



Town of Brewster Select Board

2198 Main St., Brewster, MA 02631
townmanager@brewster-ma.gov
(508) 896-3701

SELECT BOARD MEETING AGENDA

2198 Main Street
March 25, 2024 at 5:15PM

Select Board

Ned Chatelain
Chair

Mary Chaffee
Vice Chair

Kari Hoffmann
Clerk

Cynthia Bingham

Dave Whitney

Town Manager
Peter Lombardi

Assistant Town
Manager
Donna Kalinick

Project Manager
Conor Kenny

Executive
Assistant
Erika Mawn

This meeting will be conducted in person at the time and location identified above. This means that at least a quorum of the members of the public body will attend the meeting in person and members of the public are welcome to attend in person as well. **As a courtesy only, access to the meeting is also being provided via remote means in accordance with applicable law. Please note that while an option for remote attendance and/or participation is being provided as a courtesy to the public, the meeting/hearing will not be suspended or terminated if technological problems interrupt the virtual broadcast or affect remote attendance or participation, unless otherwise required by law.** Members of the public with particular interest in any specific item on this agenda, which includes an applicant and its representatives, should make plans for in-person vs. virtual attendance accordingly.

Members of the public who wish to access the meeting may do so in the following manner:

Phone: Call (312) 626 6799 or (301) 715-8592. Webinar ID:890 9291 0526 Passcode: 509224

To request to speak: Press *9 and wait to be recognized.

Zoom Webinar: <https://us02web.zoom.us/j/89092910526?pwd=WHM2V3hrVklhSTloWWWhVU09kanUzQT09>

Passcode: 509224

To request to speak: Tap Zoom "Raise Hand", then wait to be recognized.

When required by law or allowed by the Chair, persons wishing to provide public comment or otherwise participate in the meeting, may do so by accessing the meeting remotely, as noted above. Additionally, the meeting will be broadcast live, in real time, via **Live broadcast** (Brewster Government TV Channel 18), **Livestream** (livestream.brewster-ma.gov), or **Video recording** (tv.brewster-ma.gov).

Please note that for any item listed in this section the Select Board may take officials action including votes.

1. Call to Order
2. Declaration of a Quorum
3. Meeting Participation Statement
4. Recording Statement: As required by the Open Meeting Law we are informing you that the Town will be video and audio taping as well as broadcasting this public meeting. In addition, if anyone else intends to either video or audio tape this meeting they are required to inform the chair.
5. Executive Session:
 - a. To consider the purchase, exchange, lease or value of real property if the chair declares that an open meeting may have a detrimental effect on the negotiating position of the public body - 3057 Main Street & 400 W.H. Besse Cartway
6:00 PM - Anticipated Start Time for Open Session
6. Public Announcements and Comment: Members of the public may address the Select Board on matters not on the meeting's agenda for a maximum of 3-5 minutes at the Chair's discretion. The Select Board will not reply to statements made or answer questions raised during public comment but may add items presented to a future agenda.
7. Select Board Announcements and Liaison Reports
8. Town Manager's Report (pages 3-7)
9. Consent Agenda (pages 8-63)
 - a. Approval of Meeting Minutes: March 11, 2024
 - b. Re-Appointments: Democratic Representative to the Board of Registrars, Sally Andreola and Cape Cod and Islands Water Protection Fund Management Board, Town Manager Peter Lombardi
 - c. One Day Liquor License Application: Brewster Sportsman's Club
 - d. Facility Use Application: First Parish Brewster, Paines Creek Beach
 - e. One Day Entertainment License Application: First Parish Brewster
 - f. Fee Waiver Requests: First Parish Brewster and Brewster White Caps
 - g. Acceptance of Gift: Captains Golf Course
 - h. Request to Declare Item as Surplus: Department of Public Works
 - i. Event Notification Form: Brewster in Bloom Annual Town Parade



