR THE TOWN.



**STORMWATER FACILITY NOTES: (CONT'D)**

- DRIVEWAY ACCESS:**
- 5) CONTRACTOR SHALL COORDINATE THE CURB-CUT ACCESS INTO THE PARCEL WITH THE BREWSTER D.P.W. AS OUTLINED IN THE SUBDIVISION PLAN, THE PROPOSED DRIVEWAY SHALL BEGIN ADJACENT TO THE EXISTING DRIVEWAY FOR THE ABUTTER (COMMON CURB-CUT).
  - 6) DRIVEWAY ENTRANCE APRON, DURING CONSTRUCTION, SHALL BE 20 FEET DEEP AND FINISHED WITH A 12 INCH LAYER OF NATIVE GRAVEL TO CONTROL DUST AND SILTATION FROM THE PROJECT SITE.
  - 7) CONTRACTOR SHALL PROVIDE A ROW OF STRAW WATTLES ALONG THE ENTRANCE OF THE DRIVEWAY WHEN CONSTRUCTION ACTIVITY IS NOT OCCURRING ON THE SITE. THE WATTLES SHALL BE SECURED IN PLACE SO PREVENT WASHING OF SOIL INTO RUN HILL ROAD SOIL.
  - 8) THE LEACHING FACILITIES FOR THE STORMWATER SHALL BE SET INTO THE MEDIUM TO COARSE SAND MATERIAL. DESIGN ENGINEER SHALL BE NOTIFIED IF THE SOIL CONDITIONS ENCOUNTERED WITHIN THE EXCAVATION FOR THE FACILITIES ARE DIFFERENT THAN THOSE SHOWN HEREON.
- GRASSED SWALE:**
- 9) THE GRASSED SWALE TO THE NORTH OF THE PROPOSED DRIVEWAY SHALL BE COVERED WITH A 4 INCH LAYER OF LOAM, RAKED SMOOTH AND SEEDED WITH NEW ENGLAND EROSION CONTROL / RESTORATION SEED MIX FOR DRY SITES.
  - 10) ONCE SEEDED, THE SWALE SHALL BE INSPECTED AND REPAIRED AS NEEDED AFTER ALL RAIN EVENTS. CONTRACTOR SHALL INSTALL EROSION CONTROL BLANKETS AND / OR STRAW WATTLES AS NECESSARY TO CONTROL THE CHANNEL SLOPE AND MITIGATE WASHOUT.
- LIMIT OF WORK LINE:**
- 11) THE LIMIT OF DISTURBANCE FOR THE CONSTRUCTION OF THE DWELLING SHALL BE AS SHOWN ON THE PLAN VIEW.
  - 12) THE LIMIT OF WORK LINE SHALL BE A ROW OF 9-INCH STRAW WATTLES, SECURED TO THE GROUND WITH STAKES.
  - 13) TWO ADDITIONAL ROWS OF STRAW WATTLES SHALL BE INSTALLED ON THE SOUTH SIDE OF THE PROPOSED DWELLING, AS SHOWN. THE STRAW WATTLES SHALL BE INSTALLED ONCE THE AREA HAS BEEN CLEARED.
  - 14) CONTRACTOR SHALL HAVE EXTRA STRAW WATTLES ON SITE SO AS TO MITIGATE AND / OR REPAIR THE LIMIT OF WORK LINE AND POTENTIAL SOIL WASHOUT.
- VEGETATION:**
- 15) ONCE THE DISTURBED AREAS ARE CLEARED, GRUBBED AND GRADED, THE AREA WILL BE COVERED WITH SUITABLE SOIL FOR PLANTING AND SEEDING WITH PERENNIAL RYE-GRASS SEED MIX FOR GROUND STABILIZATION.
  - 16) OWNER SHALL LANDSCAPE DISTURBED AREAS UPON COMPLETION OF DWELLING.



0 30 60 90  
 SCALE 1" = 30'

REVISED 3-27-2023: ADJUSTED THE LIMIT OF WORK TO THE SOUTH EAST (EAST OF EXISTING PATHWAY).

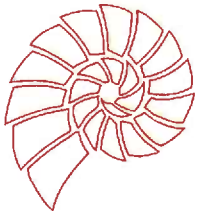
**MR. CHRISTOPHER PLATTS**  
 1 PARTRIDGE LANE, LITTLETON, MA 01460

**SEWAGE & STORMWATER SITE PLAN**  
 LOT 7 RUN HILL ROAD, BREWSTER, MA

**J.M. O'REILLY & ASSOCIATES, INC.**  
 Professional Engineering & Land Surveying Services

1573 Main Street - Route 6A  
 P.O. Box 1773  
 Brewster, MA 02631 (508)896-0802 Fax

DATE: 3-20-2023 SCALE: As Noted BY: jmo CHECK: JMO JOB NUMBER: JMO-9082



# J.M. O'REILLY & ASSOCIATES, INC.

PROFESSIONAL ENGINEERING, LAND SURVEYING & ENVIRONMENTAL SERVICES

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Site Development • Property Line • Subdivision • Sanitary • Land Court • Environmental Permitting

## STORMWATER MANAGEMENT REPORT AND OPERATIONS & MAINTENANCE MANUAL

PLATTS RESIDENCE  
LOT 7 RUN HILL ROAD, BREWSTER, MA  
ASSESSORS MAP 35, PARCEL 32

March 22, 2023

**PREPARED FOR:**

Christopher & Gillian Platts  
One Partridge Lane  
Littleton, MA 014650

**PREPARED BY:**

J.M. O'REILLY & ASSOCIATES, INC.  
1573 MAIN STREET  
P.O. BOX 1773  
BREWSTER, MA 02631  
508-896-6601

## TABLE OF CONTENTS

1. Property Description and Information
2. Stormwater Management System Description
3. Massachusetts Stormwater Management Design Standards
4. Owner and Responsible Party
5. Schedule of Inspection and Maintenance of System
6. Long Term Lawn Care & Pollution Prevention Plan
7. Emergency Spill Cleanup Plan
8. ATTACHMENTS

A – TSS Removal Calculation Sheets (Roof and Driveway)

B – Routing Diagram from HydroCAD Report

C – Watershed Plan

**Property Description:**

Lot Area: 68,000 sf+/- (1.55 ACRES)

Parcel Improvements: The site is to be developed with a new single-family dwelling, driveway, utilities and landscape. Site is currently vacant and well wooded.

Wetlands: The parcel abuts Lower Mill Pond. The limit of clearing will be 102 feet from the edge of the wetland resource (Inland Bank). The wetland resource is a small near vertical break in the slope, adjacent to the ponds edge.

Soils: The NRCS Soil Survey places the parcel within the Plymouth Soils (493D) and Barnstable Soils (494C) Soil testing completed for the sewage system found clean sands.

Groundwater: The groundwater is anticipated to be about elevation 31 (water level of the pond).

Zone II: The parcel is NOT located within a Zone II Groundwater Recharge mapped area.

Topography: The topography is relatively flat from the Run Hill Road at elevation 71, gradually rising up to a highpoint of elevation 81.6. The lot slopes from the highpoint down toward the Pond at elevation 31.

There is a natural depression in the northwest corner of the parcel with the front half of the parcel sloping towards the depression, please refer to the Site Plan for additional information.

Site Conditions: The existing lot is vacant and well wooded.

**Stormwater Management System Description:**

The proposed post-development stormwater management plan consists of two (2) separate stormwater systems that together have been designed to retain and attenuate stormwater runoff from all impervious and landscaped surfaces on the site, including the paved driveway, dwelling, Landscaped Areas, Lawn Areas and Natural Areas. Stormwater systems have been designed to meet the 100-year storm event.

The driveway area in the front portion of the parcel will be controlled by an elongated grass swales and collection channels. The contributory area includes the entire driveway, the landscape areas around the front portion of the dwelling and the area to the west of the driveway. The driveway will be gravel and will be graded to pitch towards the grassed swales and channels. Once within the swales, the stormwater will be directed to two (2) subsurface leaching facilities. All disturbed areas will be seeded with a drought tolerant seed mixture or landscaped planting beds. The planting beds shall be designed to accept water and not discharge water.



The second stormwater system is for the roof area. The entire roof runoff will be controlled by gutters, downspouts and a subsurface leaching galley (two separate systems). The leaching galleys are designed for the 100-year storm.

As shown in the HydroCAD Modeling report, both of the stormwater systems are designed to collect and retain all runoff from their contributory areas for the 100-year storm event. Accordingly, the site's overall peak discharge rate is reduced relative to the Pre-Development discharge rate for the 2, 10, 25 and 100 year storm events. The table below provides a comparison of the site-wide Pre- to Post-Development peak discharge rate for each storm event.

Storm Event	Pre-Development Peak Discharge Rate, cubic feet per second (ft <sup>3</sup> /sec)	Post-Development Peak Discharge Rate, cubic feet per second (ft <sup>3</sup> /sec)
2 year	0.00	0.00
10 year	0.00	0.00
25 year	0.02	0.02
100 year	0.30	0.22

For HydroCAD modeling analysis of the stormwater systems, the following methods and assumptions were used:

- Simple Dynamic
- Rawls Rate of 8.27 in/hr for sands within the subsoil layers for subsurface leaching galleys.
- Rawls Rate of 2.41 in/hr for the loamy sands in the upper soil layers for dry water quality swales.
- Volume capacity of dry water quality swales excluded from peak discharge and recharge calculations.
- 1.0' freeboard provided for all swales above catch basin rim elevation.
- Exfiltration has been assumed to occur along wetted surface area of bottom and walls/slopes.

**Stormwater Management System Specifications by Contributory Area:**

Stormwater System A (Driveway, front area):

- Runoff from gravel driveway is to be directed via grassed channels into a grassed swale
- Landscaped and natural areas around the front of the proposed dwelling and west of the driveway will all contribute to the grassed swale and channel.
- The swale enters into a subsurface leaching facility consisting of two (2) – 27.85'x6.25'x3' subsurface leaching galleys. The galleys have been sized to handle the 100 year storm event.

Stormwater System B (Roof Runoff):

- Roof runoff from the proposed dwelling will be connected to the two (2) proposed subsurface leaching galleys. Each galley is sized to handle half of the roof area. Please refer to the Plan for the proposed location of the galleys. Piping shall be 6-inch Diameter H.D.P.E. pipe and pitched at a minimum of 1% slope.

**Erosion Control Plan - Temporary Siltation Barrier & Silt Socks:**

- The erosion controls shall include a row of staked 9-inch straw wattles surrounding the proposed clearing for the parcel. Refer to Plan Notes for location of the straw wattles.
- On the pond side of the dwelling the plan calls for two additional rows of straw wattles to mitigate and slow down water runoff towards the Pond.
- Once installed and graded, the outlet from the swale shall be protected from siltation using filter fabric or straw wattles.
- The erosion controls shall be monitored and corrected during the entire construction phase and until the site has been stabilized with ground cover and the proposed landscape.
- Contractor shall be required to provide extra siltation controls in case a repair is needed to the straw wattles and/or catch basin filter fabric.
- GROUND COVER: Once the area is cleared and grubbed of the stumps, the disturbed area shall be graded and covered with suitable planting material for the seeding of the area with perennial rye grass seed. Refer to Plan

Operation and maintenance plan is included herewith to address the long-term maintenance of the stormwater systems.

### **Massachusetts Stormwater Management Design Standards:**

The following is a description of how the proposed project meets the Massachusetts Stormwater Handbook design standards.

#### **Standard 1: No new untreated discharges:**

This standard is met since there are no new untreated stormwater discharges proposed. See Standards 4-6 calculations.

#### **Standard 2: Maintain Pre-development peak discharge rate:**

This standard has been met. All stormwater management systems are sized such that the post development peak discharge rate for the development site does not exceed the pre-development discharge rate for the 2 year-24 hour; 10 year-24 hour; 25 year-24 hour; and 100 year-24 hour storm events.

As shown in the HydroCAD Modeling report, the site's overall peak discharge rate is reduced relative to the Pre-Development discharge rate for the 2, 10, 25 and 100 year storm events. The Post-Development 100-year Storm Peak Discharge Rate relative to Pre-Development conditions has decreased from 0.30 CFS to 0.22 CFS.

#### **Standard 3: Groundwater Recharge:**

This standard is met. The proposed stormwater management systems are sized so that the total recharge volume provided exceeds the minimum groundwater recharge volume specified in the handbook and the proposed stormwater recharge galleys will drawdown within 72 hours of a storm event. In accordance with the MA Stormwater Manual, the required recharge volume factor (F) required across the impervious area (A) is 0.6 inches per hour for hydraulic soil group A soils. Fine Sand (Rawls Rate: 8.27 inches per hour) has been used in the sizing of the stormwater recharge galleys. Refer to the HydroCAD Stormwater Modeling Report in Appendix. The required recharge volume is calculated based on the total pavement and roof areas on site.

- Required Recharge Volume  $R_v = F \times A = (0.6 \text{ in})(1 \text{ ft}/12 \text{ in})(5,060 \text{ sf}) = 390 \text{ cf}$  (Roof & Driveway)
- Recharge Storage Provided (Subsurface leaching facilities for roof and Swale) = 2,850 cf > 390.0 cf
- The drawdown for the subsurface leaching facilities for the driveway/parking system and roof runoff is 12.6+/- hours < 72 hour maximum allowance.

#### **Standard 4: Water Quality:**

This standard has been met. The roof runoff stormwater system will remove 80% of the annual load of Total Suspended Solids (TSS) via subsurface leaching facilities. The main stormwater system serving the driveway and the front portion of the parcel provides 94% TSS pretreatment removal of driveway. TSS removal calculation tables for driveway and landscape portions included in the Appendix A.

Phosphorus (P) reductions are estimated based on the pre-treatment dry swale and the stone leaching facility, using the lowest percentages allowed by each facility, 20% & 40%, respectively, we estimate Phosphorus removals at 60%.

In accordance with the MA Stormwater Manual, the required water quality depth (Dwq) across the impervious area (A) is 1.0 inches per hour in areas containing soils with rapid infiltration rate greater than 2.4 in/hr. The required water quality volume is based on the total pavement area on site.

- Required Water Quality Volume  $V_{wq} = Dwq \times A = (1.0 \text{ in})(1 \text{ ft}/12 \text{ in})(3,790 \text{ sf}) = 315 \text{ cf}$  (pavement)
- Water Quality Storage Provided (water quality swales, total) = 2,050 cf > 315 cf

Standard 5: Land uses with higher potential pollutant loads:

This standard has been met. The proposed use is a residential building.

Standard 6: Stormwater discharges within Zone II or Interim Wellhead protection area of a public water supply and stormwater discharges near or to any critical area.

This standard has been met. Not Applicable as the site is not in a Zone 2 for a Drinking Water Well. The 1/2 inch Required Water Quality Volume for discharges within a Groundwater Protection area has been met, see Standard 4 calculations.

Standard 7: Redevelopment:

This standard is not applicable given the new development.

Standard 8: Construction Erosion Control Plan:

The project is subject to the proposed erosion control plan as outlined on the plan. Straw wattles shall be implemented as required to mitigate erosion of soil. Due to the location of the Buffer Zone to the Pond, the Plan calls for the temporary groundcover of perennial rye grass seed mix until the landscape plan can be fully implemented by the owner.

Standard 9: Long Term Operation and Maintenance Plan:

A long-term O&M plan has been submitted with this report, refer to Appendix. The property owners will operate and maintain the stormwater systems.

Standard 10: Illicit Discharges:

This standard is met since there are no illicit discharges at this site and no illicit discharges proposed.

## **Owner and Responsible Party**

The owner and responsible party for Stormwater Pollution Control at Lot 7 Run Hill Road, Brewster, MA

### Owner & Operator:

Christopher & Gillian Platts  
One Partridge Lane  
Littleton, MA 014650

## **Schedule of Inspection and Maintenance of Stormwater Management Systems**

1. All stormwater systems require regular attention to ensure the effectiveness of the systems. It is recommended that the drainage systems be inspected annually by a stormwater operation and maintenance professional to ensure that the system is properly maintained. Any deterioration threatening the structural integrity of the system shall immediately be repaired.
2. Gravel areas shall be inspected to remove debris and good housekeeping measures should be implemented throughout the site in order to keep paved areas, gutters, downspouts, drain lines and grassed swale clean of debris.
3. All subsurface leaching facilities shall be inspected at least twice a year. Any debris that may clog the system must be removed.
4. The grassed swales shall be inspected and mowed as needed to prevent excessive growth under control. Inspect the grass side slopes and bottom for signs of erosion and formation of gullies. Remove accumulated trash, debris and silt as needed and at time of inspection.

Estimate of annual operation and maintenance budget for common areas = \$ 500.00

## **Long Term Lawn Care & Pollution Prevention Plan**

### **Description of Pollutant Sources:**

- Light vehicle traffic – residential development
- Lawn care products

### **Source Control Best Management Practices**

- There shall be no storage of items or materials which will be subject to the weather.
- Good housekeeping measures shall be implemented throughout the site to keep the driveways clean of debris.
- Regularly sweep paved areas to remove debris and any other potential stormwater pollutants.
- The use of winter de-icing sand and salt materials shall be minimized to the maximum extent practicable.
- Winter de-icing sand and salt materials shall be stored indoors.
- Snow storage shall be on paved surfaces.
- Immediately clean up any spillage on paved areas and dispose of wastes properly.

## Emergency Spill Cleanup Plan

1. The owner of the facility shall have a designated person with overall responsibility for spill response cleanup.
2. In the event of a spill the following shall be notified:
  - A. Brewster Fire Department (508) 896-1708  
(for a gasoline or hazardous material spill) 911
  - B. Massachusetts D.E.P. Emergency Response (800) 304-1133
  - C. Brewster Health Department (508) 896-3701 ext. 1120
3. Cleanup of spills shall begin immediately.



INSTRUCTIONS:

1. In BMP Column, click on Blue Cell to Activate Drop Down Menu
2. Select BMP from Drop Down Menu
3. After BMP is selected, TSS Removal and other Columns are automatically completed.

Version 1, Automated: Mar. 4, 2008

Location:

TSS Removal Calculation Worksheet	B	C	D	E	F
	BMP <sup>1</sup>	TSS Removal Rate <sup>1</sup>	Starting TSS Load*	Amount Removed (C*D)	Remaining Load (D-E)
	Water Quality Swale - Dry	0.70	1.00	0.70	0.30
	Subsurface Infiltration Structure	0.80	0.30	0.24	0.06
		0.00	0.06	0.00	0.06
		0.00	0.06	0.00	0.06
		0.00	0.06	0.00	0.06

Total TSS Removal =

**Separate Form Needs to be Completed for Each Outlet or BMP Train**

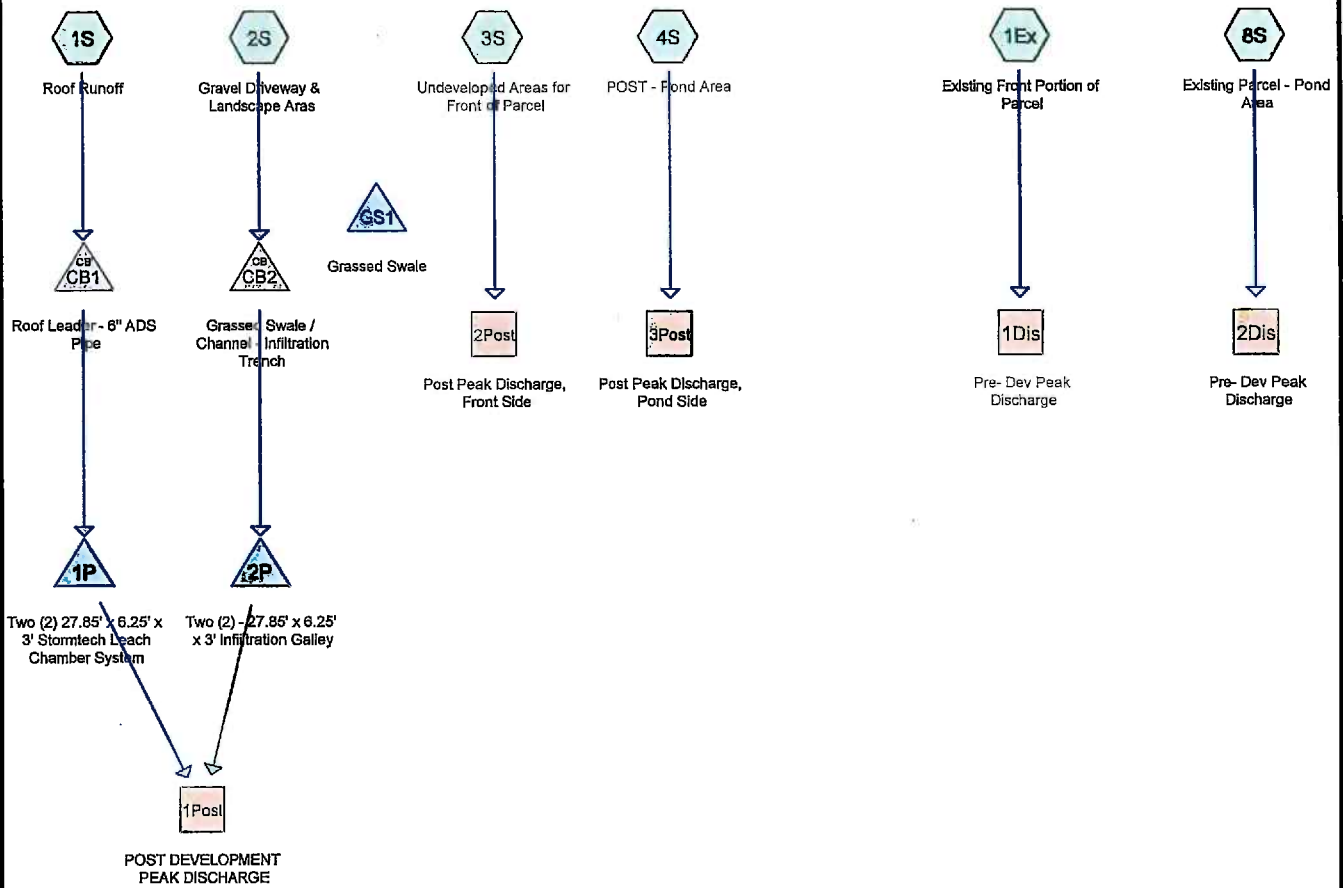
Project:   
 Prepared By:   
 Date:

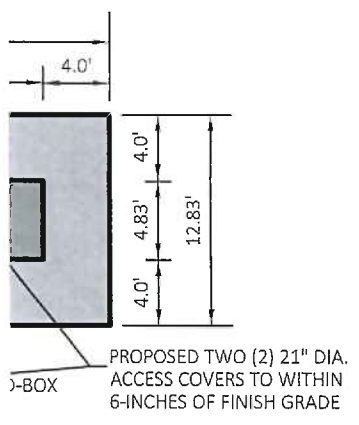
\*Equals remaining load from previous BMP (E) which enters the BMP



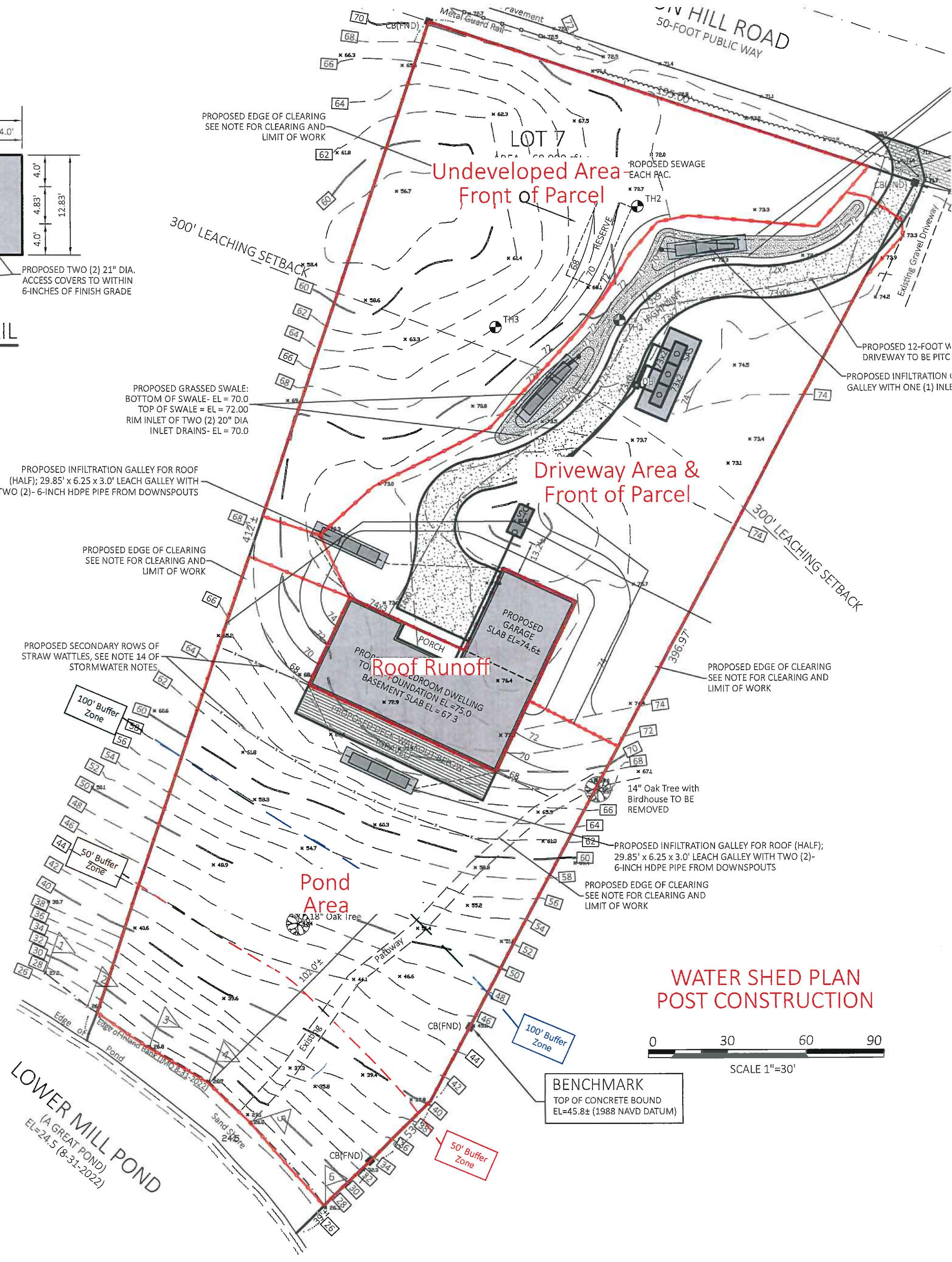
Post-Development Recharge

Pre-Development Recharge





TAIL



LOT 7  
Undeveloped Area  
Front of Parcel

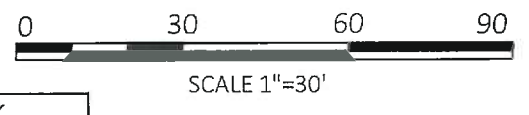
Driveway Area &  
Front of Parcel

Roof Runoff

Pond Area

LOWER MILL POND  
(A GREAT POND)  
EL=24.5 (8-31-2022)

WATER SHED PLAN  
POST CONSTRUCTION



BENCHMARK  
TOP OF CONCRETE BOUND  
EL=45.8± (1988 NAVD DATUM)

PROPOSED EDGE OF CLEARING  
SEE NOTE FOR CLEARING AND  
LIMIT OF WORK

PROPOSED GRASSED SWALE:  
BOTTOM OF SWALE- EL = 70.0  
TOP OF SWALE = EL = 72.00  
RIM INLET OF TWO (2) 20" DIA  
INLET DRAINS- EL = 70.0