Select Board

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- j. Approval of Municipal Fiber Grant Application
- k. Cell Tower Site Modification Request: SBA Communications Corp
- 10. Review and Vote on Annual Inn Holder License for McDermott Properties, 618 Main Street (pages 64-75)
- 11. 6:15pm - Public Hearing, Renewal of Seasonal Liquor Licenses: 2740 Main Street Holdings LLC d/b/a Beach House Spa, Breakwater Lobster and Fish Market, Cape Cod National Golf Club, Roberts Inc. d/b/a Cobies, Fishack Corp d/b/a J.T.s Seafood Restaurant, Brewster Pico LLC d/b/a Pico's Taco Shack (pages 76-84)
- 12. Presentation and Vote on FY25 Cape Cod Regional Technical High School Budget - Bob Sanborn, CCT Superintendent (Joint with Finance Committee) (pages 85-112)
- 13. Discuss Proposed Pesticide Reduction Home Rule Petition and Vote to Place Article on Spring 2024 Town Meeting Warrant - Kimberly Crocker Pearson, Natural Resources Advisory Commission Chair (pages 113-173)
- 14. Discuss and Vote on Proposed Sea Camps Financing Program - Select Board FY24-25 Strategic Plan Goal SC-3 (pages 174-192)
- 15. Review and Vote on Sea Camp Comprehensive Plan Warrant Article(s) for Spring 2024 Town Meeting - Select Board FY24-25 Strategic Plan Goal SC-2 (pages 193-207)
- 16. Update on Millstone Road Improvement Project and Vote on Proposed Approach to Town Meeting Temporary Easement Warrant Article - Select Board FY24-25 Strategic Plan Goal CI-2 (pages 208-345)
- 17. Discuss and Vote on Spring 2024 Town Meeting Warrant Articles (N/A)
- 18. Discuss and Vote on New Pond Property Policy (#68) - Select Board FY24-25 Strategic Plan Goal SC-1 (pages 346-357)
- 19. FYIs (pages 358-377)
- 20. Matters Not Reasonably Anticipated by the Chair
- 21. Questions from the Media
- 22. Next Meetings: April 1, April 8, and April 23, 2024
- 23. Adjournment

Date Posted:
03/21/2024

Date Revised:

Received by Town Clerk:

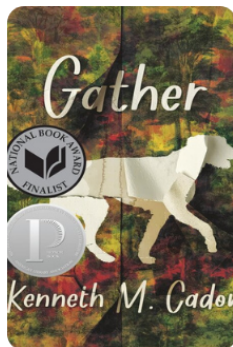
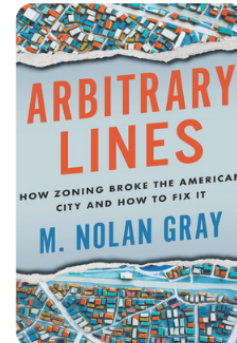
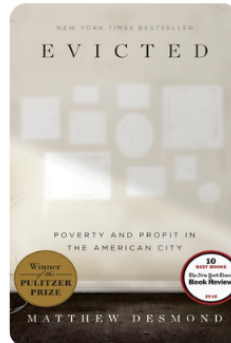
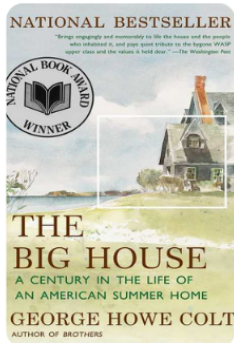
BREWSTER TOWN CLERK

24 MAR 21 3:40 PM



Books & Big Ideas

2024 : HOUSING

The Town of Brewster has created an all-ages community read program entitled “Books & Big Ideas,” which aims to use books to encourage discussion about topics affecting our community. Starting in April, community members are encouraged to read titles from a curated selection of books about housing. These stories intend to provide different perspectives on housing, including the importance of “home”, housing insecurity, seasonal housing, affordable housing, and more. Books & Big Ideas will include events from April to June to facilitate the sharing of ideas.



Books & Big Ideas Programs for 2024 Include:

- ✓ Brewster Housing 101: An Information Session
- ✓ Author Discussion on *Arbitrary Lines* with M. Nolan Gray
- ✓ Reception & Discussion with George Howe Colt, Author of *The Big House*
- ✓ Community Tiny Art Display: “What is Home?”
- ✓ *Evicted* Discussion Group

Register for Upcoming Events at www.brewsterladieslibrary.org.



Books & Big Ideas

2024 : HOUSING

To kick-off the Town's new Books & Big Ideas initiative, the Brewster Housing Office will hold a one-hour Housing Information session. All are welcome to attend and learn more about Community Housing, the Brewster Housing Program, current strategies to address Brewster's Housing needs, local affordable housing options, and available assistance programs. Members of the Housing Office, the Brewster Housing Partnership and Affordable Housing Trust will be available to answer questions.