PROPOSED INFILTRATION GALLEY FOR ROOF  
(HALF); 29.85' x 6.25 x 3.0' LEACH GALLEY WITH  
TWO (2)- 6-INCH HDPE PIPE FROM DOWNSPOUTS

PROPOSED EDGE OF CLEARING  
SEE NOTE FOR CLEARING AND  
LIMIT OF WORK

PROPOSED SECONDARY ROWS OF  
STRAW WATTLES, SEE NOTE 14 OF  
STORMWATER NOTES

PROPOSED EDGE OF CLEARING  
SEE NOTE FOR CLEARING AND  
LIMIT OF WORK

PROPOSED INFILTRATION GALLEY FOR ROOF (HALF);  
29.85' x 6.25 x 3.0' LEACH GALLEY WITH TWO (2)-  
6-INCH HDPE PIPE FROM DOWNSPOUTS

PROPOSED EDGE OF CLEARING  
SEE NOTE FOR CLEARING AND  
LIMIT OF WORK

14" Oak Tree with  
Birdhouse TO BE  
REMOVED

HILL ROAD  
50-FOOT PUBLIC WAY

300' LEACHING SETBACK

300' LEACHING SETBACK

100' Buffer Zone

100' Buffer Zone

50' Buffer Zone

50' Buffer Zone

Edge of Pond

Edge of Inland Bank

Sand Store

Pathway

Existing

CB(FND)

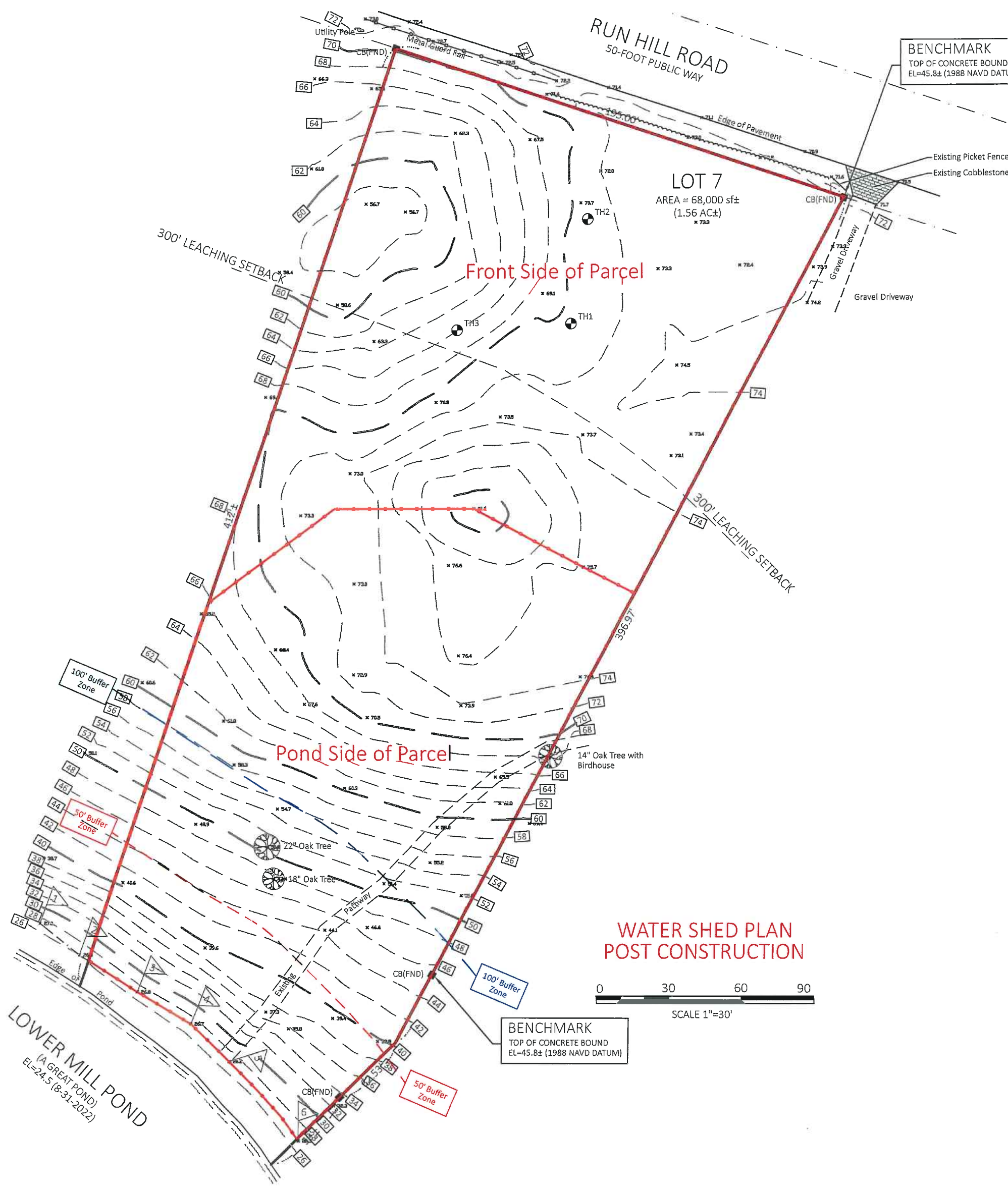
TH2

TH3

TH1

TH4

TH5



**RUN HILL ROAD**  
50-FOOT PUBLIC WAY

**BENCHMARK**  
TOP OF CONCRETE BOUND  
EL=45.8± (1988 NAVD DATUM)

**LOT 7**  
AREA = 68,000 sf±  
(1.56 AC±)

**Front Side of Parcel**

**Pond Side of Parcel**

**300' LEACHING SETBACK**

**300' LEACHING SETBACK**

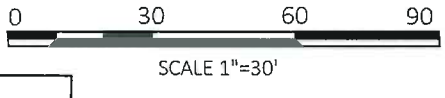
**100' Buffer Zone**

**50' Buffer Zone**

**50' Buffer Zone**

**LOWER MILL POND**  
(A GREAT POND)  
EL=24.5 (8-31-2022)

**WATER SHED PLAN**  
**POST CONSTRUCTION**



**BENCHMARK**  
TOP OF CONCRETE BOUND  
EL=45.8± (1988 NAVD DATUM)

**SITE PLAN REVIEW CASE NO. 2022-09**

**APPLICANT/OWNER: REMINGTON'S TRUST,  
PETER LOMENZO AND KERRY BARTON, TRUSTEES  
PROPERTY: 61-63 A.P. NEWCOMB ROAD**



# Town of Brewster

2198 Main Street  
Brewster, MA 02631-1898  
Phone: (508) 896-3701 x.1133  
brewplan@brewster-ma.gov

Office of:  
Planning Board  
Planning Dept.

## STAFF REPORT

**TO:** Planning Board  
**FROM:** Jon Idman, Town Planner  
**RE:** Case No. PB2022-09, Site Plan Review  
Remington's Trust, 61 & 63 A.P. Newcomb Rd. (Map 25 Parcel 75)  
**DATE:** April 5, 2023

---

## RECOMMENDATION

The proposed site plan meets the purpose and applicable standards set out in Zoning Bylaw Article XII.

The Planning Board might consider requesting the Applicant to provide a bike rack on-site.

## SUMMARY & BACKGROUND

Applicant/ Owner has applied for site plan review (Zoning Bylaw Section 179-63 *et seq*) to operate a 3-unit B&B, a new commercial use, in an existing outbuilding on the 3.88 acre +/- premises. The property also contains an existing single-family dwelling where the Applicant/ Owner will live and operate the B&B. The project also involves accessory uses, structures, and improvements such as an in-ground pool and parking. Except for interior fit-out and a proposed set of exterior stairs/ deck to its rear, the existing outbuilding will be used for the B&B substantially 'as is.'

The B&B use is allowed by special permit in the subject RM residential zoning district, the application for which has been filed with the ZBA. The minimum lot size in the RM district is 60,000 sq ft. No specific zoning overlay districts apply to the property.

The Applicant completed "Staff Review" per Brewster Code Chapter 83: a copy of that report is included in the Planning Board's materials.

## DISCUSSION

Site Plan Review Standards/ Zoning Bylaw Section 179-66

### Transportation

The project is not expected to degrade roadway level of service or result in substantial trip generation requiring further analysis or mitigation. Sight lines are maintained by the Town for A.P. Newcomb Road, which is a town way.

### Access

The property has a single existing curbcut/ driveway from A.P. Newcomb Road; no new or additional access is proposed. Based on prior comments from the Fire Department, the Applicant has proposed to widen the driveway and add a turnaround adjacent to the site parking area, which are depicted on the proposed site plan. New stormwater facilities are proposed to manage run-off from these proposed new impervious surface areas that will not otherwise infiltrate naturally on the large site.

### Parking

The parking appears sufficient to serve the site and proposed use. The number of spaces proposed is consistent with the parking policy for a single-family residence and 3-unit B&B: 5 spaces are called for

under the policy; 8 spaces, including one handicapped space, are proposed. The proposed parking spaces meet setback and minimum size standards in Article VII of the zoning bylaw.

The proposed parking is located within existing paved or gravel areas on-site, though a new gravel turn-around is proposed to the rear of the proposed B&B building per Fire Department recommendations. This parking is not located in the front of the property along the roadway. A dumpster is located to the rear of the B&B building, contiguous with the new parking area, and appears to be accessible for service.

The Planning Board might consider requesting the Applicant to provide a bike rack on-site.

### **Landscaping, Design and Appearance**

The Applicant has provided a landscape plan which appears to provide functional screening and buffering as appropriate to the project. Plant selections do not include any invasives. There is substantial natural vegetation on-site, particularly around the perimeter of the site and front road buffer, and substantial tree clearing is not proposed. The proposed site design limits increases in paved surfaces.

The subject building proposed to be used for the B&B will remain in substantially its existing exterior configuration and design. The property is located in Brewster's Old King's Highway District. The Applicant has obtained HDC certificates of exemption for all proposed improvements, on the basis that the improvements are not visible from a way or public place. The existing structures have the benefit of various HDC certificates.

### **Environmental Protection and Erosion Control**

The Applicant has provided a Stormwater Report and associated site plan, identifying proposed erosion control and post-construction BMPs. Run-off will be contained on-site and proposed peak discharge does not exceed existing conditions.

In addition to addressing the stormwater and erosion control standards under site plan review, the project, proposing a net increase of 'impervious surface' greater than 500 sq ft but less than 2,500 sq ft, required a minor stormwater permit under the Town's Stormwater Management Bylaw (Brewster Code Chapter 272) and its attendant regulations, which permit was reviewed and issued administratively by staff per the regulations (a copy of the permit is included in the Planning Board's materials).

### **Plants and Animals**

The property is mapped rare species habitat under MESA. Proposed development is within previously developed or disturbed portions of the site and no substantial tree clearing is proposed. The Applicant has provided correspondence to the Planning Board by and between the Applicant and the Commonwealth's NHESP office suggesting that the proposal is not subject to the Massachusetts Endangered Species Act and Regulations.

### **Lighting**

Bollards are proposed in the pool area and sconces are proposed on the entrance facades of the B&B building. Lighting fixture cut sheets and specifications have been provided, and the lighting locations have been noted on the proposed building elevation and site plans. All proposed lighting is shielded and cut-off to vertical.

### **Noise**

The project is not expected to generate significant exterior noise levels inconsistent with surrounding use and development or with the RM zoning district.



## Brewster Planning Board

2198 Main Street  
Brewster, MA 02631-1898  
(508) 896-3701 x1133  
brewplan@brewster-ma.gov

### DEPARTMENT REVIEWS

#### Site Plan Review Case #2022-09

**APPLICANT/OWNER:** Remington's Trust, Peter Lomenzo and Kerry Barton, Trustees  
**REPRESENTATIVE:** Attorney Marian Rose, Law Office of Singer & Singer, LLC  
**MAP/PARCEL:** Map 25, Parcel 75  
**PROPERTY ADDRESS:** 61-63 A. P. Newcomb Road

#### Received from:

##### **Building Department    Comments received from Davis Walters, Building Commissioner**

The Building Department has no comments regarding Site Plan Review of this project at this time.

##### **Conservation Com.    Comments received from William Grafton, Conservation Administrator**

Please see attached emails from Bill Grafton, Conservation Administrator, dated December 6, 2022 and April 7, 2023.

##### **Fire Dept.    Comments received from Chief Robert Moran**

1. Driveway to be no less than 14' wide x 14' height consisting of surface capable of supporting fire and EMS vehicles.
2. Renovations/additions shall meet all Massachusetts Comprehensive Fire Safety Code Regulations.
3. A turn around/T turn shall be installed in driveway to allow for FD apparatus turn around.
4. Per use change/occupancy, sprinkler system may be required.
5. If sprinklers are required, the FD shall approve the location of the fire department connection.
6. A fire department knox box key vault shall be installed at location determined by fire department.

##### **Health Dept.    Comments received from Sherrie McCullough, Assistant Health Director**

The health department file indicates an existing four-bedroom dwelling on a 168,888-sf lot. The dwelling is serviced by a 1999 Title 5 septic system designed for a maximum of 440 gpd of flow. A current Title 5 Septic Inspection Report is on file dated 11/19/2022. The property is serviced by well water. Well test results are on file dated 3/21/2022.

The proposed Bed & Breakfast will operate out of an existing barn on the property. The health department has no record of this structure on file. The converted barn will need a new septic system as the existing system on the property is at maximum capacity. Soil testing has been conducted but to date this office has not received septic plans for review.

No food service permit from the Board of Health will be required if the number of guest rooms does not exceed six. Per Massachusetts State Food Code requirements, the consumer must be informed by statements contained in published advertisements, mailed brochures, and placards posted at the registration area that the food is prepared in a kitchen that is not regulated and inspected by the board of health.

Full review of the proposal will be required by the Health Department prior to final approval.

**Police Dept.                      Comments received from Lt. Charles Mawn**

The Police Department has no comments on this application.

**Water Dept.                      Comments received from Paul Anderson, Superintendent**

If the water service needs to be marked out, the Applicant needs to contact the Water Department directly as we are not covered by Dig Safe.



## Lynn St. Cyr

---

**From:** William Grafton  
**Sent:** Tuesday, December 6, 2022 12:54 PM  
**To:** Lynn St. Cyr; James Gallagher; Davis Walters; Griffin Ryder; Robert Moran; Kevin Varley; Amy von Hone; Jessica Gelatt; Chris Miller; Jonathon Idman; Charles Mawn; Peter Lombardi; Donna Kalinick; Paul Anderson  
**Subject:** RE: Request for Comments on Site Plan Review Case No. 2022-09 (61-63 A.P. Newcomb Road) and Special Permit and Site Plan Review Case No. 2022-10 (2671 Main Street)

Lynn et al, thank for the opportunity to provide comments on the two subjects sites. Andi and I have reviewed both in the field, through our inventory of conservation permits and with online GIS. Our comments are below in blue.

Respectfully,

Bill Grafton  
Brewster Conservation Administrator  
1657 Main Street  
Brewster, MA 02631  
Phone (508) 896-4546 ext. 4242

*Brewster Town Offices are open to the public Monday through Thursday from 8:30 to 4:00pm, and by appointment on Fridays. For the latest updates on Town services, please visit [www.brewster-ma.gov](http://www.brewster-ma.gov)*

**From:** Lynn St. Cyr <lstcyr@brewster-ma.gov>  
**Sent:** Tuesday, November 22, 2022 11:41 AM  
**To:** James Gallagher <jgallagher@brewster-ma.gov>; Davis Walters <dwalters@brewster-ma.gov>; William Grafton <wgrafton@brewster-ma.gov>; Griffin Ryder <gryder@brewster-ma.gov>; Robert Moran <rmoran@brewster-ma.gov>; Kevin Varley <kvarley@brewster-ma.gov>; Amy von Hone <avonhone@brewster-ma.gov>; Jessica Gelatt <jgelatt@brewster-ma.gov>; Chris Miller <cmiller@brewster-ma.gov>; Jonathon Idman <jldman@brewster-ma.gov>; Charles Mawn <cmawn@brewster-ma.gov>; Peter Lombardi <plombardi@brewster-ma.gov>; Donna Kalinick <dkalinick@brewster-ma.gov>; Paul Anderson <panderson@brewster-ma.gov>  
**Subject:** Request for Comments on Site Plan Review Case No. 2022-09 (61-63 A.P. Newcomb Road) and Special Permit and Site Plan Review Case No. 2022-10 (2671 Main Street)

Good morning,

Attached please find a department review comment form and documents related to:

**Site Plan Review Case No. 2022-09:** Applicant/Owner: Remington's Trust, Peter Lomenzo and Kerry Barton, Trustees, has submitted an application for property located at 61-63 A.P. Newcomb Road and shown on Tax Map 25, Parcel 75 within the Residential Medium Density Zoning District. The Applicant seeks Site Plan Approval to redevelop an existing accessory structure as a three-bedroom bed and breakfast pursuant to Brewster Zoning Bylaw Chapter 179-66.

The limit of work is located beyond conservation jurisdictional boundaries and the associated 100-foot buffer (see blue wetlands depicted on the aerial below) and there is no flood plain associated with the limit work. However, the limit of work is located within the Massachusetts Natural Heritage and Endangered Species Program estimated and priority habitats (see yellow hashed areas depicted on the aerial below). The Conservation Administrator suggests that the applicant reach out to the NHESP but this is beyond Conservation's jurisdiction since a Notice of Intent is not required for the proposed work. The type of work may or may not be of interest to NHESP.



**Special Permit and Site Plan Review Case No. 2022-10:** Applicant/Lessee: JDT Investments, LLC has submitted an application for property located at 2671 Main Street and shown on Tax Map 89, Parcel 20 within the Village Business Zoning District. The Applicant seeks a Special Permit and Site Plan Review to operate a limited-service restaurant in addition to the current full-service restaurant dba “The Kitchen Café”, pursuant to Brewster Zoning Bylaw Chapter 179-51 and 179-66. This application also seeks modification of Special Permit and Site Plan Waiver Approval #2021-09. [The limit of work is located beyond conservation jurisdictional boundaries associated and there are no overlaps with NHESP estimated and priority habitats](#)

These applications are scheduled on the December 14, 2022 Planning Board agenda. Please provide comments on these applications by **Tuesday, December 6, 2022**. Copies of the attached are also available for review in the Planning Department.

Thank you and Happy Thanksgiving,

Lynn  
Lynn St. Cyr  
Senior Department Assistant, Planning Department  
Town of Brewster  
2198 Main Street, Brewster, MA 02631  
T: 508-896-3701 x1233

***Brewster Town Offices will be open to the public Monday through Thursday from 8:30 am to 4:00 pm, and by appointment on Fridays. For the latest updates on Town services, please visit [www.brewster-ma.gov](http://www.brewster-ma.gov).***

## Lynn St. Cyr

---

**From:** William Grafton  
**Sent:** Friday, April 7, 2023 9:36 AM  
**To:** Davis Walters; Lynn St. Cyr; James Gallagher; Griffin Ryder; Robert Moran; Kevin Varley; Amy von Hone; Erika Glidden; Chris Miller; Jonathon Idman; Charles Mawn; Peter Lombardi; Donna Kalinick; Paul Anderson  
**Subject:** RE: Request for Comments on Site Plan Review Case No. 2022-09, 61-63 A.P. Newcomb Road

Lyn, good morning.

I have done a due diligence review for the subject site including online GIS wetland mapping (State and Town), review of an Order of Conditions/Enforcement Order for the adjacent property 87A A.P. Newcomb (SE9-1123) and a site visit. Based on the location of the proposed work and the maintenance of the limit of clearing, there is no work/activity within conservation jurisdictional boundaries. If the limit of work deviates from what is proposed, please refer the applicants to me so I can confirm that there is no activity within the buffer zone to the two wetlands associated with 634 Main Street and 43 A.P. Newcomb or provide guidance on conservation permitting.

As with the case of the property at 87A A.P. Newcomb which experienced excessive erosion into the paved road that entered the wetland across the street, erosion control measures may be a good proactive practice to avoid sediment from either construction vehicles, stock piles, etc from entering the road and the wetland. This is a suggestion not a requirement.

Thank you for your time.

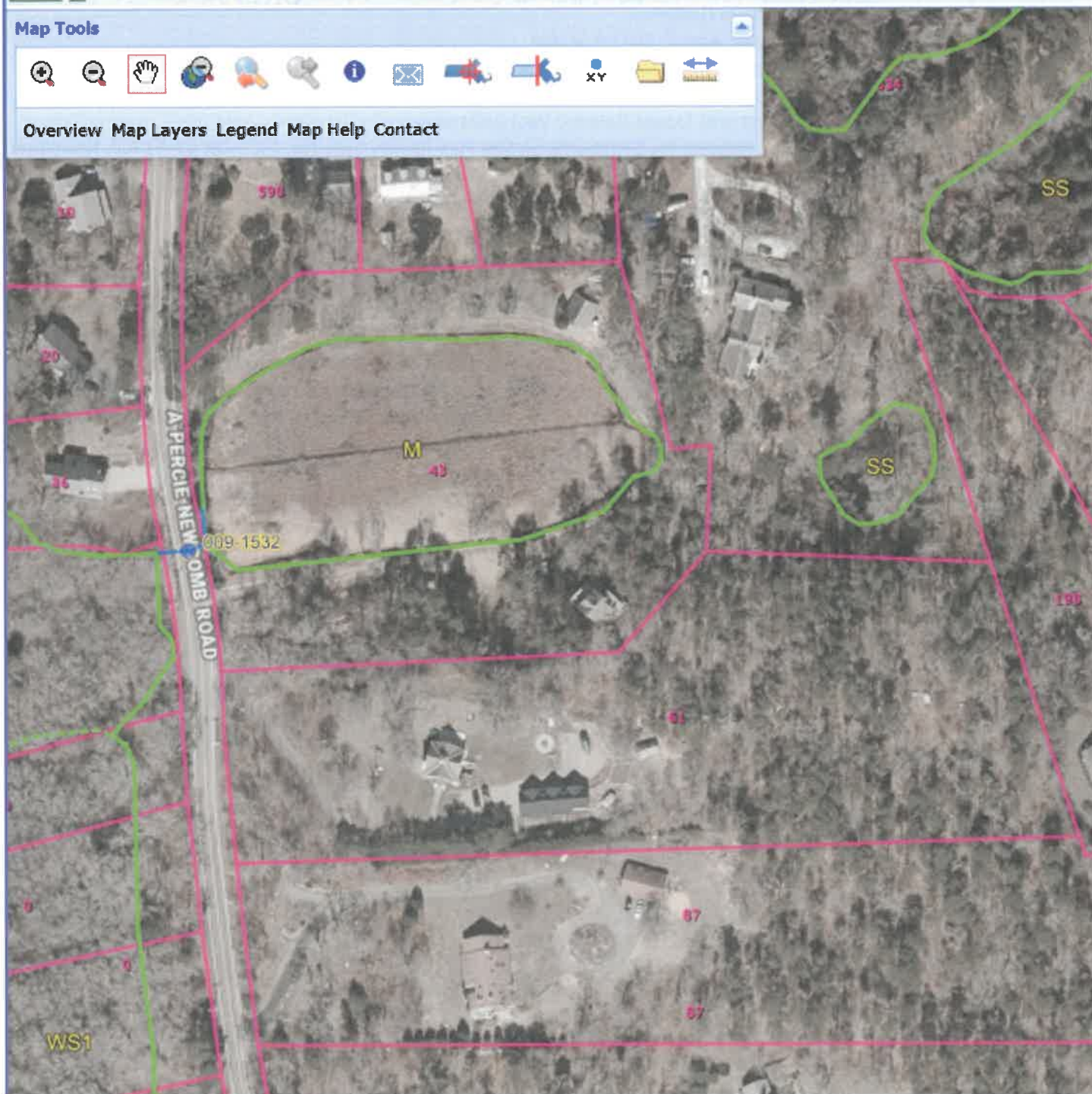


# Wetland and Wetland Change Areas Map

Map Tools



Overview Map Layers Legend Map Help Contact



Respectfully,

Bill Grafton  
Brewster Conservation Administrator  
1657 Main Street  
Brewster, MA 02631  
Phone (508) 896-4546 ext. 4242

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**From:** Davis Walters <[dwalters@brewster-ma.gov](mailto:dwalters@brewster-ma.gov)>

**Sent:** Thursday, April 6, 2023 3:42 PM

**To:** Lynn St. Cyr <[lstcyr@brewster-ma.gov](mailto:lstcyr@brewster-ma.gov)>; James Gallagher <[jgallagher@brewster-ma.gov](mailto:jgallagher@brewster-ma.gov)>; William Grafton <[wgrafton@brewster-ma.gov](mailto:wgrafton@brewster-ma.gov)>; Griffin Ryder <[gryder@brewster-ma.gov](mailto:gryder@brewster-ma.gov)>; Robert Moran <[rmoran@brewster-ma.gov](mailto:rmoran@brewster-ma.gov)>; Kevin Varley <[kvarley@brewster-ma.gov](mailto:kvarley@brewster-ma.gov)>; Amy von Hone <[avonhone@brewster-ma.gov](mailto:avonhone@brewster-ma.gov)>; Erika Glidden <[eglidden@brewster-ma.gov](mailto:eglidden@brewster-ma.gov)>; Chris Miller <[cmiller@brewster-ma.gov](mailto:cmiller@brewster-ma.gov)>; Jonathon Idman <[jldman@brewster-ma.gov](mailto:jldman@brewster-ma.gov)>; Charles Mawn <[cmawn@brewster-ma.gov](mailto:cmawn@brewster-ma.gov)>; Peter Lombardi <[plombardi@brewster-ma.gov](mailto:plombardi@brewster-ma.gov)>; Donna Kalinick <[dkalinick@brewster-ma.gov](mailto:dkalinick@brewster-ma.gov)>; Paul Anderson <[panderson@brewster-ma.gov](mailto:panderson@brewster-ma.gov)>

**Subject:** RE: Request for Comments on Site Plan Review Case No. 2022-09, 61-63 A.P. Newcomb Road

Lynn –

The Building Department has no comments regarding Site Plan Review of this project at this time.

Thank you,

Davis

**F. Davis Walters, M.C.B.O.**  
(him/he)

**Building Commissioner**

**Town of Brewster**

**2198 Main Street**

**Brewster, MA 02631**

**(508) 896-3701 ext. 1125**

Beginning July 6<sup>th</sup>, Brewster Town Offices will be open to the public Monday, Tuesday, Wednesday, and Thursday from 8:30 to 4:00pm. Beach and Recycle Permits are not available in person but can be purchased online or through our mail-in program. For the latest updates on Town services, please visit [www.brewster-ma.gov](http://www.brewster-ma.gov)

***The Commonwealth of Massachusetts Secretary of State has determined that e-mail is a public record***

**From:** Lynn St. Cyr <[lstcyr@brewster-ma.gov](mailto:lstcyr@brewster-ma.gov)>

**Sent:** Tuesday, March 21, 2023 12:47 PM

**To:** James Gallagher <[jgallagher@brewster-ma.gov](mailto:jgallagher@brewster-ma.gov)>; Davis Walters <[dwalters@brewster-ma.gov](mailto:dwalters@brewster-ma.gov)>; William Grafton <[wgrafton@brewster-ma.gov](mailto:wgrafton@brewster-ma.gov)>; Griffin Ryder <[gryder@brewster-ma.gov](mailto:gryder@brewster-ma.gov)>; Robert Moran <[rmoran@brewster-ma.gov](mailto:rmoran@brewster-ma.gov)>; Kevin Varley <[kvarley@brewster-ma.gov](mailto:kvarley@brewster-ma.gov)>; Amy von Hone <[avonhone@brewster-ma.gov](mailto:avonhone@brewster-ma.gov)>; Erika Glidden <[eglidden@brewster-ma.gov](mailto:eglidden@brewster-ma.gov)>; Chris Miller <[cmiller@brewster-ma.gov](mailto:cmiller@brewster-ma.gov)>; Jonathon Idman <[jldman@brewster-ma.gov](mailto:jldman@brewster-ma.gov)>; Charles Mawn <[cmawn@brewster-ma.gov](mailto:cmawn@brewster-ma.gov)>; Peter Lombardi <[plombardi@brewster-ma.gov](mailto:plombardi@brewster-ma.gov)>; Donna Kalinick <[dkalinick@brewster-ma.gov](mailto:dkalinick@brewster-ma.gov)>; Paul Anderson <[panderson@brewster-ma.gov](mailto:panderson@brewster-ma.gov)>

**Subject:** Request for Comments on Site Plan Review Case No. 2022-09, 61-63 A.P. Newcomb Road

Good afternoon,

Attached please find a department review comment form and documents related to:

**Site Plan Review Case No. 2022-09:** Applicant/Owner: Remington's Trust, Peter Lomenzo and Kerry Barton, Trustees, has submitted an application for property located at 61-63 A.P. Newcomb Road and shown on Tax Map 25, Parcel 75 within the Residential Medium Density Zoning District. The Applicant seeks Site Plan Approval to redevelop an existing accessory structure as a three-bedroom bed and breakfast pursuant to Brewster Zoning Bylaw Chapter 179-66.

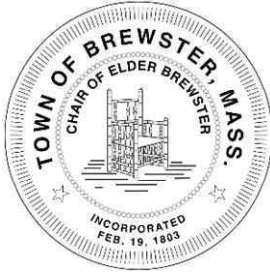
This application may seem familiar as it was originally filed back in November. Since that time, the Applicant has provided additional information including revised existing and proposed site plans, a proposed drainage conditions plan, floor plans and elevations, lighting information, and correspondence from the Natural Heritage & Endangered Species Program. A minor stormwater management permit was issued for this project. The Applicant was also granted a certificate of exemption by the OKH Historic District Committee for the proposed pool and pool house. All referenced documents, along with the site plan review application, are attached to this email.

This application is scheduled on the April 12, 2023 Planning Board agenda. Please provide comments on this application by **Wednesday, April 5, 2023**. Copies of the attached are also available for review in the Planning Department.

Thank you,  
Lynn

Lynn St. Cyr  
Senior Department Assistant, Planning Department  
Town of Brewster  
2198 Main Street, Brewster, MA 02631  
T: 508-896-3701 x1233

***Brewster Town Offices will be open to the public Monday through Thursday from 8:30 am to 4:00 pm, and by appointment on Fridays. For the latest updates on Town services, please visit [www.brewster-ma.gov](http://www.brewster-ma.gov).***



# Town of Brewster

2198 Main Street  
Brewster, MA 02631-1898  
Phone: (508) 896-3701  
Fax: (508) 896-8089

Office of:  
Planning Board  
Planning Dept.

## REPORT

**TO:** Applicant, Remington's Trust, Peter Lomenzo, Trustee  
**FROM:** Jon Idman, Town Planner  
Davis Walters, Building Commissioner  
**RE:** Staff Review, Brewster Code Chapter 83, Section 4(D)  
Case No. 22-5, Proposed B&B in Existing 'Barn' Building  
61 A.P. Newcomb Road (Map 25 Parcel 75)  
**DATE:** November 9, 2022

- The following are local permits, licenses, reviews and approvals that will be required for the proposal:
  - Stormwater Permit
  - Certificate of Appropriateness- Old King's Highway Historic District Committee
  - Site Plan Review- Planning Board (Public Meeting)
  - Use Special Permit- Bed & Breakfast- Zoning Board of Appeals (Public Hearing)
  - Building Permit
  - Septic (Disposal Works Construction) Permit- a new, separate septic system is proposed for the B&B
  - Confirm with the Health Dept. about whether food services or the pool require local health permit/s.
- Note, that under Brewster zoning, the B&B owner/ operator must live on-site.
- The Planning Department has received special permit and site plan review applications for the project.
  - Other departmental comments (DPW, Police, Fire, as applicable) will be provided in the normal course of site plan and special permit review
  - Narratives were not included but should be provided to address the relevant standards and criteria from the Zoning Bylaw;
  - The submitted site plan should be revised to correct the applicable zoning setbacks; to include an impervious surface calculation (as that term is defined in the town's stormwater management bylaw); and to clarify existing vs. proposed conditions.
  - You might consider having prepared and submitting a dedicated existing conditions site plan (case in point, the gravel parking is noted as 'proposed' on the submitted site plan, but I understand it might already exist. This bears on the 'impervious surface' calculation discussed above).
  - If net new impervious surface exceeds 2500 sq ft, a 'major' stormwater permit is required (a minor permit is available for net increases 500-2500 sq ft, which are reviewed and issued by staff). The Planning Board would be the permitting authority for a major stormwater permit and, in such case, major stormwater review should be consolidated with the site plan review.
  - No stormwater permit application has yet been submitted.
    - In any event, either a 'minor' stormwater permit application should be submitted, and the permit obtained prior to site plan approval and copied to the Planning Board, or a major permit application should be submitted and reviewed by the Planning Board simultaneous with the site plan review request. Stormwater management is equally a site plan review consideration.





Project Description (Please include Use per Chapter 179, Table 1 Use Regulations.)

Applicant seeks to convert existing accessory structure currently used for storage to a Bed & Breakfast (Commercial § 8) use by renovating the existing structure's interior to include (3) bedroom units; a common area and a kitchen. Applicant seeks to construct a pool, pool house, both conforming as to location and coverage, and parking needed to accommodate the Bed and Breakfast use.

If Modification, please provide a brief explanation of the requested change/modification.

The existing accessory structure's footprint will remain the same. Work will primarily be interior work. The existing structure will be maintained with painting; repairs and replacement of existing windows with new windows of similar design.

**Staff Review:** Uses requiring a Special Permit under Site Plan Review may also be required to apply for Staff Review as set forth in the Code of the Town of Brewster, Massachusetts Chapter 83. If the proposal requires Staff Review, it is required that an application be filed for Staff Review, prior to an application for Site Plan Review, and that Staff Review be completed before the Planning Board begins Site Plan Review.

Filed for Staff Review (check) Yes \_\_\_\_\_ Date filed \_\_\_\_\_ No X

Date of Staff Review \_\_\_\_\_

*The Applicant is responsible for the accuracy of the information provided in this application.*

Signature of Owner or Authorized Representative:

Maria S. Rose  
(If not Owner, please attach Agent Affidavit)

### Site Plan Review Requirements

To be considered complete, a formal Site Plan Review application shall include the information listed below. The Planning Board may require additional information, if necessary, to complete its review.

- A description of the proposed use or uses of the property.\*
- Evidence by the applicant of his title or interest in the property (deed, purchase and sale agreement, lease or similar instrument).
- Names and addresses of abutting property owners within three hundred (300) feet.
- An estimate of the cost of site improvements, including but not limited to the following:\*

  - Paving
  - Drainage
  - Sidewalks
  - Retaining Walls

- Landscaping
- Outdoor Lighting Facilities
- A site plan (map) showing the following information:
  - Title of drawing including name and address of applicant and person responsible for preparation of such drawing
  - North arrow, date and scale- minimum scale 1" = 40'
  - Ruled box for date and Board signatures
  - Lot size and zoning classification\*
  - Boundaries of property plotted to scale
  - Proposed use(s) of the property\*
  - Location and dimensions of all existing and proposed buildings including setback distances and square footage calculations for each use\*
  - Location and design of parking and loading areas
    - Delineation of both regular and handicapped spaces
    - Delineation of reserved parking areas
    - Proposed surface materials
  - Proposed ingress and egress routes including location of road cuts
  - Location and design of all existing or proposed site improvements including:
    - Walkways and sidewalks
    - Refuse storage and disposal
    - Drains and culverts
    - Retaining walls and fences
    - Outdoor storage areas, if any
    - Outdoor lighting facilities
    - Existing trees of more than four (4) inches in diameter, including those located in road rights-of-way
  - Existing water courses, wetlands, Conservancy District boundaries, and other natural features of the site
  - Location of wells and/or septic systems, accompanied by design plan(s)
  - Elevation plan (11" x 17")
- Grading and drainage plan showing existing and proposed contours, accompanied by drainage calculations demonstrating structures have been sized using a 25 year design storm
- Landscaping plan including:
  - Calculation of proposed green space
  - Location, size and type of shade trees

***\*Applicants requesting a Site Plan Review Waiver shall provide, at a minimum, the items noted above.***

NOT AN OFFICIAL COPY QUITCLAIM DEED OFFICIAL COPY

NOT AN OFFICIAL COPY NOT AN OFFICIAL COPY

Property Address: 61-63 A. P. Newcomb Road, Brewster, Massachusetts 02631

We, PETER J. MULLIN and LISA J. MULLIN, being married to each other, with a mailing address of 61-63 A P Newcomb Road, Brewster, MA 02631,

for consideration paid in the amount of ONE MILLION TWO HUNDRED NINETY-ONE THOUSAND EIGHT HUNDRED SEVENTY FIVE AND 00/100 (\$1,291,875.00) DOLLARS,

grant to PETER T. LOMENZO, JR. and KERRY BARTON, as Trustees of REMINGTON'S TRUST, under declaration of trust dated March 23, 2022, of P.O. Box 395, Brewster, MA 02631,

WITH QUITCLAIM COVENANTS, The land together with the buildings thereon, situated in Brewster (West), Barnstable County, Massachusetts, described as follows:

Land located on A. Percie Newcomb Road aka A.P. Newcomb Road, Brewster, Massachusetts, containing 168,887 Square Feet (3.8771 Acres), more or less, and shown as LOT 3 on a plan entitled "Plan of Land in Brewster, Mass. prepared for A.P. Newcomb Road Realty Trust, 1600 Falmouth Road, Centerville, Mass. Scale 1" = 40', April 9, 1998, Advanced Technical Solutions, 44 Crestville Drive, East Sandwich, Mass. 02537", which plan is duly recorded in the Barnstable County Registry of Deeds in Plan Book 541, Page 49.

Subject to and together with all matters of record insofar as the same are now in force and applicable.

For title, see Deed recorded with Barnstable County Registry of Deeds in Book 11807, Page 346.

Grantors release any and all homestead rights to the within premises, whether created by declaration or operation of law, and further state under the pains and penalties of perjury that there are no other individuals entitled to homestead rights to the property being conveyed herein.

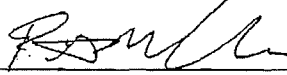
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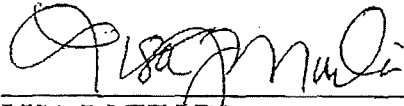
Executed as a sealed instrument under the pains and penalties of perjury this 6th day of April, 2022

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AN  
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OFFICIAL  
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PETER J. MULLIN



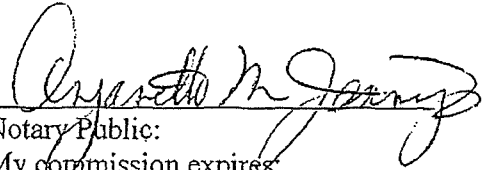
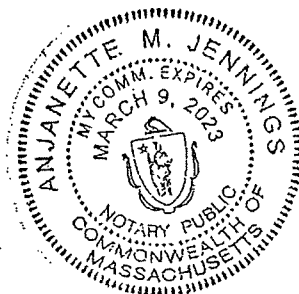
LISA J. MULLIN

COMMONWEALTH OF MASSACHUSETTS

Barnstable, ss:  
County

April 6, 2022

On the above date, before me, the undersigned notary public, personally appeared **PETER J. MULLIN** and **LISA J. MULLIN**, who proved to me through satisfactory evidence of identification, which was  photographic identification with signature issued by a federal or state governmental agency,  oath or affirmation of a credible witness,  personal knowledge of the undersigned, to be the persons whose names are signed on the preceding Quitclaim Deed, and acknowledged to me that they signed it voluntarily as their free act and deed and hereby certifies that the homestead certifications in the foregoing Quitclaim Deed are true and correct to the best of their knowledge and belief.



Notary Public:  
My commission expires:



Brewster Planning Board  
2198 Main Street  
Brewster, MA 02631-1898  
(508) 896-3701 x1133  
brewplan@brewster-ma.gov

AGENT AFFIDAVIT

Name of Owner: REGGIE T. LOMENZO, JR. Phone: 508-737-4256

Address (mailing): 61 A.P. NEWCOMB RD BREWSTER, MA 02631

Address of Property: 61 A.P. NEWCOMB RD BREWSTER, MA 02631

Current Map 25 Lot 75 Old Map \_\_\_\_\_ Lot \_\_\_\_\_

I testify that I have granted the authority to: MARILYN S. ROSE to act as agent for me and the property for which I/We own(s).

Agent Name: MARILYN S. ROSE Phone: 508-398-2221

Company Name: SINBEE & SINBEE

Address: 26 UPPER COUNTY RD, BOX 67, JENNISPORT, MA 02639

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct.

Signature of Owner [Handwritten Signature]

Date: 10-26-22



- Edge of Pavement
- Buildings
- Parcels
- Town Boundary
- MA Highways
  - Interstate
  - US Highway
  - Numbered Routes
- Adjacent Towns
- Bathymetry
  - 0-5 ft
  - 5-10 ft
  - 10-15 ft
  - 15-20 ft
  - 20-30 ft
  - 30-40 ft
  - 40-50 ft
  - 50-60 ft
- Streets

634

43

63

198

87

121

The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

0 150 300 ft

Printed on 11/01/2022 at 10:58 AM

MapsOnline by PeopleGIS

# Law Office of Singer & Singer, LLC

26 Upper County Road  
P. O. Box 67  
Dennisport, Massachusetts 02639

Andrew L. Singer  
Marian S. Rose

Tel: (508) 398-2221  
Fax: (508) 398-1568  
[www.singer-law.com](http://www.singer-law.com)

Myer R. Singer (1938-2020)

61-63 A.P. Newcomb Road

Site Plan Special Permit Application  
No. 2022-09 SPR

## **REVISED SUMMARY OF REASONING Planning Board Site Plan Review**

**hearing continued to April 12, 2023**

Peter Lomenzo and Kerry Barton, Trustees of Remington’s Trust [“Applicant”] are the owners of a property located at 61-63 A.P. Newcomb Road in Brewster [“Property”]. The Property, which exceeds the minimum lot area required in RM district (168,886 square feet existing where 60,000 square feet is required) has been developed for single-family use and is improved with a single-family dwelling and a large auxiliary building (hereinafter, the “Barn”). For clarification, the Barn is not a “barn” as defined by the Brewster Zoning By-Law as it does not house animals, but rather, is currently used for storage in support of the primary dwelling. The Applicant has applied both with the Brewster Zoning Board of Appeals to change the Barn’s use from accessory to the primary dwelling to a Bed and Breakfast use as allowed by special permit in the RM Zoning District, and for Site Plan Approval before this Board because the Bed & Breakfast use is considered to be a commercial use requiring Site Plan Review.

The Property is conforming as to lot area and frontage and the primary structure is conforming to all setbacks. The Barn is located to the rear and west of the primary structure and is



conforming to all setbacks save the west-side setback (23.3 feet existing and 25 feet required). Given that the Barn was built over 10 years ago, the structure, as placed, is grandfathered. Existing lot coverage is a conforming 2.4 % where 15% is allowed. The heights of all existing buildings are conforming.

The Applicant's proposed project centers on renovating the interior of the Barn, which is largely unfinished at present, into a three-unit (three total bedrooms) Bed and Breakfast use. Specifically, the first floor will hold an ADA accessible one-bedroom unit with private bath, a powder room, great room and open kitchen used by the Applicant to prepare breakfast for the guests. The second floor will contain two one-bedroom units, each with separate baths, accessible by an existing interior stair to the front of the Barn and an existing exterior stair to its rear. Other improvements include the construction of a pool and pool house, walkways and conforming parking (5 spaces required, 7 conforming spaces provided including one handicap space). Lot coverage as proposed will increase minimally from 2.4% to 2.5 % (120 square feet). No new nonconformities will be created nor will the sole existing nonconformity, the west-side buffer be increased.

In response to Site Plan Staff Review comments, the Applicant amended its original plan to widen the paved portion of the driveway from 10 feet to 14 feet and to provide a fire truck turnaround at the end of the driveway to improve emergency vehicle's access to the Property. The sitework as proposed is primarily located on existing impervious graveled or otherwise hardened area. The net increase in impervious coverage as defined by the Brewster Stormwater By-Law was determined to be less than 2,500 square feet (1,880 square feet of increased impervious coverage proposed). The Brewster Town Planner has approved a Stormwater Permit-minor, confirming that the work to be done as proposed meets the standards of the Brewster Stormwater By-Law and the requirements of Site Plan Review as it relates to stormwater run-off.

The Property is wholly within a designated priority species area under the Massachusetts Endangered Species Act (“MESA”). The Applicant worked with MESA staff to secure a determination that the work proposed was covered under one or more exemptions under the Act.

The Property is within the Old Kings Highway Regional Historic District. A certificate of exemption for the proposed pool area and pool house to the east of the Barn and behind the primary structure was granted to the Applicants earlier this year after a finding that the work will not be visible in any way from a public area. The Applicant secured an additional certificate of exemption for the exterior work to be done on the Barn and the surrounding property. (Application E-22-58). The Applicant notes that an earlier certificate of exemption was granted for the Barn (as it exists today) to the prior owner with an identical finding that the barn was not visible from public areas. (Application E-22-7).

The Applicant respectfully submits that the proposal meets the intent, purposes, and standards set forth in the site plan review provisions of the Zoning By-Law. The site is suitable for the proposed Bed and Breakfast use of the existing Barn and will not be detrimental or injurious to the neighborhood, the Town or the public because:

1. The existing Barn’s footprint will remain unchanged with the exception of the rear-facing second floor deck/landing as proposed. There will be no increase in nonconformities or creation of new non-conformities in terms of height, lot coverage, front, side, and rear yard setback requirements of the Zoning By-Law;
2. The Barn is well screened from neighbors with mature trees flanking the entire drive and nearby property line. The entire site will be landscaped as shown on the proposed condition landscape plan;
3. No disturbance to the neighborhood by reason of noise is anticipated given that the maximum number of guests anticipated would be six; and the pool is screened from the closest neighbor by the Barn structure itself, and significant mature plantings both

on the neighbor and Applicant's properties; all activities for guests are facing the interior-facing and construction duration and scope should be less than otherwise anticipated given the re-use of the Barn rather than new construction;

4. Parking is more than adequate for the proposed use. (5 spaces required; 7 proposed);
5. The proposed project has been carefully designed so as to avoid any negative impacts to the character of the neighborhood by re-using an existing structure, minimizing exterior construction activity, the placement of proposed new work and landscaping and screening;
6. The number of units and bedrooms to be rented are modest (3 one-bedroom units only) and the number of guests proposed should not overtax the Property which is over three times the minimum size required in the RM Zoning District;
7. There are no wetlands on the site and no wetlands resource buffer areas on site. The addition of bathrooms in the Barn will be reviewed by the Brewster Board of Health and the proposed renovation will meet all Board of Health requirements in terms of Title V septic, pool maintenance and use. As a result, no adverse impact on ponds, wetlands, marine waters, public or private drinking water supply wells and potential water supply wells is anticipated. In addition, the proposal will not result in the degradation of groundwater quality or coastal water quality off site, and there will be no negative ecological impacts to surface waters;
8. The project has been reviewed for compliance with the Brewster Stormwater By-Law and has been granted a permit based on the adequacy of the actions proposed;
9. The Property is located in the Old King's Highway Regional Historic District and all work proposed has been reviewed and ruled exempt by the Committee;
10. Materials have been provided detailing the dark-sky-compliant lighting specifications of the proposed exterior lights on the Barn and surrounding the pool deck;

11. As shown on the revised Site Plan, the hammer turnaround has been reviewed and approved by the Fire Department and determined to be adequate; the paved portion of the driveway will be increased to a 14 foot width at the Fire Chief's direction for improved public safety vehicle access;
12. The proposed re-use will not degrade the existing levels of service of surrounding roads and intersections;
13. There will be no impact to the curb cut of the one existing driveway with A.P. Newcomb Road;
14. The Property has adequate utilities and public services; and
15. The Applicant believes that because all work is to be done on disturbed areas, that the proposed work will have minimal or no impacts on wildlife, and no endangered plant or animal species will be harmed and has secured a determination of exemption from the Act by MESA staff for the proposed scope of work.

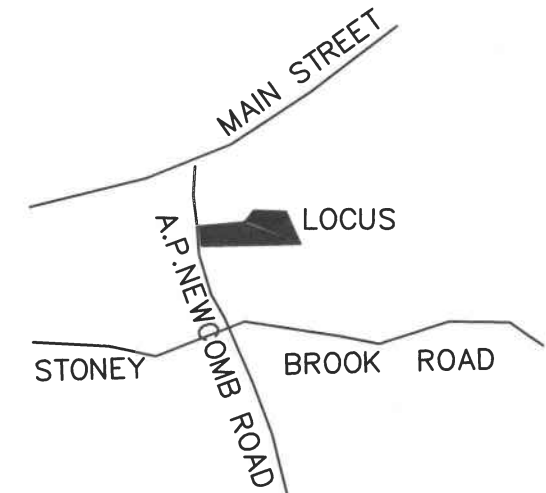
For the above reasons, the Applicant respectfully requests that the Board make findings that the criteria for a site plan review are met and grant approval allowing the proposal to be completed as submitted.

MEYER & SONS INC.  
P.O. Box 981  
E. SANDWICH, MA 02537  
PH. (508)360-3311  
fax (774)413-9468  
meyerandsonstitle5@gmail.com

EXISTING CONDITIONS  
SITE PLAN  
LOCATED AT:  
61 & 63 A.P. NEWCOMB RD.  
BREWSTER, MA.  
PREPARED FOR  
REMINGTON TRUST

FEBRUARY 6, 2023

BREWSTER



LOCUS MAP

PLAN REF: 541/49  
TITLE REF: 35099/131  
PARCEL ID: MAP 25 PAR. 75  
ZONING: RM  
FLOOD ZONE: "X"  
COMMUNITY PANEL:  
25001C0601J DATED: 07/16/14

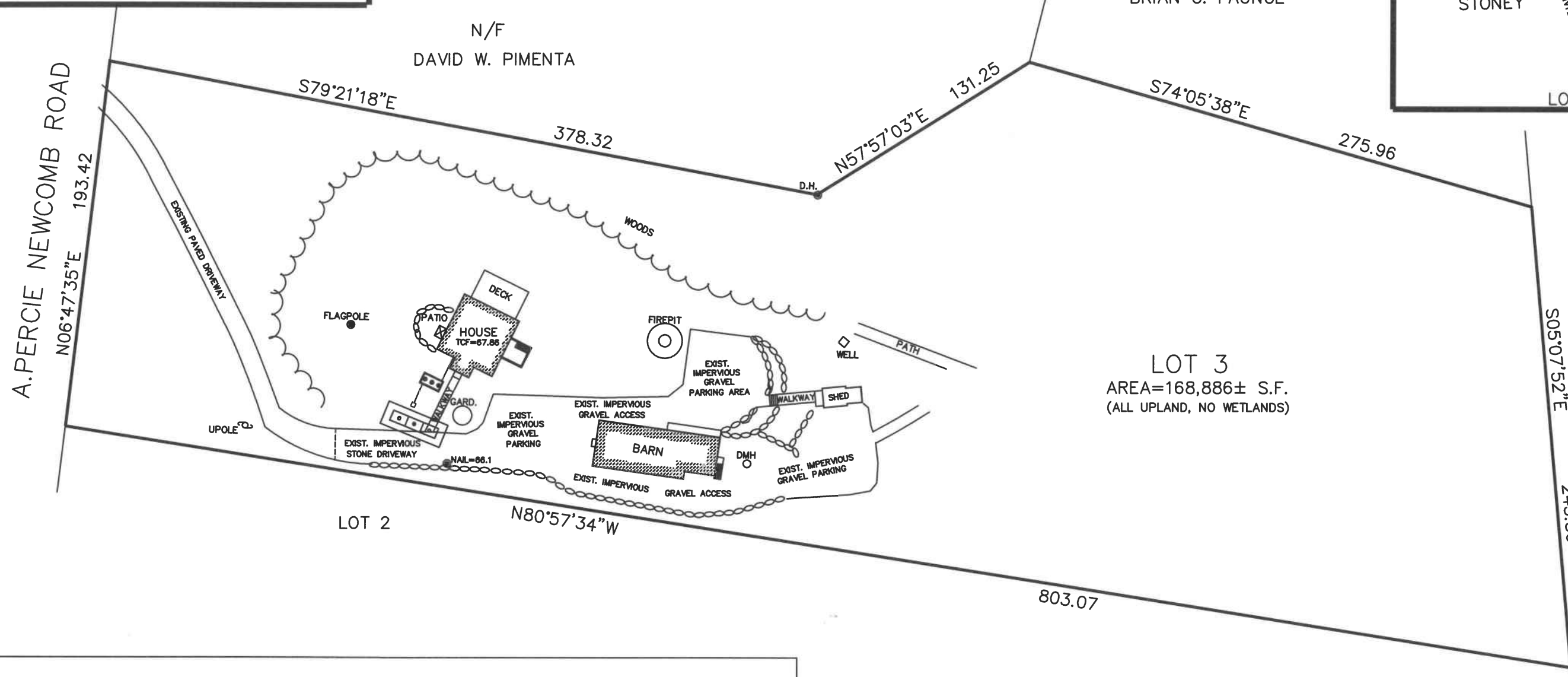
A. PERCIE NEWCOMB ROAD  
N06°47'35"E 193.42

N/F  
DAVID W. PIMENTA

N/F  
BRIAN C. FAUNCE

N/F  
MATTHEW & MAUREEN  
QUINN

LOT 3  
AREA=168,886± S.F.  
(ALL UPLAND, NO WETLANDS)



NOTES:

ZONED: RM (RESIDENTIAL MEDIUM DENSITY)

MINIMUM LOT DIMENSIONS	REQUIRED	EXISTING
LOT AREA:	60,000 SF	168,886 SF
LOT FRONTAGE:	150 FT.	193.42 FT.

MINIMUM YARD DIMENSIONS	REQUIRED	EXISTING
FRONT:	40 FT.	189.2 FT.
SIDE:	25 FT.	23.3 FT.
REAR:	25 FT.	436 FT.

MAXIMUM BUILDING LOT COVERAGE (NOT TO EXCEED 25%):

EXISTING BUILDINGS:	SF
DWELLING	1897 SF
BARN	1980 SF
SHED	220 SF

EXISTING TOTAL: 4,097 SF  
EXISTING COVERAGE: 4,097 SF/168,886 SF = 2.42%

IMPERVIOUS COVERAGE:

EXISTING DWELLINGS (MAIN HOUSE, BARN (CONVERT TO B&B), SHED)	4,097 SF/168,886 SF = 2.42%
EXISTING PACKED AND IMPERVIOUS AREAS (DRIVES, WALKS, PARKING)	13,896 SF/168,886 SF = 8.22%
TOTAL	13,896 SF + 4,097 SF = 17,993/168,886 SF = 10.64%

MAXIMUM STRUCTURE DIMENSIONS	REQUIRED	EXISTING
EXIST. BARN (PROP. B&B) HEIGHT:	30 FT.	22 FT.
EXIST. DWELLING STRUCTURE:	30 FT.	28 FT.
EXIST. SHED	30 FT.	14 FT.
PROPOSED POOL HOUSE:	30 FT.	14 FT.

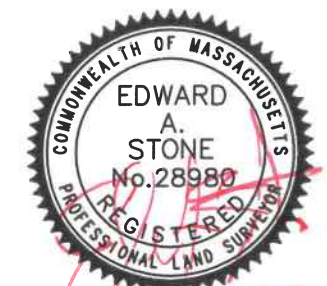
  

MINIMUM DRIVEWAY SETBACKS:	REQUIRED	EXISTING
	5 FT.	6 FT.

GRAPHIC SCALE



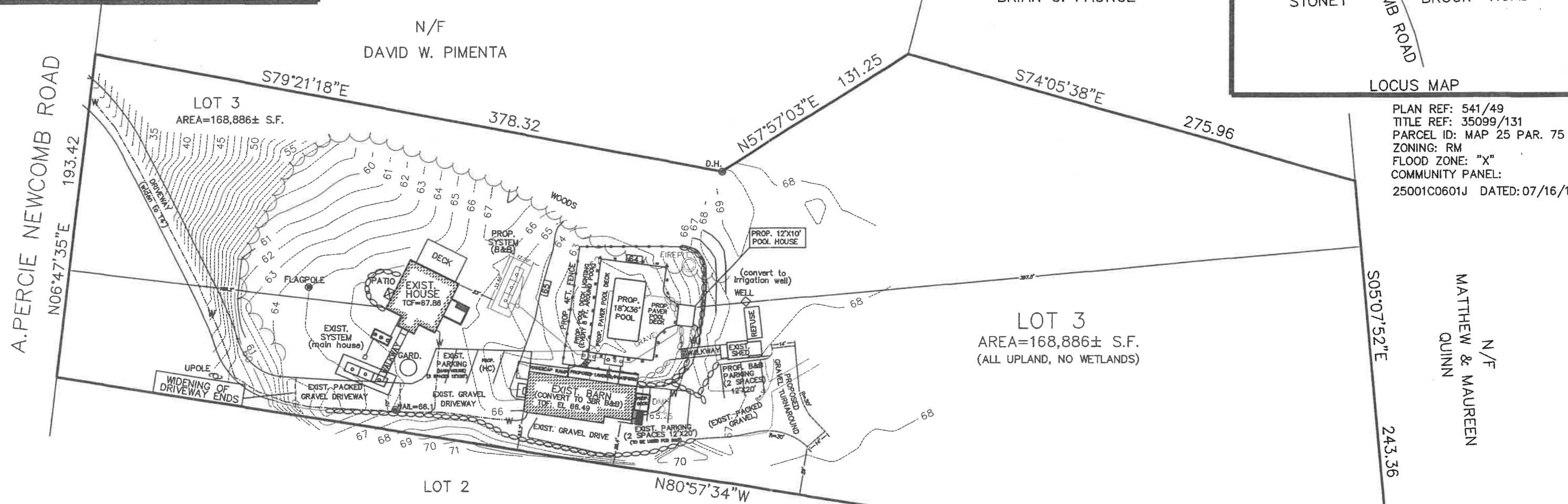
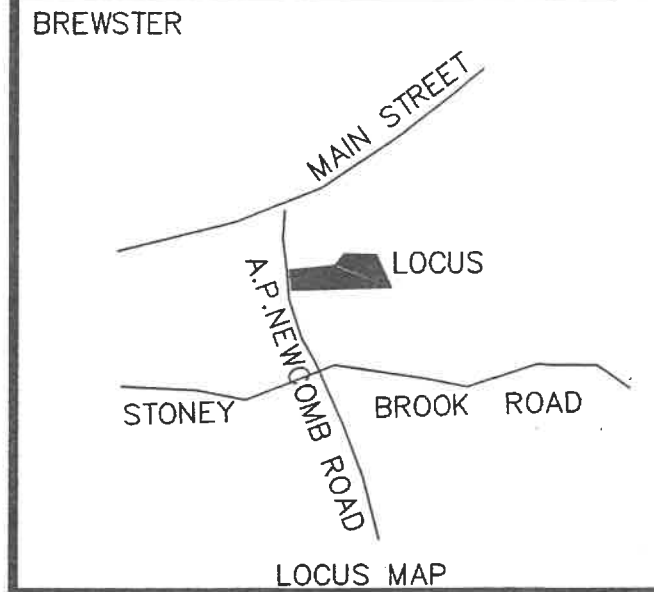
( IN FEET )  
1 inch = 60 ft.



2.6.23

MEYER & SONS INC.  
P.O. Box 981  
E. SANDWICH, MA 02537  
PH. (508)360-3311  
fax (774)413-9468  
meyerandsonstitle5@gmail.com

PROPOSED CONDITIONS  
PLAN  
LOCATED AT:  
61 & 63 A.P. NEWCOMB RD.  
BREWSTER, MA.  
PREPARED FOR  
REMINGTON TRUST  
MARCH 23, 2023



PLAN REF: 541/49  
TITLE REF: 35099/131  
PARCEL ID: MAP 25 PAR. 75  
ZONING: RM  
FLOOD ZONE: "X"  
COMMUNITY PANEL:  
25001C0601J DATED: 07/16/14

NOTES:

ZONED: RM (RESIDENTIAL MEDIUM DENSITY)

MINIMUM LOT DIMENSIONS	REQUIRED	EXISTING
LOT AREA:	60,000 SF	168,886 SF
LOT FRONTAGE:	150 FT.	193.42 FT.

MINIMUM YARD DIMENSIONS	REQUIRED	EXISTING	PROPOSED
FRONT:	40 FT.	189.2 FT.	189.2 FT.
SIDE:	25 FT.	23.3 FT.	23.3 FT.
REAR:	25 FT.	436 FT.	397.5 FT.

MINIMUM DRIVEWAY SETBACKS:	REQUIRED	EXISTING	PROPOSED
	5 FT.	6 FT.	6 FT.

PARKING CALCULATIONS:  
REQUIRED  
3 - 1 BR B&B UNITS @ 1 SPACE PER RENTAL UNIT = 3 SPACES REQUIRED  
EXISTING:  
4 PARKING SPACES (12'X20') - 2 FOR MAIN HOUSE, 2 FOR BED & BREAKFAST  
PROPOSED (BED & BREAKFAST):  
2 PARKING SPACES (12'X20') & 1 HANDICAP PARKING SPACE (15'X20') PROVIDED  
(\*\*PARKING SPACES DIVIDED W/ 2" WOOD DIVIDERS AND SFT CONCRETE CURB STOPS AT END OF EACH SPACE\*\*)

MAXIMUM BUILDING LOT COVERAGE (NOT TO EXCEED 25%):

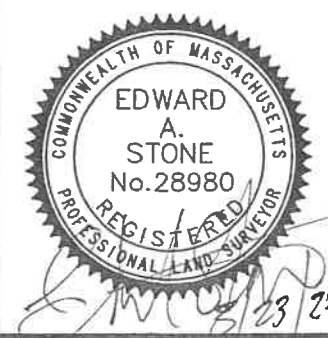
EXISTING BUILDINGS:	EXISTING TOTAL:
DWELLING 1897 SF	4,097 SF
BARN 1980 SF	EXISTING COVERAGE: 4,097 SF/168,886 SF = 2.43%
SHED 220 SF	
PROPOSED BUILDINGS:	PROPOSED TOTAL:
POOL HOUSE 120 SF	120 SF
	PROPOSED COVERAGE: 4,217 SF/168,886 SF = 2.5%

CHANGE IN IMPERVIOUS COVERAGE:

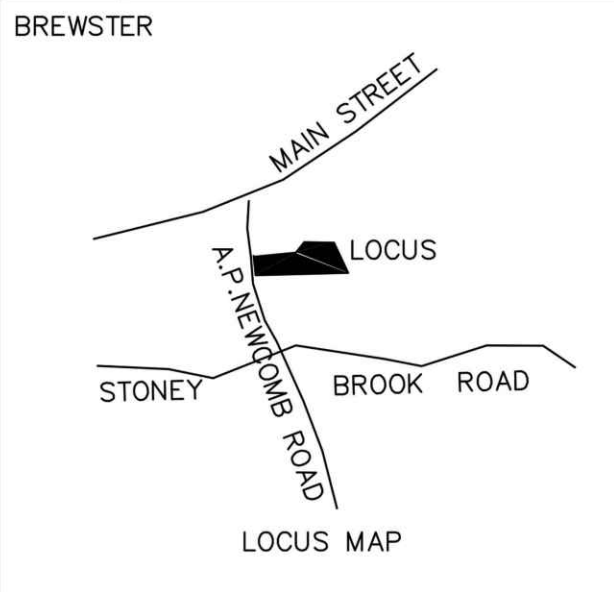
EXISTING (MAIN HOUSE, BARN (CONVERT TO B&B), SHED)	4,097 SF
EXISTING PACKED AND IMPERVIOUS AREAS (DRIVES, WALKS, PARKING)	13,896 SF
ALL NEW WORK WILL BE W/IN THE FOOTPRINT OF EXISTING IMPERVIOUS AREAS EXCEPT:	
EXPAND 210 FT. OF PAVED DRIVEWAY FROM 10 FT. TO 14 FT.	225 FT X 4 FT = 900 SF ADDED
GRAVEL FIRE DEPARTMENT TURNAROUND	980 SF ADDED
TOTAL ADDED:	1,880 SF
TOTAL IMPERVIOUS COVERAGE (EXIST. & PROP)	
(EXISTING) 17,993 SF + (PROPOSED) 1,880 SF = 19,873 SF	
COVERAGE:	19,873/168,886 SF = 11.76%

\*\* HANDICAP RAMP TO MEET CURRENT ADA STANDARDS












PROPOSED GRAVEL TURNAROUND REVIEWED AND APPROVED BY BREWSTER FIRE CHIEF, BOB MORAN.

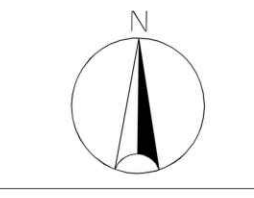


( IN FEET )  
1 inch = 60 ft.



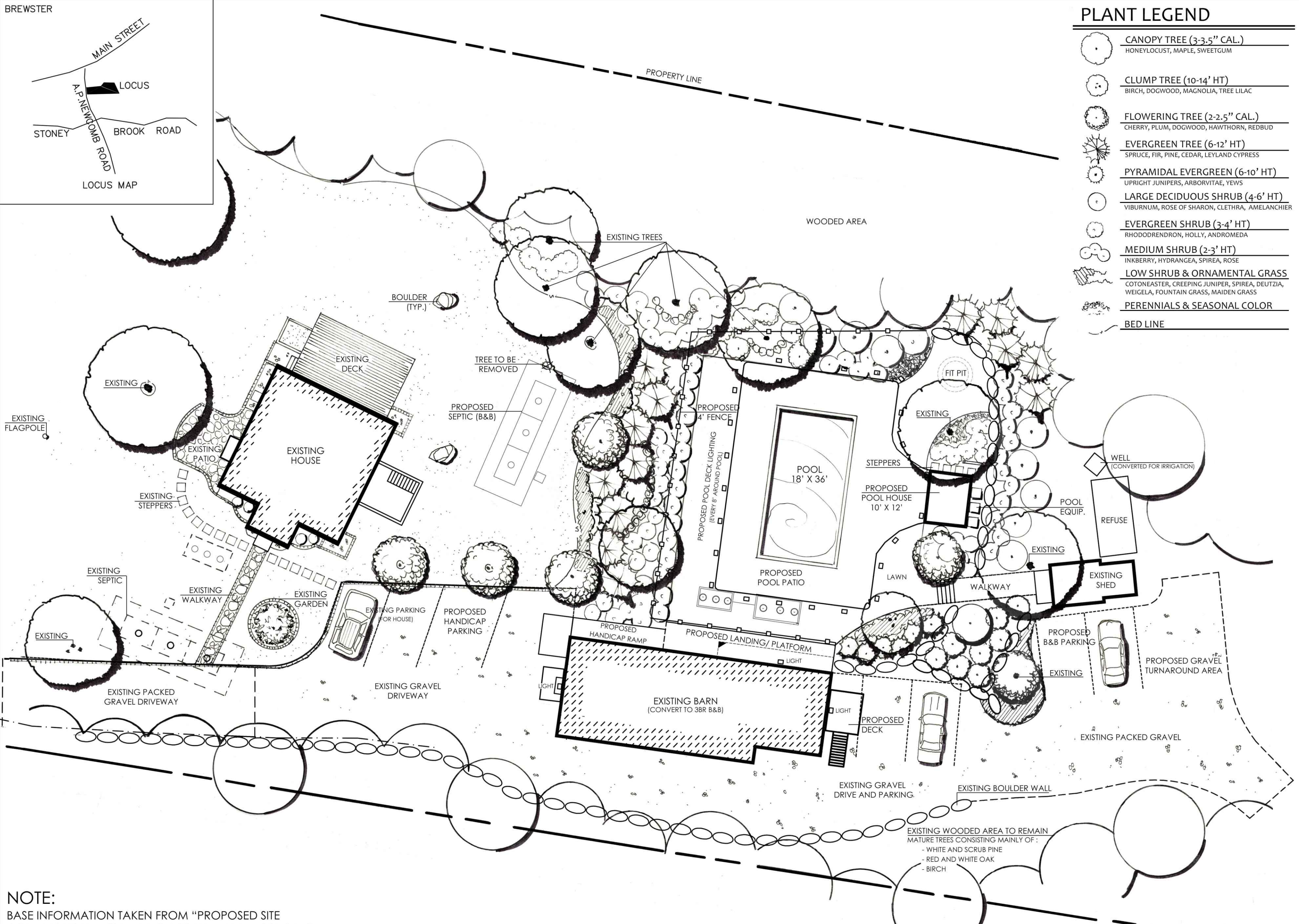
### PLANT LEGEND

-  **CANOPY TREE (3-3.5" CAL.)**  
HONEYLOCUST, MAPLE, SWEETGUM
-  **CLUMP TREE (10-14' HT)**  
BIRCH, DOGWOOD, MAGNOLIA, TREE LILAC
-  **FLOWERING TREE (2-2.5" CAL.)**  
CHERRY, PLUM, DOGWOOD, HAWTHORN, REDBUD
-  **EVERGREEN TREE (6-12' HT)**  
SPRUCE, FIR, PINE, CEDAR, LEYLAND CYPRESS
-  **PYRAMIDAL EVERGREEN (6-10' HT)**  
UPRIGHT JUNIPERS, ARBORVITAE, YEWS
-  **LARGE DECIDUOUS SHRUB (4-6' HT)**  
VIBURNUM, ROSE OF SHARON, CLETHRA, AMELANCHIER
-  **EVERGREEN SHRUB (3-4' HT)**  
RHODODENDRON, HOLLY, ANDROMEDA
-  **MEDIUM SHRUB (2-3' HT)**  
INKBERRY, HYDRANGEA, SPIREA, ROSE
-  **LOW SHRUB & ORNAMENTAL GRASS**  
COTONEASTER, CREEPING JUNIPER, SPIREA, DEUTZIA, WEIGELA, FOUNTAIN GRASS, MAIDEN GRASS
-  **PERENNIALS & SEASONAL COLOR**
-  **BED LINE**



DATE: OCTOBER 26, 2022

REVISIONS:  
 NPL DATE DESCRIPTION  
 1. 3/27/23 ADJUSTED PLANTINGS TO MATCH REVISED LAYOUT FROM PROPOSED SITE CONDITIONS PLAN



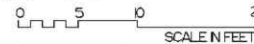
**NOTE:**  
 BASE INFORMATION TAKEN FROM "PROPOSED SITE CONDITIONS PLAN" DATED 2-6-23 BY MEYER & SONS INC.

EXISTING WOODED AREA TO REMAIN  
 MATURE TREES CONSISTING MAINLY OF:  
 - WHITE AND SCRUB PINE  
 - RED AND WHITE OAK  
 - BIRCH

**REMINGTON TRUST**  
**61 & 63 A P NEWCOMB ROAD**  
**BREWSTER, MA**

Drawn By: JTN Checked By:

**CONCEPTUAL LANDSCAPE PLAN**

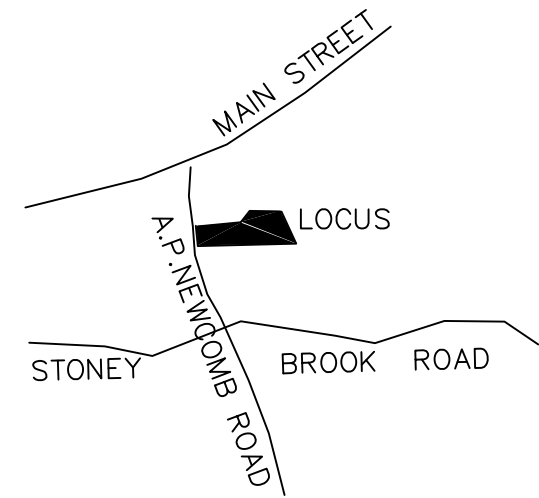
Scale: 1" = 10'-0"  


Sheet: **L1**

MACINNES CONSULTING  
P.O. Box 1182  
E. SANDWICH, MA 02537  
PH. (508)274-2091  
info@macinnesconsulting.com

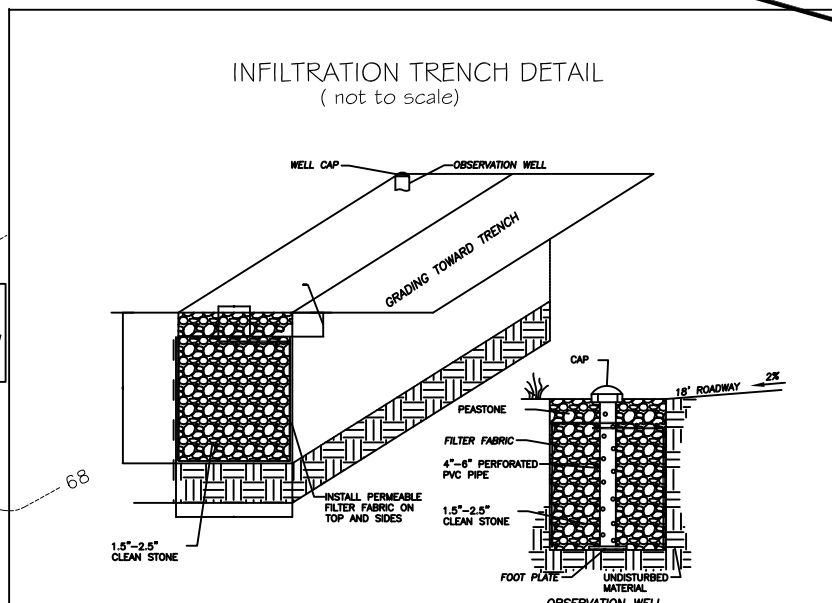
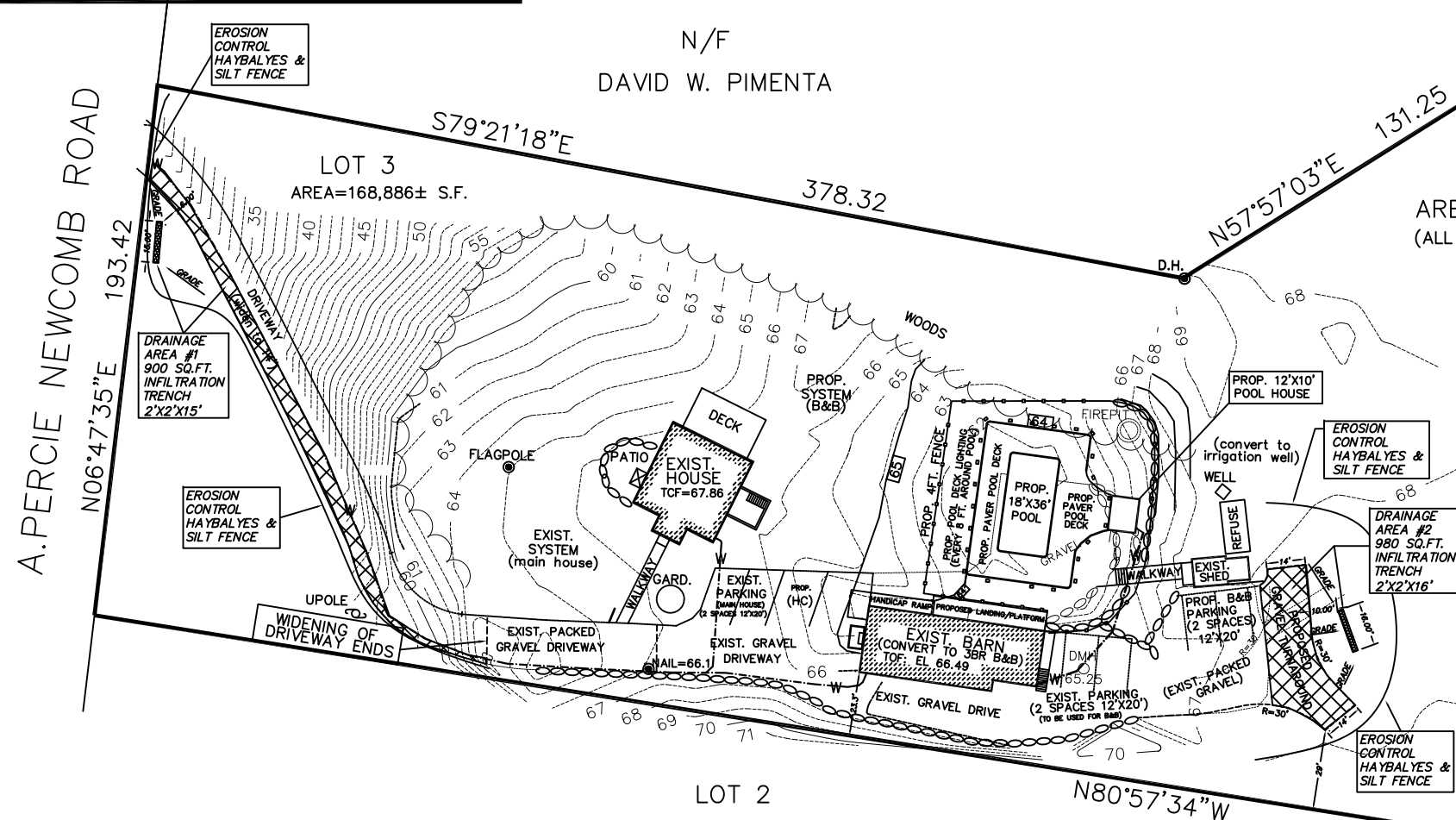
PROPOSED DRAINAGE CONDITIONS  
PLAN  
LOCATED AT:  
61 & 63 A.P. NEWCOMB RD.  
BREWSTER, MA.  
PREPARED FOR  
REMINGTON TRUST  
FEBRUARY 23, 2023

BREWSTER



LOCUS MAP

PLAN REF: 541/49  
TITLE REF: 35099/131  
PARCEL ID: MAP 25 PAR. 75  
ZONING: RM  
FLOOD ZONE: "X"  
COMMUNITY PANEL:  
25001C0601J DATED: 07/16/14



- NOTES:
1. Before constructing trench, contractor shall excavate trench area down to acceptable material (medium/coarse sand) and contact engineer to verify suitability, before backfilling with clean sand.
  2. Either filter fabric or six inches of sand is used on the trench bottom. Cleaned, washed stone aggregate, 1.5 to 3 inches in diameter should be used as fill.
  3. An observation well, consisting of a perforated vertical pipe within the trench, should be installed in trench to monitor performance.
  4. Avoid the use of heavy equipment which would compact the soil in the trench.
  5. Do not construct the trench until the entire construction area is stabilized. Construct a diversion berm around the perimeter of the trench. Remove excavated soils to outside the berm.
  6. The trench floor should be as flat as possible.

PROPOSED GRAVEL TURNAROUND REVIEWED AND APPROVED BY BREWSTER FIRE CHIEF, BOB MORAN.

NOTES:

ZONED: RM (RESIDENTIAL MEDIUM DENSITY)

MINIMUM LOT DIMENSIONS	REQUIRED	EXISTING	
LOT AREA:	60,000 SF	168,886 SF	
LOT FRONTAGE:	150 FT.	193.42 FT.	

MINIMUM YARD DIMENSIONS	REQUIRED	EXISTING	PROPOSED
FRONT:	40 FT.	189.2 FT.	189.2 FT.
SIDE:	25 FT.	23.3 FT.	23.3 FT.
REAR:	25 FT.	436 FT.	397.5 FT.

MAXIMUM STRUCTURE DIMENSIONS	REQUIRED	EXISTING	
EXIST. BARN (PROP. B&B) HEIGHT:	30 FT.	22 FT.	
EXIST. DWELLING STRUCTURE:	30 FT.	28 FT.	
EXIST. SHED:	30 FT.	14 FT.	
PROPOSED POOL HOUSE:	30 FT.	14 FT.	

MINIMUM DRIVEWAY SETBACKS:	REQUIRED	EXISTING	PROPOSED
	5 FT.	6 FT.	6 FT.

PARKING CALCULATIONS:  
REQUIRED  
3 - 1 BR B&B UNITS @ 1 SPACE PER RENTAL UNIT = 3 SPACES REQUIRED  
EXISTING:  
4 PARKING SPACES (12'X20') - 2 FOR MAIN HOUSE, 2 FOR BED & BREAKFAST  
PROPOSED (BED & BREAKFAST):  
2 PARKING SPACES (12'X20') & 1 HANDICAP PARKING SPACE (15'X20') PROVIDED  
(\*\*PARKING SPACES DIVIDED W/ 2" WOOD DIVIDERS AND 5FT CONCRETE CURB STOPS AT END OF EACH SPACE\*\*)

MAXIMUM BUILDING LOT COVERAGE (NOT TO EXCEED 25%):

EXISTING BUILDINGS:	EXISTING TOTAL:	EXISTING COVERAGE:
DWELLING 1897 SF	4,097 SF	4,097 SF/168,886 SF = 2.43%
BARN 1980 SF		
SHED 220 SF		
<b>PROPOSED BUILDINGS:</b>	<b>PROPOSED TOTAL:</b>	<b>PROPOSED COVERAGE:</b>
POOL HOUSE 120 SF	120 SF	4,217 SF/168,886 SF = 2.5%

CHANGE IN IMPERVIOUS COVERAGE:

EXISTING (MAIN HOUSE, BARN (CONVERT TO B&B), SHED)	EXISTING TOTAL:
4,097 SF	4,097 SF
EXISTING PACKED AND IMPERVIOUS AREAS (DRIVES, WALKS, PARKING)	13,896 SF
ALL NEW WORK WILL BE W/IN THE FOOTPRINT OF EXISTING IMPERVIOUS AREAS EXCEPT:	
EXPAND 210 FT. OF PAVED DRIVEWAY FROM 10 FT. TO 14 FT.	225 FT X 4 FT = 900 SF ADDED
GRAVEL FIRE DEPARTMENT TURNAROUND	980 SF ADDED
TOTAL ADDED:	1,880 SF
TOTAL IMPERVIOUS COVERAGE (EXIST. & PROP)	(EXISTING) 17,993 SF + (PROPOSED) 1,880 SF = 19,873 SF
COVERAGE:	19,873/168,886 SF = 11.76%

\*\* HANDICAP RAMP TO MEET CURRENT ADA STANDARDS



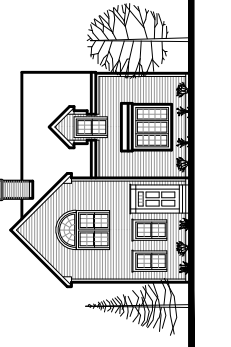
GRAPHIC SCALE

( IN FEET )  
1 inch = 60 ft.



MATTHEW & MAUREEN  
QUINN





DESIGNED/DRAWN BY:  
 THOMAS A. MOORE DESIGN CO.  
 P.O. BOX 2124 949 LONG POND RD.  
 BREWSTER, MA. (508) 896-6403

RENOVATIONS FOR:  
 KERRY BARTON & PETER LOMENZO  
 61 A.P. NEWCOMB RD. BREWSTER, MA

NOTE:  
 THE PLANS SHOWN ARE THE SOLE PROPERTY OF THE DESIGNER AND CAN NOT BE COPIED, REPRODUCED AND/OR ALTERED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE DESIGNER.

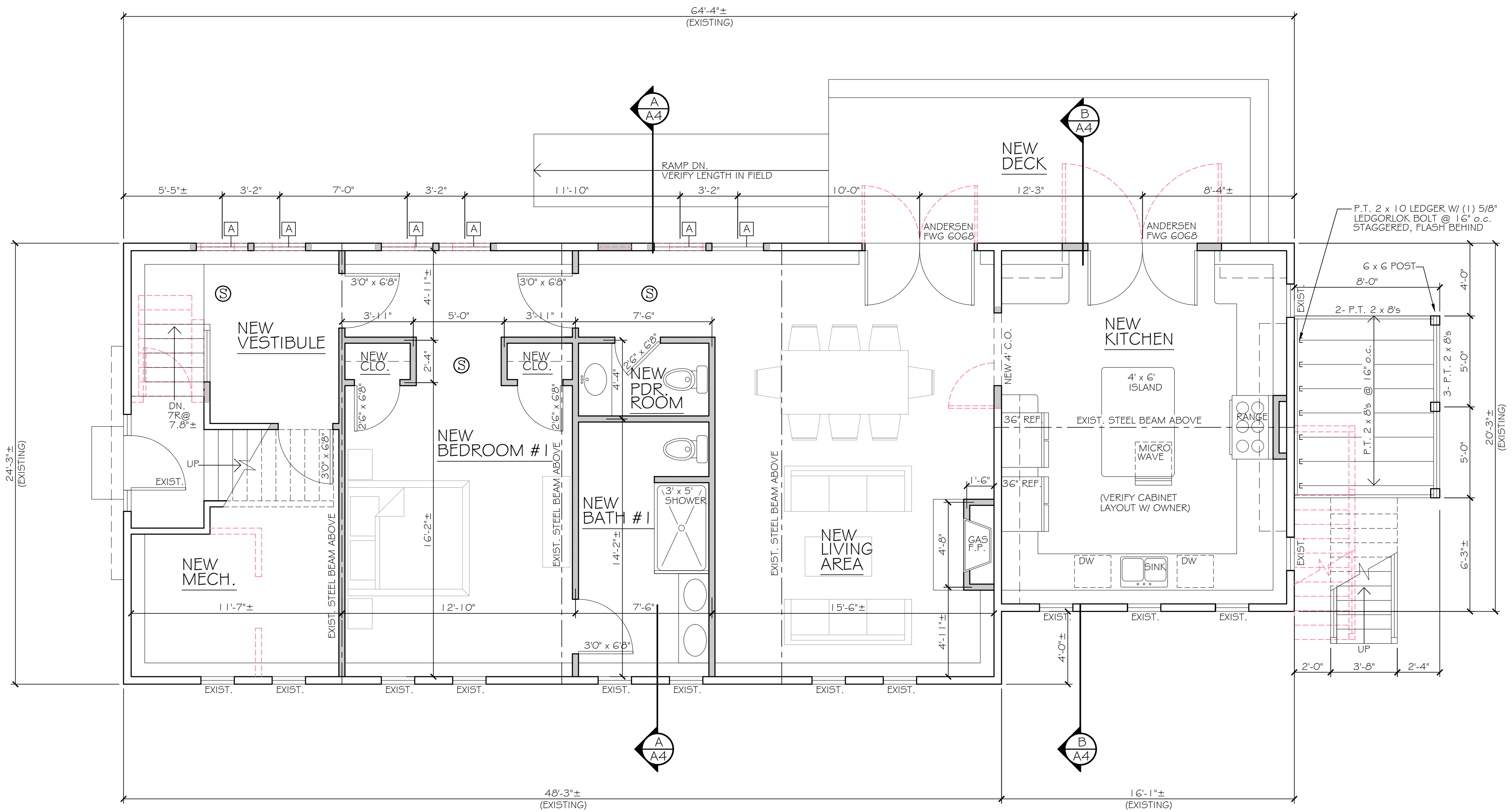
SCALE:  
 1/4" = 1'-0"

DATE:  
 2/8/2023

PROJ. NO. :  
 2022-8512

DWG. NO.:

**A1**



**GENERAL NOTES:**

- 1.) CONTRACTOR IS TO VERIFY EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO THE START OF WORK
- 2.) CONTRACTOR TO REMOVE EXISTING DOORS, WINDOWS, WALLS, & ROOFING AS REQUIRED FOR NEW CONSTRUCTION.
- 3.) ALL NEW CONSTRUCTION TO MATCH EXISTING IN MATERIAL, DETAIL, AND FINISH.
- 4.) ALL WORK SHALL CONFORM TO THE MASSACHUSETTS STATE BUILDING CODE (LATEST EDITION) AND ALL OTHER APPLICABLE LOCAL CODES
- 5.) ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS IN THE NOTES, DIMENSIONS, AND/OR DRAWINGS CONTAINED ON THESE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION. PROCEEDING WITH CONSTRUCTION CONSTITUTES ACCEPTANCE OF THESE DOCUMENTS AND ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS BECOME THE RESPONSIBILITY OF THE BUILDING CONTRACTOR.

**FIRST FLOOR PLAN**

- LEGEND**
- EXISTING WALL CONSTRUCTION TO REMAIN
  - NEW WALL CONSTRUCTION
  - EXISTING WALL CONSTRUCTION TO BE REMOVED
  - Ⓢ NEW/EXISTING SMOKE/CARBON MONOXIDE DETECTORS

**WINDOW SCHEDULE**

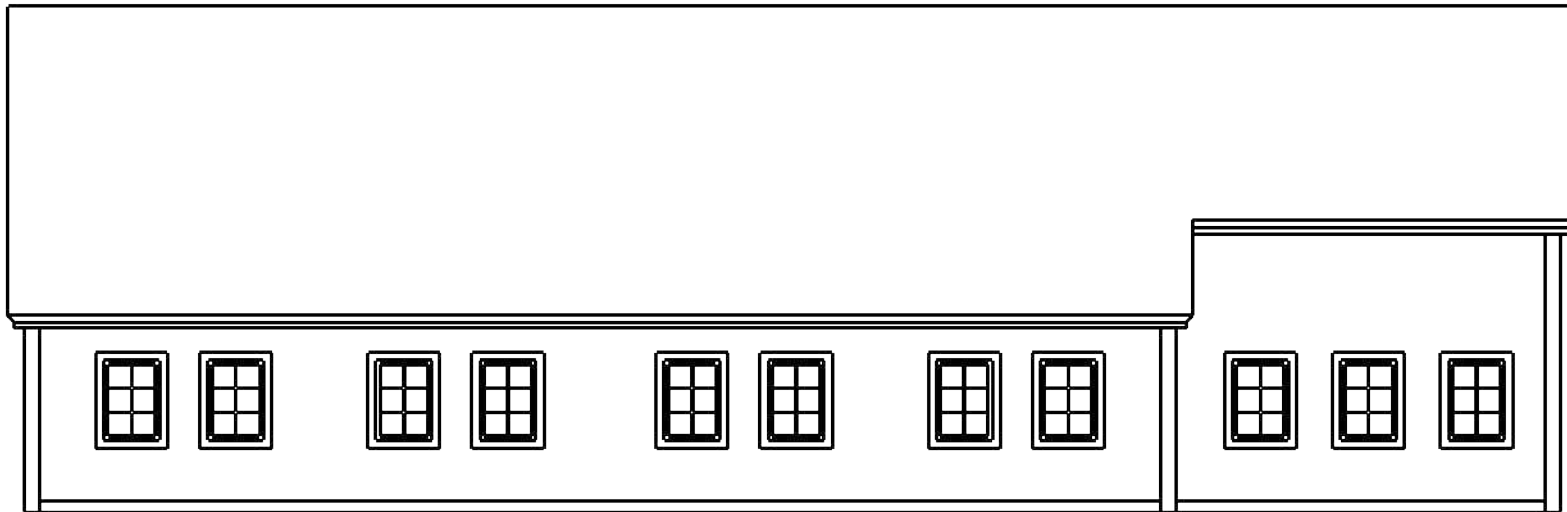
TYPE	MANUFACTURER'S UNIT	ROUGH OPENING	REMARKS
A	ANDERSEN TW 2846	2'-10 1/8" x 4'-8 7/8"	DOUBLEHUNG
B	CUSTOM WINDOW- V.I.F.	2'-7 5/8"± x 1'-3 7/8"±	TRIANGLE

NOTE #1: CONTRACTOR TO VERIFY ALL QUANTITIES AND SIZES OF NEW WINDOWS WITH OWNER AND ROUGH OPENINGS WITH WINDOW MANUFACTURER PRIOR TO ORDERING OF WINDOWS.  
 #2: V.I.F. = VERIFY IN FIELD



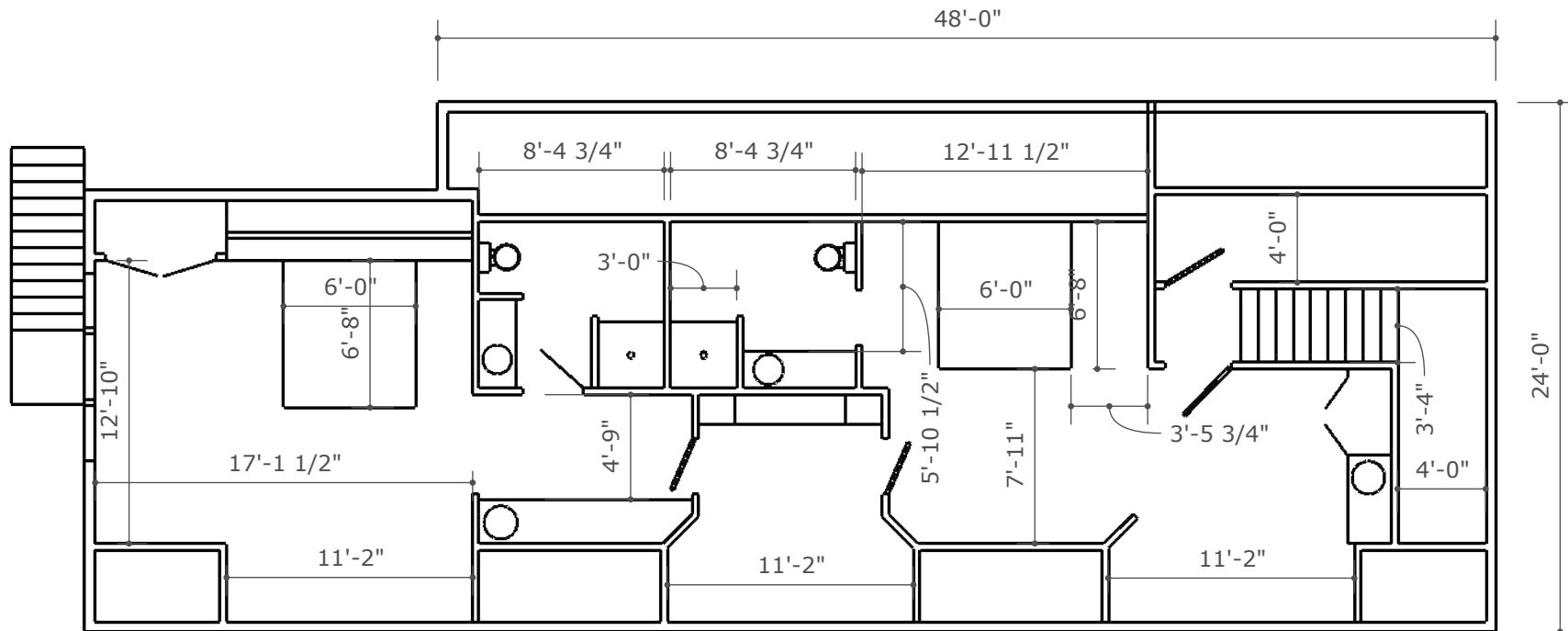




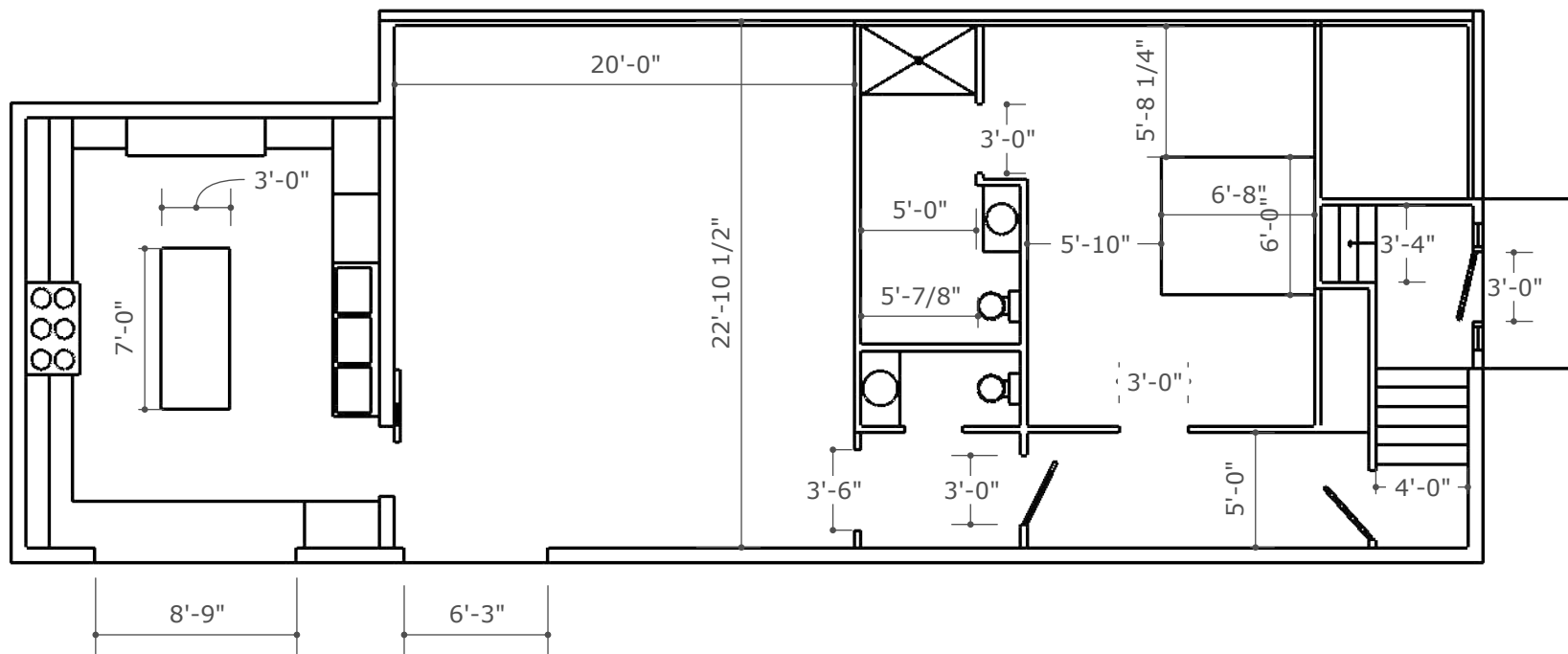




Chris M



Chris M



Chris M

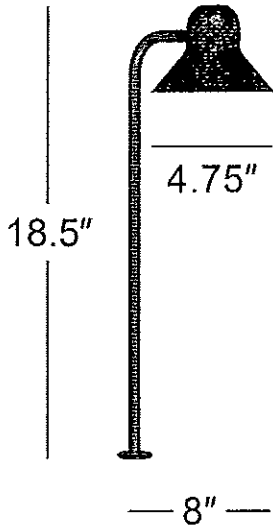


# LAMPS PLUS

The Nation's Largest Lighting Retailer

*Bollards for Pool  
as shown on proposed  
Site plan*

Home / Landscape Lighting / Contemporary / John Timberland / Style # 128V4



Jayce 18 1/2" High Bronze LED Landscape Path Lights Set of 2

**\$91.98**

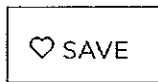
Comparable Value \$139.99

**FREE SHIPPING\***

Ships Today if ordered in the next 4 Hr. 57 Min.

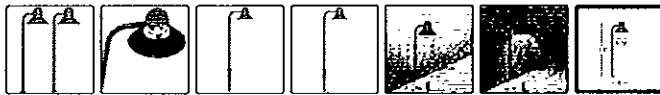


ADD TO CART



[Build Full System](#)

▼ MORE OPTIONS



## Product Details

These landscape lights easily illuminate pathways, gardens, and backyards with bright LED light, with each having a light output comparable to that of a 35 watt incandescent.

### Additional Info:

Fitted with long-lasting LEDs, these landscape path lights offer both energy efficiency and style. The LEDs will last for years, eliminating the need for frequent bulb changes. They also use far less energy, so you can place more lights on any transformer. These designs come in a sturdy steel construction and a handsome bronze finish. For use with low voltage landscape lighting systems.

- Each light is 18 1/2" high x 4 3/4" wide. Each includes an 8" long ground stake.
- Each built-in non-dimmable 4 watt LED module: 340 lumen light output, comparable to 35 watt incandescent. 3000K color temperature.
- Set of two contemporary energy-efficient LED dome-shaped landscape path lights from the Jayce collection by John Timberland®.
- Bronze finish lamp head, arm, and pole. Die cast steel construction post and light. Aluminum ground stake.
- 103-degree beam spread.
- LED averages 50,000 hours at 3 hours per day.
- For use with low voltage landscape lighting systems. Low voltage - 12V.

JOHN TIMBERLAND lighting



[Shop all John Timberland](#)

SPECIFICATIONS

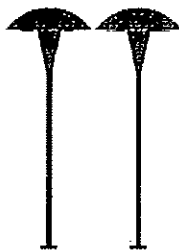
PRODUCT ATTRIBUTES

Style	Contemporary
Finish	Bronze
Type	Low Voltage
Color	Brown
Brand	John Timberland

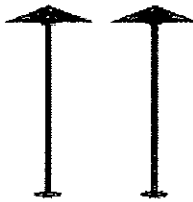
TECHNICAL SPECIFICATIONS

Height	18.50 inches
Depth	8.00 inches
Manufacturer Number	KS128V4

More Like This | [View All](#)



\$89.99



\$139.98



\$149.00



Build Full System






Build Your Own Landscape Light System

Select the number of lights you want, calculate the total wattage of all the lights, choose a transformer rated for more than the total wattage, then add cable and connectors.

Need Help With Your System?

[Live Chat](#)

or call us at **800-782-1967**

Your Landscape Lighting Choices		Item #	Quantity	Unit Price
	Jayce 18 1/2" High Bronze LED Landscape Path Lights Set of 2	<a href="#">128V4</a>	<input type="text" value="1"/>	\$91.98
	John Timberland 45 Watt Landscape Transformer with Photocell	<a href="#">2N754</a>	<input type="text"/>	\$39.99
	John Timberland 150W Landscape Transformer with Photocell	<a href="#">39549</a>	<input type="text"/>	\$99.99
	Bag of 20 Gel-Filled Low Voltage Wire Connectors	<a href="#">5G986</a>	<input type="text"/>	\$24.00
	25-Foot Long 12 Gauge Landscape Light Cable for Low Voltage Systems	<a href="#">88F56</a>	<input type="text"/>	\$24.99

# LAMPS PLUS

The Nation's Largest Lighting Retailer

Home / Gough / Style # 63M73

Lights for Barn  
as shown on  
proposed elevations



MOST POPULAR

## Gough 12 1/2" High Bronze Motion Sensor Outdoor Wall Light

15 Reviews

**\$129.99**

Comparable Value \$194.99

or 4 interest-free payments of **\$32.50** with sezzle <sup>Ⓢ</sup>

**FREE SHIPPING & FREE RETURNS\***

Ships Today if ordered in the next 4 Hr. 54 Min.

1

ADD TO CART

SAVE



▼ MORE OPTIONS

### Good To Know

Motion Sensor

Dark Sky

Dusk to Dawn

DESIGN CHAT VIEW IN YOUR ROOM

## Product Details

Farmhouse style and a modern motion sensor combine to perfection in this barn-inspired outdoor wall light.

### Additional Info:

From John Timberland, this motion sensor outdoor wall light illuminates when you and your guests arrive. Perfect for a front porch, the light boasts metal construction with a rich bronze finish that reinforces its farmhouse look. A motion sensor light is a fantastic option when hands-free illumination is desired in a driveway or at the front door. Dual-bright design means the light turns on at 25 percent brightness and goes to 100 percent when motion is detected. Two minutes after motion is no longer detected, the light will revert to low-level brightness.

- 12 3/4" wide x 12 1/2" high. Extends 12 1/2" from the wall. Round backplate is 5 3/4" wide. Mounting point to top of fixture is 6 1/4". Weighs 3.08 lbs.
- Uses one maximum 60 watt standard-medium base dimmable Type-A bulb (not included).
- Motion-sensor barn style outdoor wall light by John Timberland. Ideal for outdoor garage areas, walkways, or patios.
- Dual-Bright feature. Turns on at dusk to 25 percent brightness, then goes to full bright when motion is detected. Sensor has a 220-degree angle of view. 40-foot range.

**JOHN TIMBERLAND**  
LIGHTING

[Shop all John Timberland](#)

- Bronze finish. Steel construction. Rated for outdoor use, can also be used indoors.

### SPECIFICATIONS

#### PRODUCT ATTRIBUTES

Finish	Bronze
Style	Farmhouse
Brand	John Timberland
Motion Sensor	Yes
Dark Sky	Yes
Dusk to Dawn	Yes

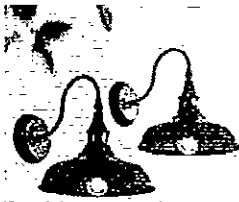
#### TECHNICAL SPECIFICATIONS

Height	12.50 inches
Width	12.75 inches
Weight	3.08 pounds
Max Wattage	60 watts

### Product Documents

- [Assembly Instructions for Gough 12 1/2" High Bronze Motion Sensor Outdoor Wall Light](#)

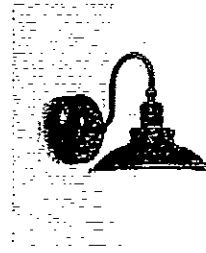
### More Like This | [View All](#)



\$229.99



\$139.90



\$189.95



### Questions & Answers

Ask a question



29 Questions

Sort by: **Most Helpful** ▾

**Q:** Any suggestions for a light that looks like this but that does not obligate me to dusk-to-dawn? The style is exactly what I'm looking for but I only want the motion sensor. A Shopper Oct 22, 2019



**A:** Please contact one of our knowledgeable Lighting and Home Décor Specialists who will be more than happy to assist you in finding other possible wall light options to meet your specific needs. They can be reached by phone, email, or chat: <https://www.lampsplus.com/contact-us/>

## Jonathon Idman

---

**From:** msrose@singer-law.com  
**Sent:** Tuesday, March 14, 2023 11:32 AM  
**To:** Jonathon Idman; Lynn St. Cyr  
**Subject:** P. Lomenzo, 61 AP Newcomb  
**Attachments:** 3.13.2023 MESA Exemption confirmation letter from E. Holt.docx

Dear Jon,

Attached is a letter from E. Holt, from Mass Wildlife, confirming that the Lomenzo's project as presented meets exemptions (4), (5) and (8) of the Ma Endangered Wildlife Act. You voiced concerns earlier regarding exemptions (4) and (5) as they are related to single family dwellings and the project proposed has a commercial aspect as defined under the Brewster Zoning By-Laws. Section (8) does apply to commercial projects – and in particular- actions taken by a property owner in relation to stormwater treatment – which meets the description of what is being performed here.

I have personally sent Ms. Holt the revised existing and proposed condition site plans which are on file with the Town of Brewster (and will be supplemented showing the proposed deck alteration which would have no effect on the MESA determination) and can confirm that the revised existing and proposed condition plans Ms. Holt refers to when reviewing plans in her email are the revised plans on file with the Town.

I would very much appreciate your determination that Ms. Holt's email regarding exemptions either meets the requirements of the Brewster Planning Board re MESA or that you let me know if you have any continued concerns.

Thank you.

Marian

-----  
Marian S. Rose  
Associate Attorney  
Law Office of Singer & Singer, LLC  
26 Upper County Road  
P.O. Box 67  
Dennisport, MA 02639  
(508) 398-2221 (tel)  
(508) 398-1568 (fax)  
[www.singer-law.com](http://www.singer-law.com)

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EXEMPTION CONFIRMATION FROM STATE UNDER (4),(5), AND (8).

On Mon, Mar 13, 2023 at 5:00 PM Holt, Emily (FWE) <[emily.holt@state.ma.us](mailto:emily.holt@state.ma.us)> wrote:

Peter,

Based on a review of the information that was provided, and provided there is no expansion of existing paved, lawn and landscaped areas, this project, as currently proposed, **will not adversely affect** the actual Resource Area Habitat of state-protected rare wildlife species (WPA, 310 CMR 10.59) and appears to be exempt from the MESA review pursuant to 321 CMR 10.14 which states: “[t]he following Projects and Activities shall be exempt from the requirements of 321 CMR 10.18 through 10.23...”

(4) the maintenance, repair, or replacement, or additions, including the construction of a driveway for an existing single family or two family home within existing paved and lawfully developed and maintained lawns or landscaped areas, provided there is no expansion of such existing paved, lawn and landscaped areas;

(5) construction or removal of structures that are secondary to the primary residence and located within existing paved areas and lawfully developed and maintained lawns or landscaped areas on residential properties, provided there is no expansion of such existing paved, lawn and landscaped areas;

(8) construction of new stormwater management systems that are designed to improve stormwater management at previously developed sites, provided that the plans for the system are submitted to the Division for prior review, and the Division makes a written determination that such systems will not have an adverse impact on state-listed species or their habitats”

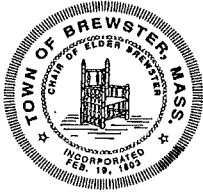
Best,

**Emily Holt**

Endangered Species Review Assistant

Natural Heritage & Endangered Species Program  
Massachusetts Division of Fisheries & Wildlife  
1 Rabbit Hill Road, Westborough, MA 01581  
p: (508) 389-6385 | f: (508) 389-7890

[mass.gov/nhesp](https://mass.gov/nhesp)



Town of Brewster  
Stormwater Management Permit Form  
Code Chapter 272

Permit Number	SWMP#2023-06
Property Address	61 & 63 A P Newcomb Road
Map/ Parcel Information	M25 P75
Deed Reference	Bk 35099 Pg 131
Applicant/ Owner	Remington's Trust, Peter Lomenzo, Trustee
Applicant c/o or mailing address	Shawn MacInnes, P.E., MacInnes Consulting PO Box 1182, E. Sandwich, MA 02537

**Type of Permit:**

- Minor Stormwater Permit  
 Major Stormwater Permit  
 Stormwater Permit Amendment

**Decision:**

- Approved  with Conditions, Limitations or Restrictions  
 Disapproved  with Prejudice  without Prejudice  
 Withdrawn without Prejudice

**Project Description:** Site work/ improvements resulting in a *net increase in impervious surface coverage on-site of 1,880sq ft +/-*, including widening the existing paved driveway and installation of a gravel parking/ driveway turn-around. Infiltration trenches are proposed to infiltrate and treat new stormwater run-off.

- A. Permit issuance subject to Sections 5.7 & 5.8 of the SWM Regulations.
- B. Construction and Post-Construction BMPs, including maintenance, shall be implemented as recommended and described in the following Approved Plans and Documents:
- Minor Stormwater Permit Application, Project Narrative, 61 & 63 AP Newcomb Road, Brewster, MA, prepared for Remington's Trust by MacInnes Consulting, Stamped by Shawn MacInnes, PE, dated February 23, 2023, supplemented February 28, 2023, including stamped Drainage Conditions (Site) Plan dated February 23, 2023.
- C. The swimming pool shall only be emptied/ discharged in accordance with Chapter 115 of the Brewster Code.

Executed this eighth day of March, 2023

Designated Agent of Stormwater Authority,

By:

Jonathon Idman, Town Planner

CC: Building Dept.





Town of Brewster  
Code Chapter 272  
Stormwater Management Permit  
Application Form

**FOR TOWN OFFICIAL USE ONLY**

TOWN CLERK RECEIVED:

SWM PERMIT NUMBER ASSIGNED:

SLUMP 2023-06

1. Project Location:

61-63 A.P. Newcomb Road

Street Address

Map 25, Parcel 75

Assessors Map and Parcel(s)

Book 35099 Page 131

Deed Reference

2. Applicant:

Marian S. Rose, Esquire - Law Office of Singer & Singer, LLC

Name

P.O. Box 67 (26 Upper County Road) Dennisport, MA 02639

Legal Mailing Address

508-398-2221

Phone Number

msrose@singer-law.com

Email Address

3. Property Owner (if different than Applicant):

Remington's Trust

Name

P.O. Box 395, Brewster, MA 02631

Legal Mailing Address

508-737-4256

Phone Number

peterlomenzo26@gmail.com

Email Address

4. Professional Representative:

Shawn MacInnes, MacInnes Consulting

Name

P.O. Box 1182, East Sandwich, MA 02537

Legal Mailing Address

508-274-2091

Phone Number

shawn@macinnesconsulting.com

Email Address

5. Type of Application (Check as applicable):

- Minor Stormwater Permit-** Any combination or series of construction or land disturbance activities that, over a two-year period, will result in a net increase in impervious area of 500 sq.ft. to 2,500 sq.ft. and/or will result in land disturbances of 10,000 sq.ft. to 20,000 sq.ft.
- Major Stormwater Permit-** Any alteration, disturbance, development, or redevelopment that does not meet the eligibility criteria for a Minor Stormwater Permit.
- SWM Permit Amendment-**  
List existing Stormwater Management permit number/ type \_\_\_\_\_.
- Stormwater Management Certificate of Compliance (SMCC) Request-**  
List relevant Stormwater Management permit number \_\_\_\_\_.

6. Brief Project Description, including any waiver requests:

See attached narrative.

Applicant seeks to widen driveway, add additional parking area, construct a "hammerhead" turning area, adding an in-ground pool, surrounding patio and pool-shed, resulting in a net increase in impervious coverage of 1,880 square feet.

7. Signatures:

Marian S. Rose 2-24-2023  
Applicant Date

Peter Longmuir, Trustee (by MGR w/ Permission) 2-24-2023  
Property Owner (if different than Applicant) Date

Shawn MacInnis (by MGR w/ permission) 2-24-2023  
Professional Representative (as applicable) Date

**NOTES:**

- Please refer to Appendix B of the Stormwater Management Regulations for detailed application submittal and supporting material requirements for Minor and Major Stormwater Management Permits, respectively.
- The application fee schedule is contained in Appendix C of the Regulations.
- Certain activities are exempt from review and permitting (See §272-6 of the Stormwater Management Bylaw).
- If the project is located, in whole or part, within an area subject to state or local wetlands protection law, the review and permitting authority is the Brewster Conservation Commission/ Conservation Department.
- No permit review shall occur nor shall review periods commence until the application is deemed complete.

**MINOR STORMWATER PERMIT APPLICATION**

**PROJECT NARRATIVE**

**FOR**

**61 & 63 AP NEWCOMB ROAD**

**BREWSTER, MA**

**Prepared For:**

Remington Trust

**Prepared By:**

MacInnes Consulting

PO Box 1182

East Sandwich, MA

(508) 274-2091

**February 23, 2023**

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Infiltration Trench Maintenance

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Proposed Calculations

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Existing Conditions Plan

Proposed Conditions Plan

Infiltration Trench Detail

Drainage Area Site Plan

## **CALCULATION METHODS**

- Town of Brewster Chapter 272 Stormwater Management Bylaw Guidance Document, and general hydrologic Stormwater drainage design.

## **SOURCE OF DATA**

- Town of Brewster Stormwater Rules and Regulations
- Existing and Proposed Site Plans
- USGS Data

## **PROJECT DESCRIPTION:**

This project proposes to increase the impervious area on the site through the widening of 225 feet of the existing paved driveway, from 10' to 14', and adding a gravel "hammerhead" fire safety vehicle turnaround as required by the Brewster Fire Department. construction of in ground swimming pool, surrounding patio, pool shed and gravel parking area for two vehicles. Other proposed improvements are being made on the site. However, those impervious areas overlap existing impervious areas, and those differences have been included in site plans for identification. This report will demonstrate the volumes of Stormwater runoff will meet or reduce those required by the Town of Brewster Stormwater Management guidelines.

Drainage area #1 encompasses 900 square feet of impervious area, which the widening of 210' of the existing paved driveway, from 10' to 14'. Drainage area #2 encompasses 980 square feet of impervious area, which includes the addition of a gravel "hammerhead" safety vehicle turn around at the end of the driveway on the southern property line, as required by the Brewster Fire Department.

## **CALCULATION OBJECTIVES:**

The purpose of this drainage analysis is to design a Stormwater mitigation system that maintains and/or reduces peak flow rates and volumes of Stormwater runoff from pre to post-development at the various selected design points, and mitigates the adverse effects of Stormwater runoff, decreased groundwater recharge, erosion and sedimentation, and non-point source pollution, as addressed in the Town of Brewster Stormwater Management Bylaw.

The following analysis is separated into existing conditions and proposed conditions for ease of comparison. Drainage maps have been incorporated into this report to depict existing and proposed areas for the site.

#### **SELECTION OF STORM EVENTS:**

The storm event frequencies have been selected based upon the Town of Brewster Stormwater Management Bylaw (Chapter 272). Additional storm event rainfall data has been compiled from the Soil Conservation Service Technical Report No. 55 and the U.S. Department of Commerce Technical Paper No. 40.

#### **INFILTRATION TRENCH DESIGN**

The infiltration trench is designed using the Town of Brewster Stormwater Management Bylaw (Chapter 272) determine the storage volume required. The soil infiltration rate is then calculated using a very conservative soil infiltration rate of 0.75 in/hr with the proposed trench design dimensions. The equations used to calculate the trench size required are as follows. The results can be seen on the drainage design summary on the following page.

$$\text{Trench Storage Volume (ft}^3\text{)} = 0.35 \text{ WHL}$$

Storage Volume in trench calculated assuming void space of gravel in trench to be 35%

W = Trench Width, ft

H = Trench Height, ft

L = Trench Length, ft

$$\text{Infiltration Volume (ft}^3\text{)} = \text{Tb} \times \text{Ir} \times \text{Ip}$$

Tb = Trench Bottom Area (sf)

Use Trench width of 2 feet and length as per designated drainage areas

Ir = Infiltration design rate (in/hr)

Use 0.75 in/hr. Actual infiltration rate of Enfield Silt Loam is approximately 6 in/hr

Ip = Infiltration period\* (hr) x (1/12)

Use 24 Hours.

**Required Trench Volume (ft<sup>3</sup>) = Required Storage – Infiltration Volume**

#### **INFILTRATION TRENCH MAINTENANCE**

The principal maintenance objective is to prevent sediment buildup and clogging, which reduces pollutant removal efficiency and may lead to trench failure. Routine maintenance activities, and the frequency at which they should be conducted, are shown in the table below.

Routine Maintenance Activities for Infiltration Trenches		
No.	Maintenance Task	Frequency of Task
1	Remove obstructions, debris and trash from infiltration trench and dispose of properly.	As needed
2	Inspect trench to ensure that it drains between storms, and within 5 days after rainfall. Check observation well 2-3 days after storm to confirm drainage.	As needed
3	Inspect filter fabric for sediment deposits by removing a small section of the top layer.	Annually
4	Monitor observation well to confirm that trench has drained during dry season.	Annually, during dry season
5	Mow and trim vegetation around the trench to maintain a neat and orderly appearance.	As needed
6	Remove any trash, grass clippings and other debris from the trench perimeter and dispose of properly.	As needed
7	Check for erosion.	As needed
8	Confirm that cap of observation well is sealed.	At every inspection

Drainage Calculation Summary  
61 & 63 A.P. Newcomb Road, Brewster, MA  
For Remington Trust  
2/23/2023

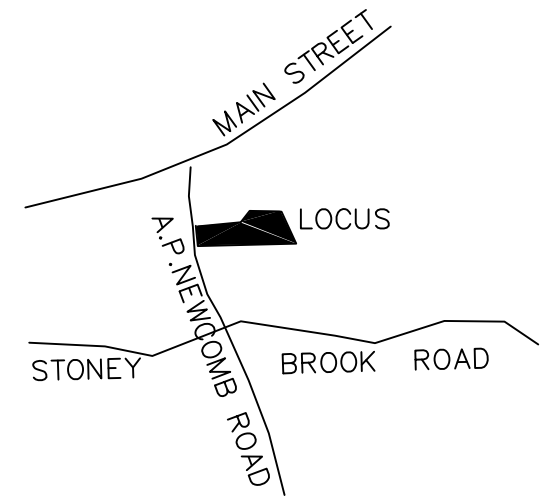
DRAINAGE AREA	DESCRIPTION	IMPERVIOUS AREA (SF) SQ FT	INFILTRATION FACTOR	SLOPE FT/FT	REQUIRED	SANDY SOIL	REQUIRED	TRENCH	TRENCH	TRENCH	GRAVEL VOIDS	INFILTRATION VOLUME CUBIC FT	INFILTRATION	PROPOSED
					STORAGE VOLUME CUBIC-FT	STORAGE VOLUME 20% RED. FACTOR	STORAGE VOLUME CUBIC FT	WIDTH FT	HEIGHT FT	LENGTH FT			TRENCH REQUIRED STORAGE CUBIC FT	STORAGE VOLUME #0.35WHL CUBIC FT
1	DRIVEWAY WIDENING 10' - 14'	900	0.083	0.01	74.7	0.8	59.76	2	2	15	0.35	45	14.76	21
2	GRAVEL PARKING SPACES ON SOUTH SIDE	980	0.083	0.01	81.34	0.8	65.072	2	2	16	0.35	48	17.072	22.4



MACINNES CONSULTING  
P.O. Box 1182  
E. SANDWICH, MA 02537  
PH. (508)274-2091  
info@macinnesconsulting.com

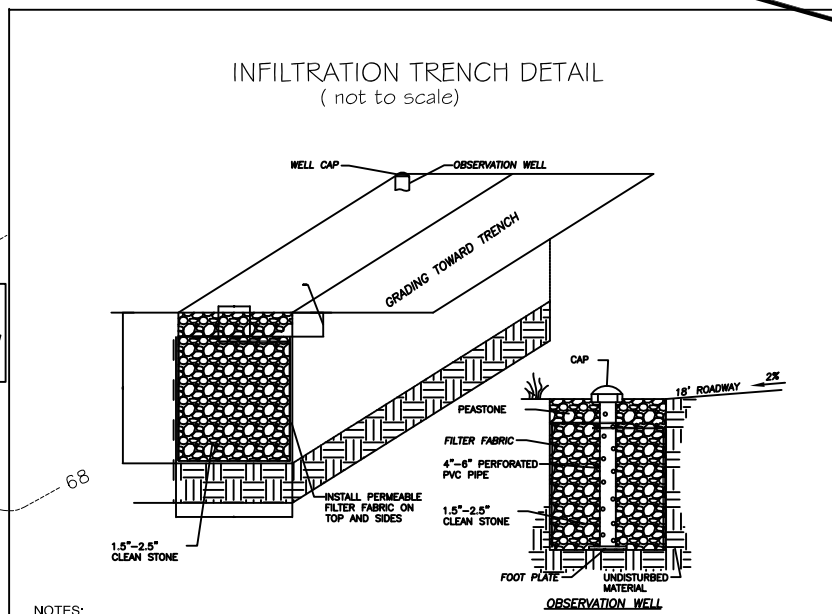
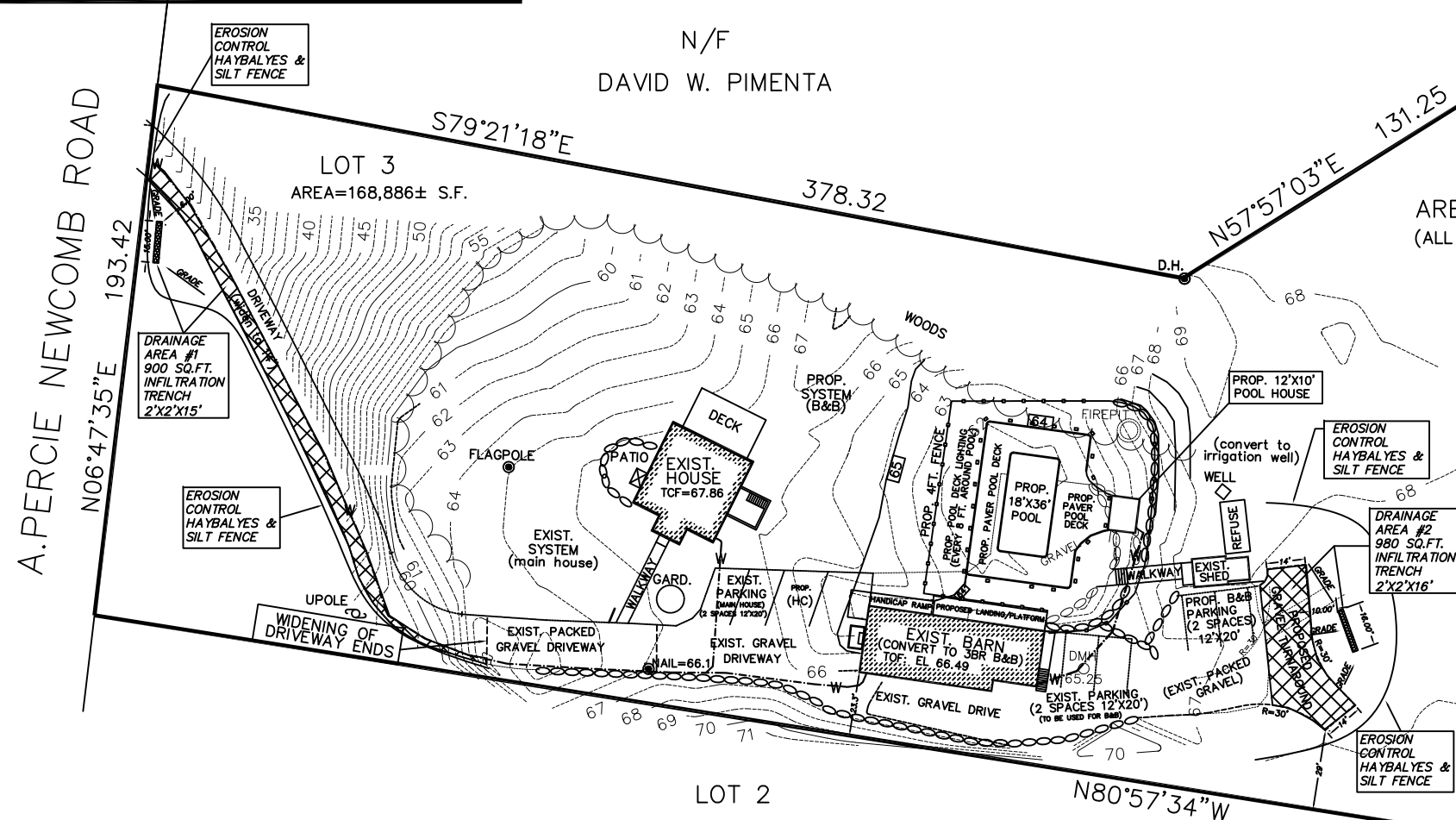
PROPOSED DRAINAGE CONDITIONS  
PLAN  
LOCATED AT:  
61 & 63 A.P. NEWCOMB RD.  
BREWSTER, MA.  
PREPARED FOR  
REMINGTON TRUST  
FEBRUARY 23, 2023

BREWSTER



LOCUS MAP

PLAN REF: 541/49  
TITLE REF: 35099/131  
PARCEL ID: MAP 25 PAR. 75  
ZONING: RM  
FLOOD ZONE: "X"  
COMMUNITY PANEL:  
25001C0601J DATED: 07/16/14



- NOTES:
- Before constructing trench, contractor shall excavate trench area down to acceptable material (medium/coarse sand) and contact engineer to verify suitability, before backfilling with clean sand.
  - Either filter fabric or six inches of sand is used on the trench bottom. Cleaned, washed stone aggregate, 1.5 to 3 inches in diameter should be used as fill.
  - An observation well, consisting of a perforated vertical pipe within the trench, should be installed in trench to monitor performance.
  - Avoid the use of heavy equipment which would compact the soil in the trench.
  - Do not construct the trench until the entire construction area is stabilized. Construct a diversion berm around the perimeter of the trench. Remove excavated soils to outside the berm.
  - The trench floor should be as flat as possible.

PROPOSED GRAVEL TURNAROUND REVIEWED AND APPROVED BY BREWSTER FIRE CHIEF, BOB MORAN.

NOTES:

ZONED: RM (RESIDENTIAL MEDIUM DENSITY)

MINIMUM LOT DIMENSIONS	REQUIRED	EXISTING	
LOT AREA:	60,000 SF	168,886 SF	
LOT FRONTAGE:	150 FT.	193.42 FT.	

MINIMUM YARD DIMENSIONS	REQUIRED	EXISTING	PROPOSED
FRONT:	40 FT.	189.2 FT.	189.2 FT.
SIDE:	25 FT.	23.3 FT.	23.3 FT.
REAR:	25 FT.	436 FT.	397.5 FT.

MAXIMUM STRUCTURE DIMENSIONS	REQUIRED	EXISTING	
EXIST. BARN (PROP. B&B) HEIGHT:	30 FT.	22 FT.	
EXIST. DWELLING STRUCTURE:	30 FT.	28 FT.	
EXIST. SHED:	30 FT.	14 FT.	
PROPOSED POOL HOUSE:	30 FT.	14 FT.	

MINIMUM DRIVEWAY SETBACKS:	REQUIRED	EXISTING	PROPOSED
	5 FT.	6 FT.	6 FT.

PARKING CALCULATIONS:  
REQUIRED  
3 - 1 BR B&B UNITS @ 1 SPACE PER RENTAL UNIT = 3 SPACES REQUIRED  
EXISTING:  
4 PARKING SPACES (12'X20') - 2 FOR MAIN HOUSE, 2 FOR BED & BREAKFAST  
PROPOSED (BED & BREAKFAST):  
2 PARKING SPACES (12'X20') & 1 HANDICAP PARKING SPACE (15'X20') PROVIDED  
(\*\*PARKING SPACES DIVIDED W/ 2" WOOD DIVIDERS AND 5FT CONCRETE CURB STOPS AT END OF EACH SPACE\*\*)

MAXIMUM BUILDING LOT COVERAGE (NOT TO EXCEED 25%):

EXISTING BUILDINGS:	EXISTING TOTAL:	EXISTING COVERAGE:
DWELLING 1897 SF	4,097 SF	4,097 SF/168,886 SF = 2.43%
BARN 1980 SF		
SHED 220 SF		
<b>PROPOSED BUILDINGS:</b>	<b>PROPOSED TOTAL:</b>	<b>PROPOSED COVERAGE:</b>
POOL HOUSE 120 SF	120 SF	4,217 SF/168,886 SF = 2.5%

CHANGE IN IMPERVIOUS COVERAGE:

EXISTING (MAIN HOUSE, BARN (CONVERT TO B&B), SHED)	4,097 SF
EXISTING PACKED AND IMPERVIOUS AREAS (DRIVES, WALKS, PARKING)	13,896 SF
ALL NEW WORK WILL BE W/IN THE FOOTPRINT OF EXISTING IMPERVIOUS AREAS EXCEPT:	
EXPAND 210 FT. OF PAVED DRIVEWAY FROM 10 FT. TO 14 FT.	225 FT X 4 FT = 900 SF ADDED
GRAVEL FIRE DEPARTMENT TURNAROUND	980 SF ADDED
TOTAL ADDED:	1,880 SF
TOTAL IMPERVIOUS COVERAGE (EXIST. & PROP)	
(EXISTING) 17,993 SF + (PROPOSED) 1,880 SF	= 19,873 SF
COVERAGE:	19,873/168,886 SF = 11.76%

\*\* HANDICAP RAMP TO MEET CURRENT ADA STANDARDS



GRAPHIC SCALE

( IN FEET )  
1 inch = 60 ft.



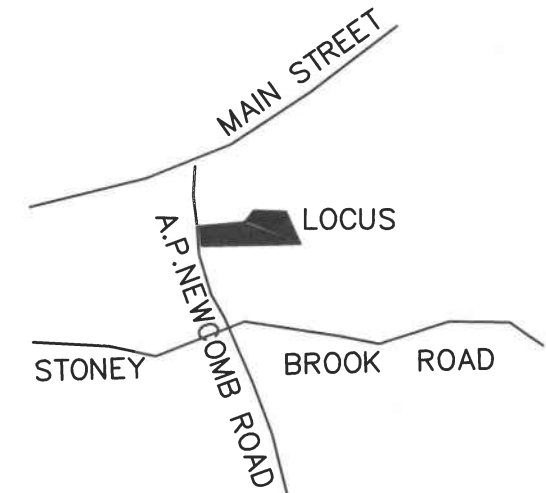
MATTHEW & MAUREEN QUINN

MEYER & SONS INC.  
P.O. Box 981  
E. SANDWICH, MA 02537  
PH. (508)360-3311  
fax (774)413-9468  
meyerandsonstitle5@gmail.com

EXISTING CONDITIONS  
SITE PLAN  
LOCATED AT:  
61 & 63 A.P. NEWCOMB RD.  
BREWSTER, MA.  
PREPARED FOR  
REMINGTON TRUST

FEBRUARY 6, 2023

BREWSTER



LOCUS MAP

PLAN REF: 541/49  
TITLE REF: 35099/131  
PARCEL ID: MAP 25 PAR. 75  
ZONING: RM  
FLOOD ZONE: "X"  
COMMUNITY PANEL:  
25001C0601J DATED: 07/16/14

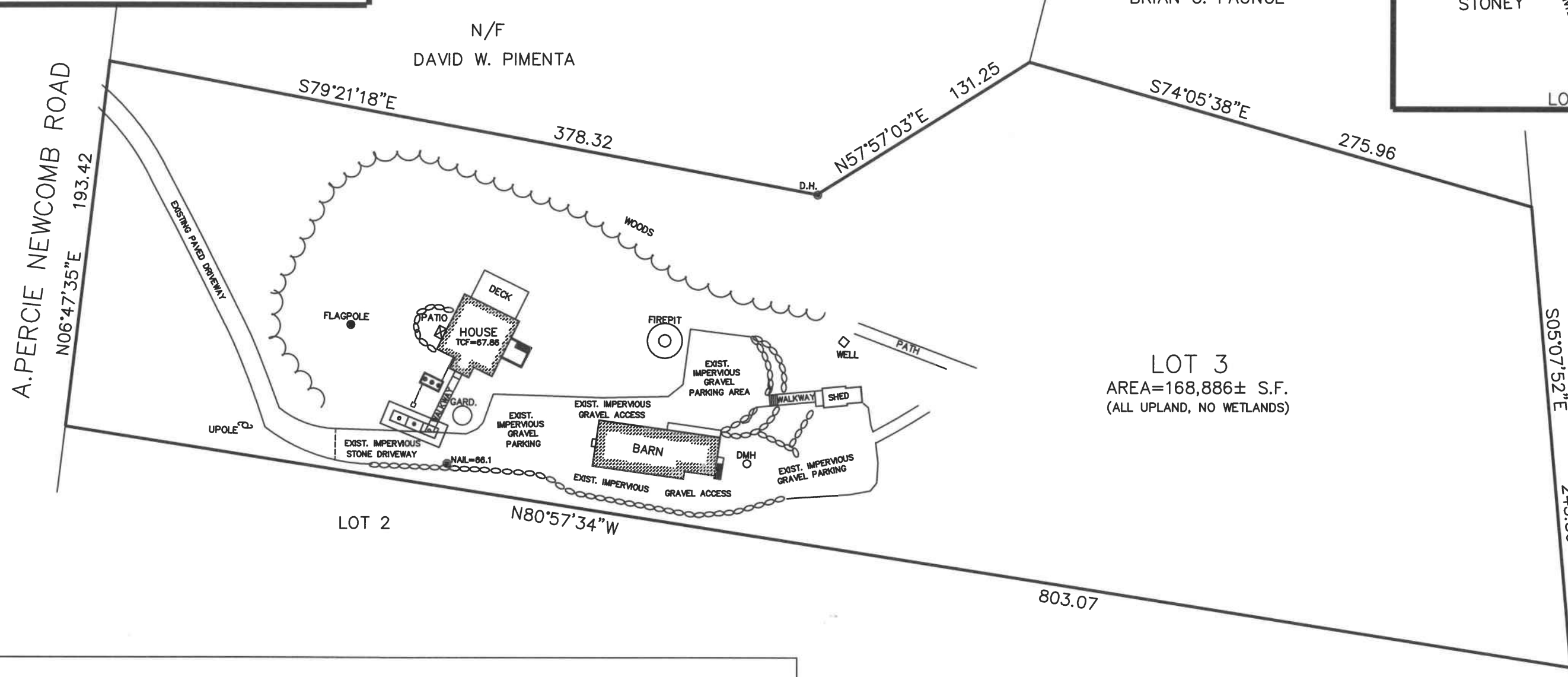
A. PERCIE NEWCOMB ROAD  
N06°47'35"E 193.42

N/F  
DAVID W. PIMENTA

N/F  
BRIAN C. FAUNCE

N/F  
MATTHEW & MAUREEN  
QUINN

LOT 3  
AREA=168,886± S.F.  
(ALL UPLAND, NO WETLANDS)



NOTES:

ZONED: RM (RESIDENTIAL MEDIUM DENSITY)

MINIMUM LOT DIMENSIONS	REQUIRED	EXISTING
LOT AREA:	60,000 SF	168,886 SF
LOT FRONTAGE:	150 FT.	193.42 FT.

MINIMUM YARD DIMENSIONS	REQUIRED	EXISTING
FRONT:	40 FT.	189.2 FT.
SIDE:	25 FT.	23.3 FT.
REAR:	25 FT.	436 FT.

MAXIMUM BUILDING LOT COVERAGE (NOT TO EXCEED 25%):

EXISTING BUILDINGS:	SF
DWELLING	1897 SF
BARN	1980 SF
SHED	220 SF

EXISTING TOTAL: 4,097 SF  
EXISTING COVERAGE: 4,097 SF/168,886 SF = 2.42%

IMPERVIOUS COVERAGE:

EXISTING DWELLINGS (MAIN HOUSE, BARN (CONVERT TO B&B), SHED)	4,097 SF/168,886 SF = 2.42%
EXISTING PACKED AND IMPERVIOUS AREAS (DRIVES, WALKS, PARKING)	13,896 SF/168,886 SF = 8.22%
TOTAL	13,896 SF + 4,097 SF = 17,993/168,886 SF = 10.64%

MAXIMUM STRUCTURE DIMENSIONS	REQUIRED	EXISTING
EXIST. BARN (PROP. B&B) HEIGHT:	30 FT.	22 FT.
EXIST. DWELLING STRUCTURE:	30 FT.	28 FT.
EXIST. SHED	30 FT.	14 FT.
PROPOSED POOL HOUSE:	30 FT.	14 FT.

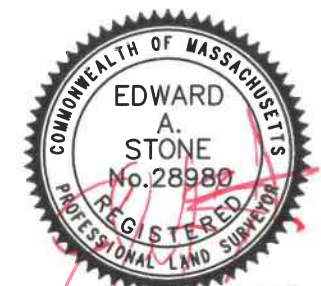
  

MINIMUM DRIVEWAY SETBACKS:	REQUIRED	EXISTING
	5 FT.	6 FT.

GRAPHIC SCALE



( IN FEET )  
1 inch = 60 ft.



2.6.23



## MACINNES CONSULTING, LLC

PO Box 1182, East Sandwich, MA 02537

(508) 274-2091

shawn@macinnesconsulting.com

February 28, 2023

Peter T. Lomenzo, Jr.  
Gibson Sotheby's International Realty  
563 Route 6A  
Dennis Village, MA 02638

RE: Brewster Minor Stormwater Permit  
61 & 63 A.P. Newcomb Road  
Brewster, MA

Dear Mr. Lorenzo,

In reference to the Town of Brewster Minor Stormwater Permit application dated February 23, 2023, and in accordance with the proposed and existing impervious coverage specified on the site plans, the proposed post development conditions will not exceed the pre-development peak stormwater discharge in terms of peak rate.

If you have any questions or require additional information, please feel free to contact me any time. If you would like to proceed, please sign two copies and return one copy back to me.

Sincerely,



Shawn MacInnes, P.E.

**REVISED PLANNING BOARD APPLICATION FORMS**



Planning Board  
Town Offices- 2198 Main Street  
Brewster, Massachusetts  
02631-1898  
(508) 896-3701 x 1133  
brewplan@brewster-ma.gov

## Attachment

### Chapter 179 (Zoning) Planning Board Application Required Submission Materials Checklist

To be considered complete, an application shall include the materials and information listed below, as deemed applicable, necessary or material to a given case by the Planning Board.

- The Planning Board may waive or modify submission requirements (except review fees) in light of the specific circumstances presented in a given case.
- The Planning Board may require additional, revised or supplemental information, as necessary, during its review of an application.
- Note, applicants are not required to handle noticing. As applicable, Planning Department Staff obtains the certified abutters list and handles abutter and newspaper notifications.
- Twelve (12) hard copies of all materials are required to be submitted (including any supplemental or revised materials that might be provided through the course of review).
- One (1) electronic copy of all materials is required to be submitted (including any supplemental or revised materials that might be provided through the course of review).
- Twelve (12) hard copies of Site and Building Plans must be provided at a minimum size of 11"x17", with one (1) hard copy at a minimum size of 18"x24"; electronic copies of plans must be digital not scanned copies.

Referral from Building Commissioner to Planning Board for the zoning relief/ approval requested.

Owner's Authorization or equivalent, as applicable.

Filing Fee per current Planning Board Fee Schedule, with check made to "Town of Brewster."

Project Narrative, including a description of existing site conditions, a description of the project and proposed site conditions, reference to applicable sections of the Zoning Bylaw and discussion about consistency with the applicable standards and criteria for approval set out in the Zoning Bylaw.

As applicable, information about Staff Review undertaken for the project pursuant to Brewster Code Chapter 83.

A site plan or plan set of existing and proposed site conditions, stamped by a professional land surveyor licensed in Massachusetts, showing the following information:

- Plan Title, name and address of applicant and person responsible for preparation
- North arrow and scale- minimum scale 1" = 40'
- Boundaries of property plotted to scale
- Plan preparation date and any revision dates
- Plan Notes regarding record title and plan information for locus and for abutting properties
- Tax Map and Parcel and Owner Identification for locus and abutting properties
- Ruled box for Board signature and date, as applicable for site plan review
- Lot area by square foot and acreage
- Zoning Compliance Table
  - Proposed, existing and required dimensional criteria for locus
  - Zoning District classification for locus, including any overlays

- Zoning District boundaries
  - Parking information
  - Location and dimensions of site buildings and structures including setback distances
  - Location and design of site parking and loading areas
    - Delineation of both regular and handicapped spaces
    - Delineation of reserved parking areas, as applicable
    - Surface materials and striping/ design details
  - Location and design of other site improvements including
    - Walkways and sidewalks
    - Refuse storage and disposal
    - Stormwater Management Facilities
    - Retaining walls and fences
    - Outdoor storage or other outdoor use areas, if any
    - Exterior lighting
    - Driveways and curbcuts
    - Water courses, water bodies, wetlands, wetland buffer zones, and other natural features or resource mappings for the site
  - Flood Zone identification/ boundaries
  - Historic District boundaries
  - Location of wells and/or septic systems on-site
  - Utilities available to the site, including municipal water
  - Record rights-of-way affecting the site
  - Site topography and grading
- Stormwater Management and Hydrologic Report stamped by a professional engineer licensed to practice in Massachusetts:
- Watershed Plan, Treatment Train and Routing Diagrams;
  - Design and location of Stormwater Management Facilities and Structural BMPs
  - Recharge and peak discharge calculations for 2-, 10-,25- and 100-year, 24-hour storm events
  - Site soils identification
  - Water quality treatment calculations
  - BMP Operation & Maintenance Manual
  - Erosion and Sedimentation Control Plan
- Landscape site plan including:
- Calculation of proposed green space
  - Location, size and type of shade trees and other vegetation
  - Irrigation information
  - Notes about maintenance
  - Existing treeline, including specific identification of trees more than four (4) inches in diameter on-site and as might be located in road rights-of-way
- Architectural rendering, elevation and floor plans- minimum scale ¼"= 1', stamped by design professional licensed to practice in Massachusetts
- Lighting (photometric) site plan, cut sheets and specifications, including fixture mount heights
- Any other information or materials as might be required in the particular section(s) of the Zoning Bylaw relevant to the application



Town of Brewster  
Planning Board  
Ch. 179 Application Cover Sheet

**FOR TOWN OFFICIAL USE ONLY**

**TOWN CLERK RECEIVED:**

**PERMIT NUMBER ASSIGNED:**

Project Location:

Street Address

Assessors Map(s) and Parcel(s)

Deed/ Title Reference

Zoning District(s)

Applicant:

Name

Mailing Address

Phone Number

Email Address

Property Owner (if different than Applicant):

Name

Mailing Address

Phone Number

Email Address

Professional Representative:

Name

Mailing Address

Phone Number

Email Address

Type of Application (Check as applicable):

- Special Permit  
(Zoning Bylaw Section 179-51 or list other or different Zoning Bylaw Sections, as applicable, below)
- Site Plan Review (Zoning Bylaw Section 179-63)
- Decision Modification (Provide relevant case number/s below)
- Decision Extension (Provide relevant case number/s below)
- Other (List Zoning Bylaw Section/s below)

Brief Project Description: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Signatures

\_\_\_\_\_  
Applicant Date

\_\_\_\_\_  
Property Owner (if different than Applicant) Date

\_\_\_\_\_  
Professional Representative (as applicable) Date

*If the Applicant is not the Owner, the Application materials shall include the Owner’s written consent or authorization to make application, or evidence that the Applicant’s interest in the property is sufficient to make application (e.g. lease, P&S Agreement, etc.).*

*The burden is on the applicant to provide accurate, sufficient and complete information in the application. Attached is a checklist of materials and information required to be submitted for a complete application. Incompleteness could be cause for delays in review or denial of an application.*

*By making application, the Owner and Applicant hereby authorize the Planning Board and its agents to conduct site visits, at reasonable times, to assist in review of the application.*

*Please refer to current Planning Board schedule for application filing deadlines and associated meeting dates. The Board will make best efforts to work within this filing schedule but is not obligated to do so; the Board’s review timelines are established under the Brewster Code and Massachusetts General Laws. In its discretion, the Board may agenda matters, which do not require public hearings, for the next available meeting even if received after the respective filing deadline.*

**Submit to: Brewster Planning Department  
Town Offices- 2198 Main Street  
Brewster, Massachusetts 02631-1898  
(508) 896-3701 x 1133  
brewplan@brewster-ma.gov**



# **STORMWATER MANAGEMENT BY THE NUMBERS**

2022 STORMWATER MANAGEMENT PERMITS

DATE OF RECEIPT	PERMIT #	PERMITTEE	ADDRESS	MAP	PARCEL	TYPE	STATUS	DATE OF ISSUANCE
<b>CONSERVATION</b>								
3/4/2022	SWMC#2022-01	Peter Lombardi, Town Administrator	0 Long Pond Landing	61	26	Major site improvements	Approved	
3/24/2022	SWMC#2022-02	Griffin Ryder, Town of Brewster	3057 Main Street	8	8	Minor beach parking lot	Approved	4/27/2022
4/5/2022	SWMC#2022-03	23 Dune Road LLC	23 Dune Road	79	30	Minor pool, pool building, patio	Approved	4/29/2022
<b>PLANNING</b>								
6/21/2022	SWMP#2022-01	Gerry Filippatos	303 Red Top Road	14	35	Minor swimming pool, related site work	Approved	7/11/2022
8/17/2022	SWMP#2022-02	Michael Lach	178 Governor Bradford Road	95	136	Minor building addition, related site work	Approved	8/22/2022
8/17/2022	SWMP#2022-03	John McCarthy	99 Scarborough Road	83	56	Minor swimming pool, building additions, related site work	Approved	8/22/2022

2022 STORMWATER MANAGEMENT PERMITS

DATE OF RECEIPT	PERMIT #	PERMITTEE	ADDRESS	MAP	PARCEL	TYPE	STATUS	DATE OF ISSUANCE
9/29/2022	SWMP#2022-04	Adeline Carrie Koscher	178 Tracy Lane	51	41	Minor building addition	Approved	10/4/2022
10/11/2022	SWMP#2022-05	Jesse Otis	94 Old Chatham Road	86	49	Minor swimming pool and patio	Approved	10/12/2022
10/26/2022	SWMP#2022-06	Kathleen Weatherby	220 Long Pond Road	66	113	Minor detached accessory building	Approved	10/28/2022
11/2/2022	SWMP#2022-07	Pause A While	250 Underpass Road	2	77	Major parking lot	Withdrawn	
11/2/2022	SWMP#2022-08	Julius Smith	0 South Orleans Road	142	9	Major single family dwelling, deatched garage, grading	Approved PB Meeting 12/14/22	
11/3/2022	SWMP#2022-09	Joshua Michniewicz	176 Commons Way	97	80	Minor swimming pool, patio, building addition	Approved	2/2/2023
11/3/2022	SWMP#2022-10	Larry and Cindy DeArruda	112 Paddock Way	47	45	Minor detached accessory building	Approved	11/3/2022



2023 STORMWATER MANAGEMENT PERMITS

DATE OF RECEIPT	PERMIT #	PERMITTEE	ADDRESS	MAP	PARCEL	TYPE	STATUS	DATE OF ISSUANCE
<b>CONSERVATION</b>								
3/21/2023	SWMC2023-01	The Free Sea Turtle, LLC and 162 Underpass Road, LLC	162 Underpass Road	77	9	Major site clean up and grading	Approved CC Meeting 3/28/23	
<b>PLANNING</b>								
1/26/2023	SWMP2023-01	Lisa Mullin	Lot 3, Tubman Road	55	142-3	Major single family dwelling	Approved PB Meeting 2/8/23	
1/26/2023	SWMP2023-02	Pause A While	250 Underpass Road	77	2	Major parking area with 14 spaces	Approved PB Meeting 2/22/23	
1/27/2023	SWMP2023-03	Eastward MBT LLC	724 Long Pond Road	75	21	Major driveway	Withdrawn at PB	
1/27/2023	SWMP2023-04	Eastward MBT LLC	736 Long Pond Road	75	20	Major single family dwelling, site improvements	Approved PB Meeting 2/22/23	
2/22/2023	SWMP2023-05	Michael & Corrine Denucci	Lot 61, Blueberry Pond Drive	89	38	Major single family dwelling	Approved PB Meeting 3/8/23	
3/1/2023	SWMP2023-06	Remington's Trust	61-63 AP Newcomb Road	25	75	Minor swimming pool, patio, site improvements	Approved	3/8/2023



**DRAFT MEETING MINUTES DATED MARCH 8, 2023**



**Brewster Planning Board**  
**2198 Main Street**  
**Brewster, MA 02631-1898**  
**(508) 896-3701 x1133**  
**brewplan@brewster-ma.gov**  
**BREWSTER PLANNING BOARD**  
**MEETING MINUTES**  
**Wednesday, March 8, 2023 at 6:30 pm**  
**Brewster Town Office Building**

**Approved:**  
**Vote:**

Chair Madalyn Hillis-Dineen convened a meeting of the Planning Board at 6:31 pm with the following members participating: Amanda Bebrin, Charlotte Degen, Tony Freitas, Rob Michaels, Elizabeth Taylor, and Alex Wentworth. Also participating: Jon Idman, Town Planner, and Lynn St. Cyr, Senior Department Assistant. Hillis-Dineen declared that a quorum of the Planning Board was present. She read the Meeting Participation Statement and Recording Statement.

**6:34 PM CITIZEN'S FORUM**

No citizen comments.

**6:35 PM PUBLIC MEETING**

**Approval Not Required, Case No. 2023-03:** Applicant/Owner: 178 Bonnie Doone Cartway, LLC through its representative John M. O'Reilly, P.E., P.L.S. of J.M. O'Reilly & Associates, Inc., seeks endorsement of an Approval Not Required Plan for property located at 178 Bonnie Doone Cartway and shown on Tax Map 102, Parcel 13, within the Residential Medium Density (R-M) Zoning District. The plan is pursuant to MGL c. 41 §81L and §81P and §290-4 of the Brewster Subdivision Rules and Regulations.

**Documents:**

- 01/30/23 Approval Not Required Plan
- 02/16/23 Approval Not Required Application
- 02/22/23 Memorandum from Jon Idman
- 03/06/23 Memorandum from the Ten Lots Association, Inc. Board of Directors with referenced ZBA decisions

Attorney Ben Zehnder was present on behalf of the Applicant 178 Bonnie Doone Cartway, LLC. The Applicant attended remotely. Zehnder stated that the property includes 4 dwellings and the purpose of the ANR application is to create 2 zoning compliant lots. Each lot meets the upland requirements to have 2 dwellings. Each lot meets the frontage requirement of 150'.

Bebrin asked Idman if the Planning Board needs to act on the memorandum submitted by the Ten Lots Association. Idman responded that an ANR is administrative and the Planning Board's review should consider whether the lots meet the required frontage. Idman noted that the memorandum argues that because there is a condition in the Zoning Board of Appeals (ZBA) decision allowing only 1 driveway to the property, it could mean the southerly lot does not have the necessary frontage. Idman stated that he believes that physical/legal access to the property still exists with the zoning condition. The appropriate remedy to deal with zoning issues is through the Building Commissioner or possibly the Zoning Board of Appeals.

Michaels noted that the authors of the memorandum seemed to be indicating that the ZBA decision does not allow for 2 driveways on this property. Idman responded that he believed the memorandum was asking if the ZBA decision created a legal impediment to accessing the land and he does not believe there is such an impediment. Michaels also stated that if a road was constructed it may have to be built through a wetland and asked if that is something the Planning



Board should consider. Idman stated that there is case law that states that if an area is impassable, you may choose not to endorse an ANR plan, but he does not believe those circumstances exist here.

Idman stated that he did speak with Mr. Wilson, who authored the memorandum, to discuss the issues raised. Mr. Wilson may have valid issues but the forum for those issues is not during the review of the ANR application. Hillis-Dineen announced that the memorandum from the Ten Lots Association referenced during the meeting is available for review as part of the supplemental meeting packet on the Town's website.

**Motion by Degen to Endorse Approval Not Required, Case No. 2023-03. Second by Bebrin. Vote: 7-0-0.**

**6:47 PM PUBLIC MEETING CONTINUED**

**Case No. 2023-04:** Applicant/Owner: Town of Brewster through its representative Griffin Ryder, Director of the Department of Public Works, requests certain modifications to requirements under Brewster Zoning Bylaw Chapter 179-23 related to proposed parking for the community pool located at 3057 Main Street, "The Bay Property", and shown on Tax Map 101, Parcel 45 within the Residential Medium Density (R-M) Zoning District.

**Documents:**

- 02/28/23 Memorandum from Griffin Ryder
- 02/28/23 Conceptual Temporary Parking Layout
- 02/28/23 Impervious Area Calculations
- 02/28/23 Stormwater Calculations

Griffin Ryder, Director of the Department of Public Works (DPW), was present. Ryder reviewed the proposal for temporary pool parking at the Bay Parcel. Ryder stated that there are no required permits needed from the Planning Board for this project which includes constructing 2 temporary parking areas within the confines of tennis courts near the pool and arts center. Ryder is requesting minor relief from 2 dimensional requirements in the zoning bylaw to construct the parking areas in a way that minimizes work, maximizes parking, and creates the most appropriate circulation and parking space size. Ryder requested relief from the required width of a drive aisle which is 24'. He further stated that the zoning bylaw is silent on whether the 24' drive aisle is proposed for 1- or 2-way traffic. The Bay Parcel parking project is designed for 1- way traffic. He is requesting the Planning Board allow a 22' drive aisle. Ryder stated that he is also requesting to reduce the length of the parking spaces along the perimeter of the parking lot to 18' from 20'. The 10' width for parking spaces will be maintained. There will be curb stops for the perimeter parking spaces.

Ryder further stated that this project does not require staff review but as a matter of course the DPW will be working with the Police and Fire Departments on this project. If the Planning Board approves the dimensional relief requested, a turning movement diagram will be provided to the Fire Department for review. Ryder noted that in addition to the 32 parking spaces proposed on the tennis courts, there are 4 accessible parking spaces near the pool. Those spaces are currently compacted gravel and will be paved and have appropriate striping that leads to the sidewalk to the pool. It is possible that the 32 spaces will be reduced to 31 spaces to provide striping for a drop off area close to the pool. An entrance and exit drive will be created which will add additional impervious area. Additionally, a short section of the roadway will be widened to allow for 2-way traffic. Although impervious area will be added with this project, impervious areas around Building 30 have been removed. There is more impervious area being removed than added and the land disturbance does not meet the threshold to require a stormwater permit. A vegetated stormwater swale is proposed to provide extra treatment for stormwater and extra volume for storm events.

Michaels asked whether a 22' drive aisle will be sufficient to handle bikes and cars. Ryder responded that speed bumps and narrow roads help control speed so he does not think there will be a problem with bike safety, but they will watch the situation to see how it works. Last year, there were several bikers going to the beach and there were no issues with sharing the road.

Bebrin stated that she is a member of the Bay Parcel Planning Committee and she reached out to the state Ethics Commission about her roles on two boards/committees. She was told that representing the Town's best interests on both does not pose a conflict of interest. She believes she can handle review of this request fairly and impartially. Bebrin stated that this is a temporary parking area. An appropriation was made at Fall Town Meeting for a permanent parking area but on the advice of their consultant the Town has decided to proceed with the temporary parking plan. She noted that at this time the Town is unsure of what the demand for the pool will be so any relief granted is temporary and there will be further planning for permanent parking. Bebrin further noted that the Bay Parcel Planning Committee requested 1-way circulation in the parking lot for separation between cars and people going to the pool.

**Motion by Degen to Approve Requested Modifications to Parking Space Length and Drive Aisle Width for Case No. 2023-04. Second by Taylor. Vote: 7-0-0.**

#### **7:02 PM PUBLIC MEETING CONTINUED**

**Major Stormwater Management Permit, Case No. 2023-05:** Applicant/Owner: Michael and Corrine Denucci through their representative John M. O'Reilly, P.E., P.L.S. and Matt Farrell, EIT of J.M. O'Reilly & Associates, Inc., has submitted a major stormwater permit application for property located at 0 Blueberry Pond Drive and shown on Tax Map 89, Parcel 38, pursuant to Brewster Town Code Chapter 272 and its accompanying Regulations.

#### **Documents:**

- 02/14/23 Stormwater Management Report and Operations & Maintenance Manual with HydroCAD Report
- 02/22/23 Stormwater Management Permit Application including 02/14/23 Watershed Sketch Plan, 02/14/23 Site & Sewage Disposal Plan, and 02/17/23 Existing Conditions Plan
- 02/28/23 Staff Report

Matt Farrell, EIT of J.M. O'Reilly & Associates, Inc., was present on behalf of the Applicant Michael and Corrine Denucci. Farrell stated that the subject property is a vacant lot of 46,549 SF. The Applicant proposes a single-family dwelling with 4 bedrooms, driveways, and grading. There are 2 drainage systems which were designed using best management practices under the MA Stormwater Handbook and Brewster stormwater regulations. One system was designed to handle the front yard and driveway areas and the other will handle the rear yard and roof runoff from the dwelling. The systems were designed to meet a 100-year storm event. The TSS (93%) and phosphorus (60%) removal requirements are being met.

Bebrin stated that she visited the site and noted the steep pitch in the back yard. She stated that the vegetated swale will be useful. Michaels asked for clarification as to the location of the 2 catch basins on Blueberry Pond Drive. There is a catch basin in the front yard and one across the street from the property. Farrell stated that there will be wattles surrounding the catch basins during construction. Degen noted that there is already build up around one of the basins so maintenance will be key.

**Motion by Bebrin to Approve Major Stormwater Management Permit, Case No. 2023-05, subject to the Conditions Required by the Stormwater Management Regulations. Second by Michaels. Vote: 7-0-0.**

#### **7:08 PM APPROVAL OF MEETING MINUTES**

Approval of Meeting Minutes: February 22, 2023.

The Board reviewed the February 22, 2023 meeting minutes. **Motion by Bebrin to Approve February 22, 2023 Meeting Minutes. Second by Degen. Vote: 7-0-0.**

#### **7:09 PM COMMITTEE REPORTS**

Michaels summarized a recent meeting of the Water Quality Review Committee which included review of a solar project on Freeman's Way and clarification on fertilizer use at Dream Day. Degen summarized a recent meeting of the Select Board including discussion on moving Town Meeting to Saturday, review of the Technical School's budget, review of

warrant articles, and presentation of subscriptions for the Bay Property swimming pool. Taylor stated that the Open Space and Recreation Plan has been approved. Taylor encouraged everyone to go to the Association to Preserve Cape Cod (APCC) website and review reports regarding natural resource assessment and the current state of Cape waters. Hillis-Dineen summarized a recent Affordable Housing Trust meeting which included a report on the Millstone Road housing development and approval of rehabilitation funds for homes in town.

**7:15 PM FOR YOUR INFORMATION**

The Planning Board received a memorandum from Griffin Ryder, DPW Director, regarding the Massachusetts Department of Transportation Winter Recovery Assistance Program. They also received information on the 6<sup>th</sup> annual Lower Cape Housing Institute on March 14<sup>th</sup> and information on “Hanging in the Balance” a report by APCC which Taylor spoke about earlier in the meeting. The Planning Board also received a public hearing notice from the Harwich Planning Board for March 14<sup>th</sup>.

**7:16 PM MATTERS NOT REASONABLY ANTICIPATED BY THE CHAIR**

Idman stated that public comments and department comments should be handled in the same manner for each application. It is not necessary to read the comments into the record in their entirety. The Planning Board may wish to acknowledge receipt of the comments and let the public know the comments are available to view in the public meeting packet. Idman also stated that DPW Director Griffin Ryder is available to attend a Planning Board meeting in April to discuss the review of stormwater management permit applications and what the Planning Board may want to focus on in their review of these applications.

The Planning Board will also begin to discuss the ADU section of the zoning bylaw. Staff plans to kickoff discussions with the Planning Board in the next month and will provide their observations including comments and feedback received from Brewster residents and other organizations. If after discussion, the Planning Board chooses to move forward with amendments, Fall Town Meeting would be targeted for those amendments.

**Motion by Bebrin to Adjourn. Second by Michaels. Vote: 7-0-0.**

**Meeting adjourned at 7:23 PM. Next Planning Board Meeting Date: March 22, 2023**

Respectfully submitted,

---

Lynn St. Cyr, Senior Department Assistant, Planning

# **FOR YOUR INFORMATION**

# J.M. O'Reilly & Associates, Inc.

Engineering & Land Surveying Services  
1573 Main Street, 2nd Floor, P.O. Box 1773  
Brewster, MA 02631  
(508) 896-6601  
Fax (508) 896-6602

# LETTER OF TRANSMITTAL

TO:

Interested Parties  
(list attached)

DATE:

03/30/2023

JOB NUMBER:

9356

REGARDING:

Map 35 / Parcel 34

Locus: 120 Run Hill Road  
Brewster, MA

Owner: Kenneth and Amy Rubin

DEP Waterways Application # 23-WW-PRE-0028-APP

**Shipping Method:**

Regular Mail	<input type="checkbox"/>	Federal Express	<input type="checkbox"/>
Certified Mail	<input checked="" type="checkbox"/>	UPS	<input type="checkbox"/>
Priority Mail	<input type="checkbox"/>	Pick Up	<input type="checkbox"/>
Express Mail	<input type="checkbox"/>	Hand Deliver	<input type="checkbox"/>

COPIES	DATE	DESCRIPTION
1	3/31/23	Legal Ad (To Be Published 3/31/2023)
1	3/28/23	Dock Plan

**RECEIVED**  
  
APR - 4 2023  
  
BREWSTER PLANNING BOARD  
ZONING BOARD OF APPEALS

For review and comment:

For approval:

As Requested:

For your use:

**REMARKS:**

cc: John M. O'Reilly, P.E., P.L.S.

**From:** John O'Reilly/ak

If enclosures are not as noted, kindly notify us at once

**Brewster Board of Selectmen  
2198 Main St.  
Brewster, MA 02631**

**Brewster Planning Board  
2198 Main St.  
Brewster, MA 02631**

**Brewster Zoning Board  
2198 Main St.  
Brewster, MA 02631**

**Brewster Conservation Commission  
1657 Main St.  
Brewster, MA 02631**

**MA DEP (SERO)  
Waterways Regulation Program  
20 Riverside Drive  
Lakeville, MA 02347**

**MassDEP Waterways Program  
1 Winter St., 5<sup>th</sup> Floor  
Boston, MA 02108**

**Abutter 1:**

**Abutter 2:**

**Owner:**

**Kenneth & Andrea Levin, Trustees  
96 Run Hill Rd Realty Trust  
15 Walden Street  
Newtonville, MA 02460**

**Paul & Carol Alt  
140 Run Hill Rd.  
Brewster, MA 02631**

**Kenneth & Amy Rubin  
65 Perrine Pike  
Hillsborough, NJ 08844**

**PUBLIC NOTICE**

**DEPARTMENT OF ENVIRONMENTAL PROTECTION  
WATERWAYS REGULATION PROGRAM**

**Notice of Simplified License Application pursuant to M.G.L. Chapter 91  
23-WW-PRE-0028-APP**

**NOTIFICATION DATE: March 31, 2023**

**PERMITTEE: Kenneth and Amy Rubin**

**PROJECT SITE ADDRESS: 120 Run Hill Road, Brewster**

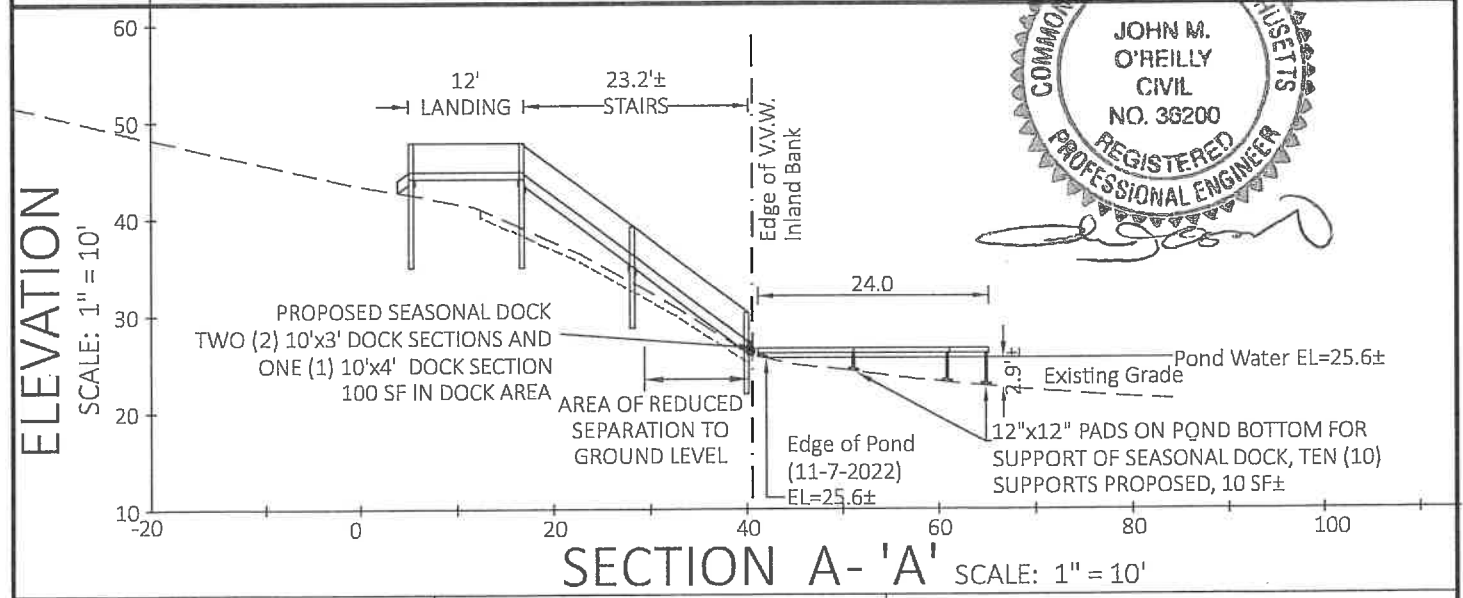
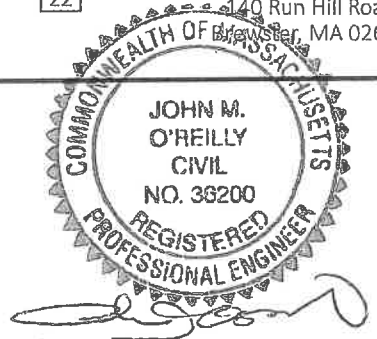
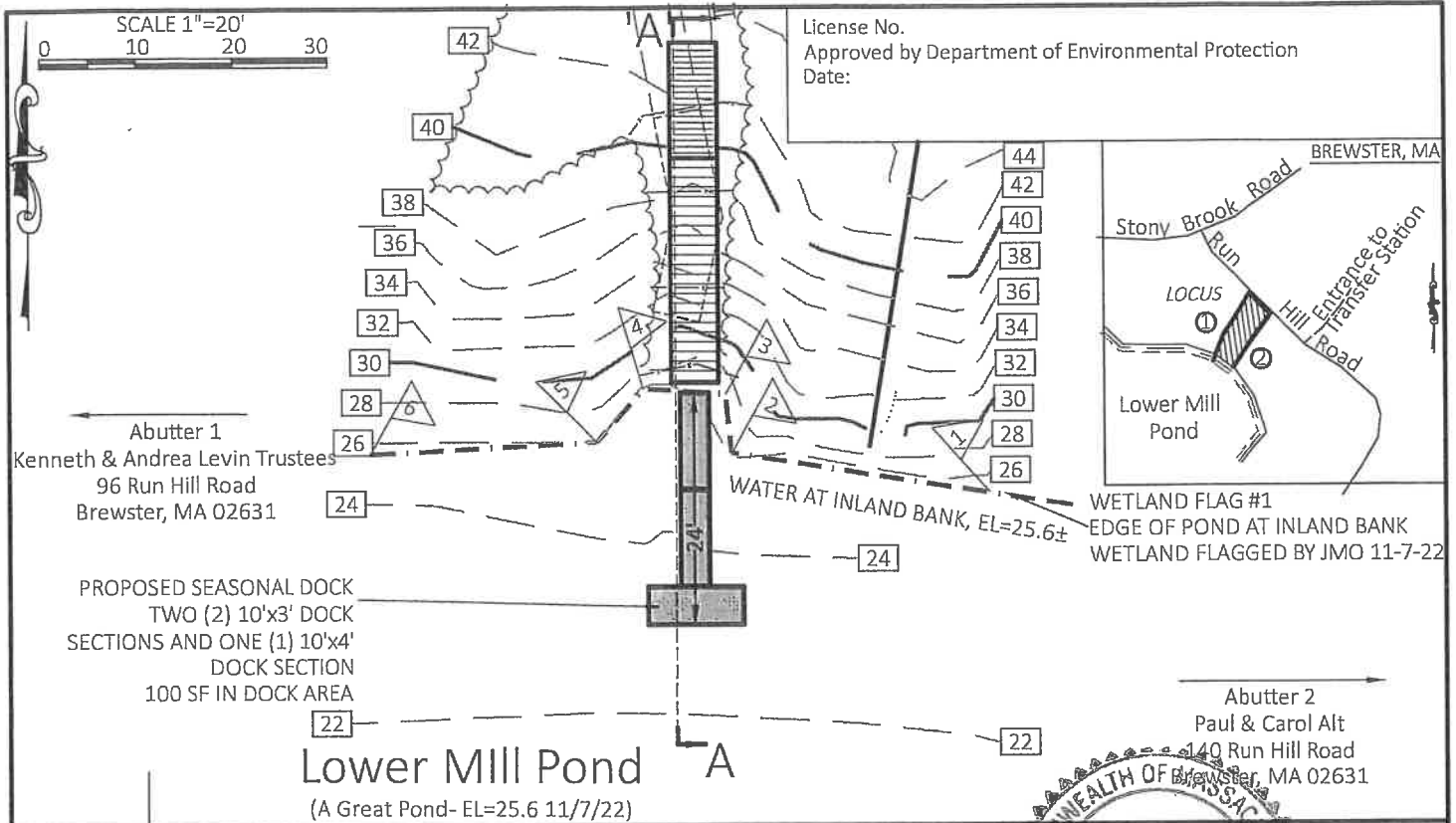
Public notice is hereby given of the application for a Chapter 91 Simplified License by Kenneth and Amy Rubin to construct/maintain a seasonal dock in the waters of Lower Mill Pond at 120 Run Hill Road, Brewster, Barnstable County.

***The Department will consider all written comments on this Waterways application received by within 30 days of the "Notification Date".*** Failure of any aggrieved person or group of ten citizens or more to submit written comments to the Waterways Regulation Program will result in the waiver of any right to an adjudicatory hearing in accordance with 310 CMR 9.13(4)(c). The group of citizens must include at least five citizens who are residents of the municipality in which the proposed project is located.

Project plans for this Waterways application are on file for public viewing electronically, by request to [dep.waterways@mass.gov](mailto:dep.waterways@mass.gov). If you do not have access to email, please leave a voicemail at (617) 292-5929 and you will be contacted with information on alternative options.

It is recommended that public comments be filed electronically with [dep.waterways@mass.gov](mailto:dep.waterways@mass.gov) when possible. Alternatively, comments may be mailed to the Waterways Regulation Program at: 1 Winter Street, 5<sup>th</sup> Floor, Boston, MA 02108.

Pub. Date: March 31, 2023



<p>Purpose: Simplified Licensing</p> <p>ABUTTERS: 1.) Kenneth &amp; Andrea Levin Trustees 96 Run Hill Road 2.) Paul &amp; Carol Alt 140 Run Hill Road</p>	<p>Plan accompanying petition of: <b>KENNETH &amp; AMY RUBIN</b> 65 PERRINE PIKE, HILLSBOROUGH, NJ 08844</p>	<p>Project Description: Install and Maintain Seasonal Dock</p> <p>In: Lower Mill Pond</p> <p>At: 120 Run Hill Road, Brewster, MA</p> <p>County: Barnstable</p> <p>State: MA</p> <p>Sheet: 1 of 1      Date: 3-28-2023</p>
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Lynn St. Cyr

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**From:** Massachusetts Office of the Inspector General <ma-igo-training@mass.gov>  
**Sent:** Monday, April 3, 2023 1:35 PM  
**To:** brewplan  
**Subject:** Boards and Commissions: Know Your Responsibilities



## Greetings from the MCPPO Program!

Are you looking to understand the responsibilities of being a board member? We will be presenting our Boards and Commissions: Know Your Responsibilities training on **Thursday, April 20, 2023** (9:00 a.m. - 12:00 p.m.).

This 3-hour webinar is essential for every member of a public governing board, commission, committee or authority, as well as for public officials who regularly interact with public boards. Attendees will learn about some of the tools needed to successfully conduct public board activity, oversee their organizations, and ensure public money is spent appropriately. This training includes an overview of fiduciary duty, board responsibilities, the public records law, and the open meeting law. Register today.

**When:** Thursday, April 20, 2023

**Where:** Online platform

**Time:** 9:00 a.m. - 12:00 p.m.

**Cost:** \$15

**Credits:** Non-credit training

If you are interested in attending any of our classes, you may register online. If you have any MCPPO-related questions, please contact us at MA-IGO-Training@mass.gov.

Please check our website periodically for updates as the class schedule may change and we will be adding new class sessions, class locations and additional webinars throughout the year. We look forward to your participation!

Your friends at the MCPPO program.

HARWICH PLANNING BOARD  
PUBLIC HEARING NOTICE

The Harwich Planning Board will hold public hearings beginning no earlier than **6:30 PM, Tuesday, April 11, 2023** in the Don B. Griffin Room, Town Hall, 732 Main Street, Harwich, MA 02645 to consider the following matters. Any member of the public is invited to attend and provide comments to the Board. Written comments may also be submitted to the Board prior to the hearing by mailing them to the Planning Department, Town Hall, 732 Main Street, Harwich, MA 02645 or by emailing them to the Planning Assistant, Shelagh Delaney, at [sdelaney@town.harwich.ma.us](mailto:sdelaney@town.harwich.ma.us).

**Case # PB2023-11 Paul Sweetser**, Agent for Dewitt P. Davenport, Tr. is requesting a Special Permit for a Two-Family Use in order to construct a duplex with two 2-bedroom units. The application is pursuant to the Code of the Town of Harwich §325-51N and MGL CH 40A sec 9. The property is located at 958 Orleans Rd., Assessor's Map 51, Parcel S9 in the Residential Rural (RR) Zoning District.

**Case # PB2023-12 Karen & George Oliver of Oliver Homes, LLC, through their agent, Kent Drushella** have applied for a Special Permit for an Alternate Access driveway. The application is pursuant to the Code of the Town of Harwich §325-18 K and MGL c. 40A Section 9. The property is located at 86 Miles St., Assessor's Map 14 Parcel B9. The property is located in the Residential Low (RL) Zoning District.

Documents and plans related to these applications may be viewed on the Planning Board's home page: [www.harwich-ma.gov/planning-board](http://www.harwich-ma.gov/planning-board) and are on file with the Town Clerk and may be viewed at the Planning Department, Town Hall, 732 Main Street, Harwich, MA 02645 during regular Town Hall hours. For additional information contact the Planning Assistant, Shelagh Delaney, at [sdelaney@town.harwich.ma.us](mailto:sdelaney@town.harwich.ma.us).

Duncan Berry, Chair

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Cape Cod Chronicle Print Dates: March 23 and March 30, 2023

RECEIVED

MAR 27 2023

BREWSTER PLANNING BOARD  
ZONING BOARD OF APPEALS

# J.M. O'Reilly & Associates, Inc.

Engineering & Land Surveying Services  
1573 Main Street, 2nd Floor, P.O. Box 1773  
Brewster, MA 02631  
(508) 896-6601  
Fax (508) 896-6602

# LETTER OF TRANSMITTAL

TO:

Interested Parties  
(list attached)

DATE:

03/20/2023

JOB NUMBER:

3336B

REGARDING:

Map 89 / Parcel 58

Locus: 87 North Pond Drive  
Brewster, MA

Owner: Neal Shifman & Deborah Rau

DEP Waterways Application # 23-WW-PRE-0027-APP

**Shipping Method:**

Regular Mail	<input type="checkbox"/>	Federal Express	<input type="checkbox"/>
Certified Mail	<input checked="" type="checkbox"/>	UPS	<input type="checkbox"/>
Priority Mail	<input type="checkbox"/>	Pick Up	<input type="checkbox"/>
Express Mail	<input type="checkbox"/>	Hand Deliver	<input type="checkbox"/>

COPIES	DATE	DESCRIPTION
1 1	3/20/23	Legal Ad (To Be Published 3/24/23) Dock Plan

For review and comment:

For approval:

As Requested:

For your use:

**REMARKS:**

cc: John M. O'Reilly, P.E., P.L.S.

RECEIVED

MAR 24 2023

BREWSTER PLANNING BOARD  
ZONING BOARD OF APPEALS

From: John O'Reilly/ak

If enclosures are not as noted, kindly notify us at once

**PUBLIC NOTICE**

**DEPARTMENT OF ENVIRONMENTAL PROTECTION  
WATERWAYS REGULATION PROGRAM**

**Notice of Simplified License Application pursuant to M.G.L. Chapter 91  
23-WW-PRE-0027-APP**

**NOTIFICATION DATE: March 24, 2023**

**PERMITTEE: Neal Shifman and Deborah Rau**

**PROJECT SITE ADDRESS: 87 North Pond Drive, Brewster**

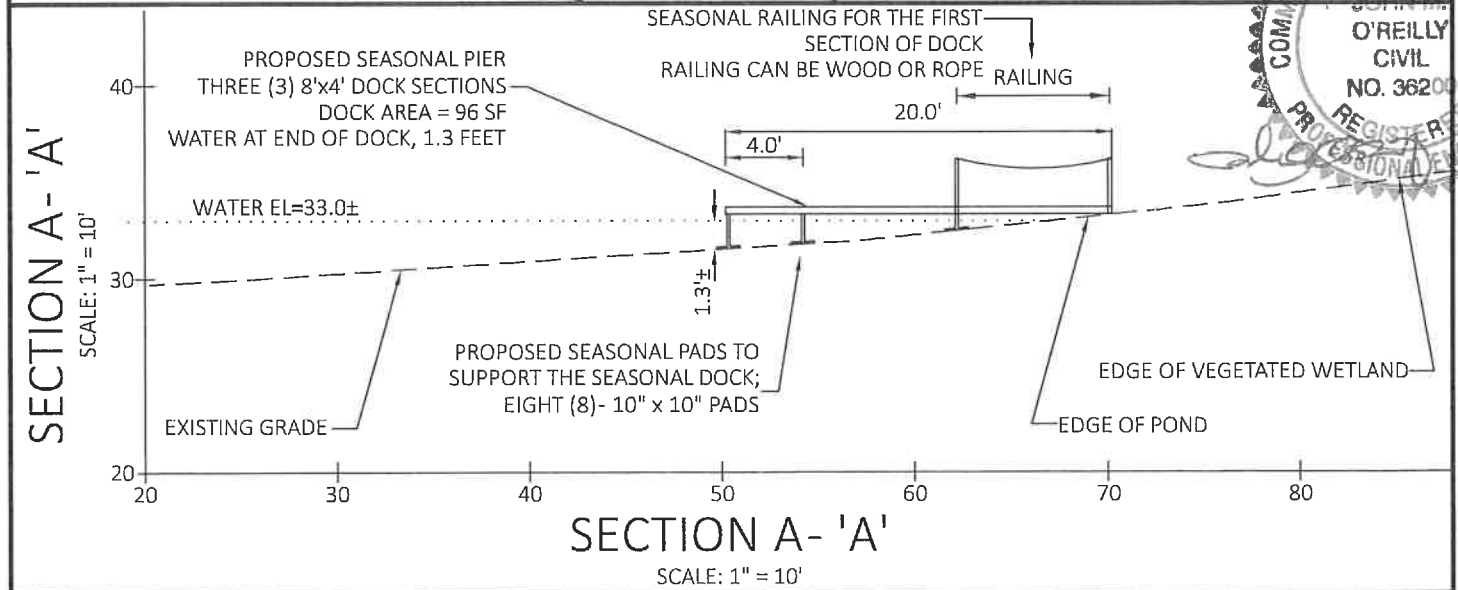
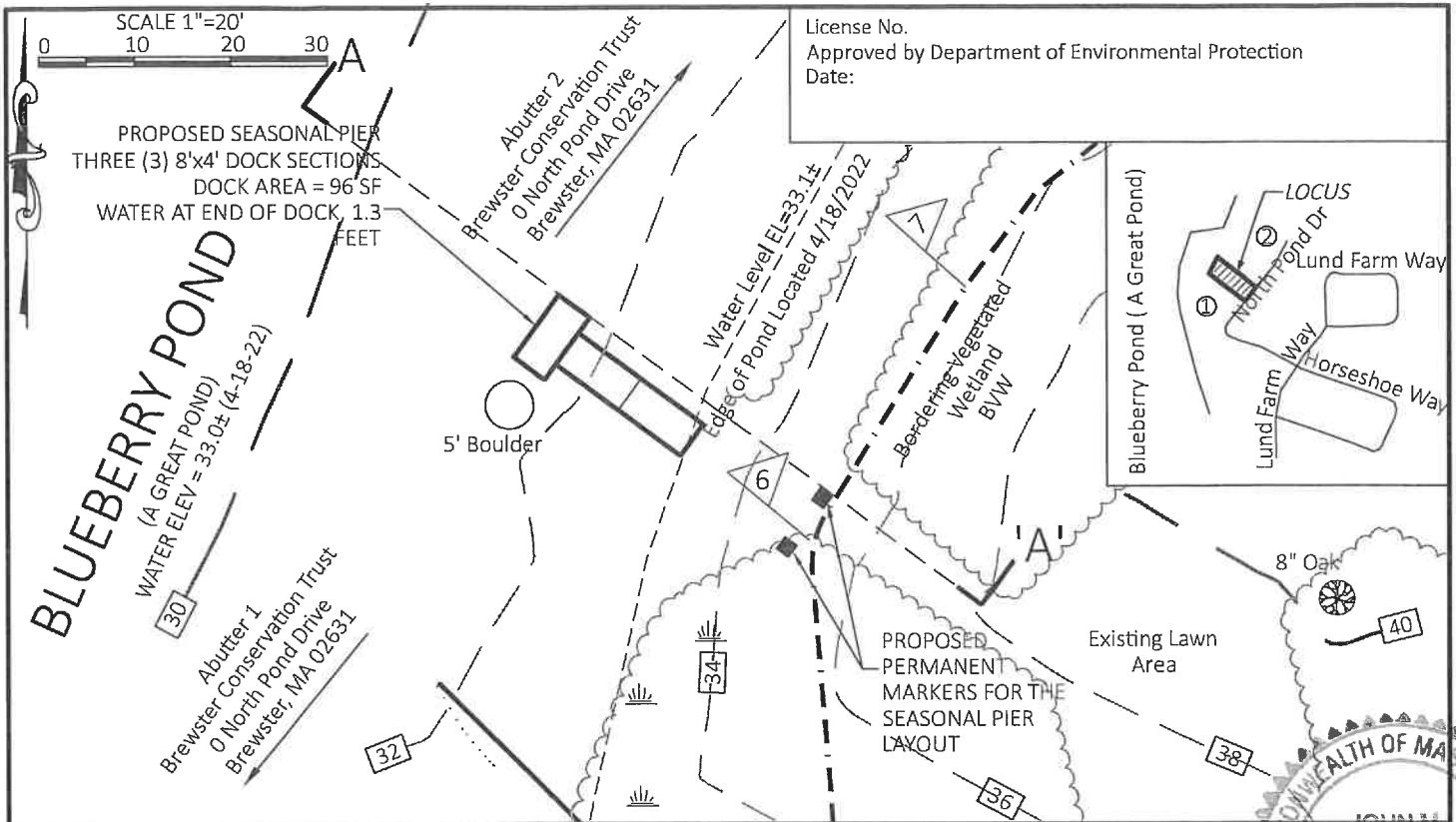
Public notice is hereby given of the application for a Chapter 91 Simplified License by Neal Shifman and Deborah Rau to construct/maintain a seasonal dock in the waters of Blueberry Pond at 87 North Pond Drive, Brewster, Barnstable County.

***The Department will consider all written comments on this Waterways application received by within 30 days of the "Notification Date".*** Failure of any aggrieved person or group of ten citizens or more to submit written comments to the Waterways Regulation Program will result in the waiver of any right to an adjudicatory hearing in accordance with 310 CMR 9.13(4)(c). The group of citizens must include at least five citizens who are residents of the municipality in which the proposed project is located.

Project plans for this Waterways application are on file for public viewing electronically, by request to [dep.waterways@mass.gov](mailto:dep.waterways@mass.gov). If you do not have access to email, please leave a voicemail at (617) 292-5929 and you will be contacted with information on alternative options.

It is recommended that public comments be filed electronically with [dep.waterways@mass.gov](mailto:dep.waterways@mass.gov) when possible. Alternatively, comments may be mailed to the Waterways Regulation Program at: 1 Winter Street, 5<sup>th</sup> Floor, Boston, MA 02108.

Pub. Date: 3/24/2023



<p>Purpose: Simplified Licensing</p> <p>ABUTTERS: 1. Brewster Conservation Trust 2. Brewster Conservation Trust</p>	<p>Plan accompanying petition of: <b>Neal Shifman &amp; Deborah Rau</b> 87 North Pond Drive, Brewster, MA 02631</p>	<p>Project Description: Install and Maintain Seasonal Dock</p> <p>In: Blueberry Pond</p> <p>At: 87 North Pond Drive, Brewster, MA 02631</p> <p>County: Barnstable</p> <p>State: MA</p> <p>Sheet: 1 of 1      Date: 3-20-2023</p>
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**Brewster Board of Selectmen**  
2198 Main St.  
Brewster, MA 02631

**Brewster Planning Board**  
2198 Main St.  
Brewster, MA 02631

**Brewster Zoning Board**  
2198 Main St.  
Brewster, MA 02631

**Brewster Conservation Commission**  
1657 Main St.  
Brewster, MA 02631

**MA DEP (SERO)**  
**Waterways Regulation Program**  
20 Riverside Drive  
Lakeville, MA 02347

**MassDEP Waterways Program**  
1 Winter St., 5<sup>th</sup> Floor  
Boston, MA 02108

**Abutter 1:**

**Abutter 2:**

**Owner:**

**Brewster Conservation Trust**  
36 Red Top Rd.  
Brewster, MA 02631

Same as 1

**Neal Shifman & Deborah Rau**  
33 Fish Lane  
Marlborough, MA 01752

## Lynn St. Cyr

---

**From:** Jill Scalise  
**Sent:** Thursday, March 23, 2023 2:06 PM  
**To:** brewplan  
**Subject:** Brewster Woods Opening. Ribbon Cutting May 9th.  
**Attachments:** Brewster Woods #30.jpg; Brewster Woods #40.jpg

Dear Ellen and Lynn, Please share this email with the Planning Board and ZBA. Thank you, Jill

Greetings,

I'm happy to share that Brewster Woods is open and all 30 affordable apartments are leased. Brewster Woods residents are enjoying their homes in Brewster and even have a Cape Cod Regional Transit Authority Bus Stop in their neighborhood. The other day there was a mom sitting on a bench watching a child play on the playground. Several folks have contacted me, happy to be in their new apartments. One mother thanked me, saying how grateful her family was to be back in Brewster after living away from the town for 5 years because of housing issues.

With the completion of Brewster Woods, Brewster has 327 affordable units on the MA Subsidized Housing Inventory (SHI), for a total of 6.8% of Brewster's year-round housing.

Please mark your calendars for Tuesday May 9<sup>th</sup> when Brewster Woods plans to have a Ribbon Cutting. The time is still to be determined, probably in the mid-morning. An invitation will be sent when the details have been confirmed for the event.

Thanks for your involvement in creating these Brewster homes,  
Jill

***Jill Scalise***

Housing Coordinator  
Town of Brewster  
2198 Main Street, Brewster, MA 02631  
508-896-3701 ext. 1169

*Brewster Town Offices are open to the public Monday through Thursday from 8:30 to 4:00pm, and by appointment on Fridays. For the latest updates on Town services, please visit [www.brewster-ma.gov](http://www.brewster-ma.gov)*







MAR 8 2023

Abutter Notification of a Public Hearing

You have been identified as an abutter and/or an abutter to an abutter within 300 feet, a property across the roadway or a party of interested to the referenced parcel(s). The hearing, as noted, will provide an opportunity for you to review the proposal and offer comments, either in person or in writing addressed to the Planning Board.

BREWSTER PLANNING BOARD  
ZONING BOARD OF APPEALS**HARWICH PLANNING BOARD**  
PUBLIC MEETING NOTICE

The Harwich Planning Board will hold public hearings beginning no earlier than **6:30 PM, Tuesday, March 28, 2023** in the Don B. Griffin Room, Town Hall, 732 Main Street, Harwich, MA 02645 to consider the following matters. Any member of the public is invited to attend and provide comments to the Board. Written comments may also be submitted to the Board prior to the hearing by mailing them to the Planning Department, Town Hall, 732 Main Street, Harwich, MA 02645 or by emailing them to the Planning Assistant, Shelagh Delaney, at [sdelaney@town.harwich.ma.us](mailto:sdelaney@town.harwich.ma.us).

**Case # PB2023-08 Richard Thompson**, through his agent, Bayside Builders is requesting a Special Permit for a Two-Family use. The application is pursuant to the Code of the Town of Harwich §325-51N and MGL CH 40A sec 9. The property is located at 100 Route 28, Assessor's Map 10, Parcel L5 in the Residential Medium Density (RM) and Commercial Highway 1 (CH-1) Zoning Districts.

**Case # PB2023-09 Elaine Brockway and Richard Meehan**, through their agent, Attorney William Crowell have applied for a Special Permit and Waiver of Site Plan Review to construct a detached residential structure with a bedroom. The application is pursuant to the Code of the Town of Harwich §325-44B and §325-55F and MGL CH 40A sec 9. The property is located at 1365 Orleans Road, Assessor's Map 74, Parcel K2-1 in the Rural Residential (RR) and the Drinking Water Resource Protection (DWRPD) Zoning Districts.

**Case # PB2023-10 Mark and Andrea Toomey**, through their agent, J. Thaddeus Eldredge, PLS, are seeking a Modification of a Definitive Subdivision Plan. The application is pursuant to the Code of the Town of Harwich §400-11 (C), and MGL c.41 Subdivision Control law. The properties are located at 0 Quinapoxet Way, Assessor's Map 102, Parcels E1-3 and E1-4 in the Rural Residential (RR) Zoning District.

Documents and plans related to these applications may be viewed on the [Planning Board's home page: www.harwich-ma.gov/planning-board](http://www.harwich-ma.gov/planning-board) and are on file with the Town Clerk and may be viewed at the Planning Department, Town Hall, 732 Main Street, Harwich, MA 02645 during regular Town Hall hours. For additional information contact the Planning Assistant, Shelagh Delaney, at [sdelaney@town.harwich.ma.us](mailto:sdelaney@town.harwich.ma.us).

Duncan Berry, Chair