Thursday, April 11, 6PM
Brewster Ladies' Library

BREWSTER HOUSING 101: INFORMATION SESSION

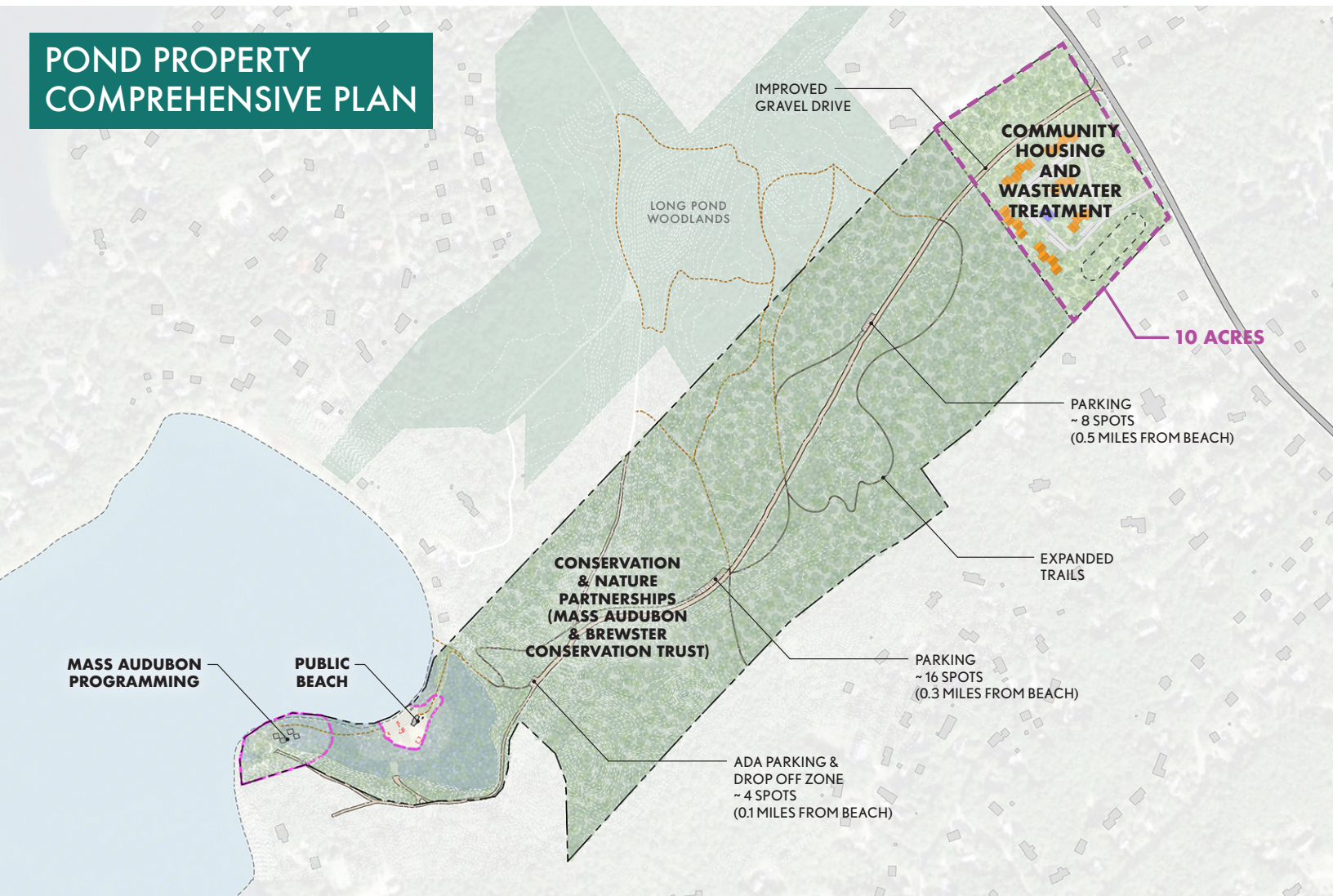
Questions? Email housingoffice@brewster-ma.gov

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POND PROPERTY COMPREHENSIVE PLAN

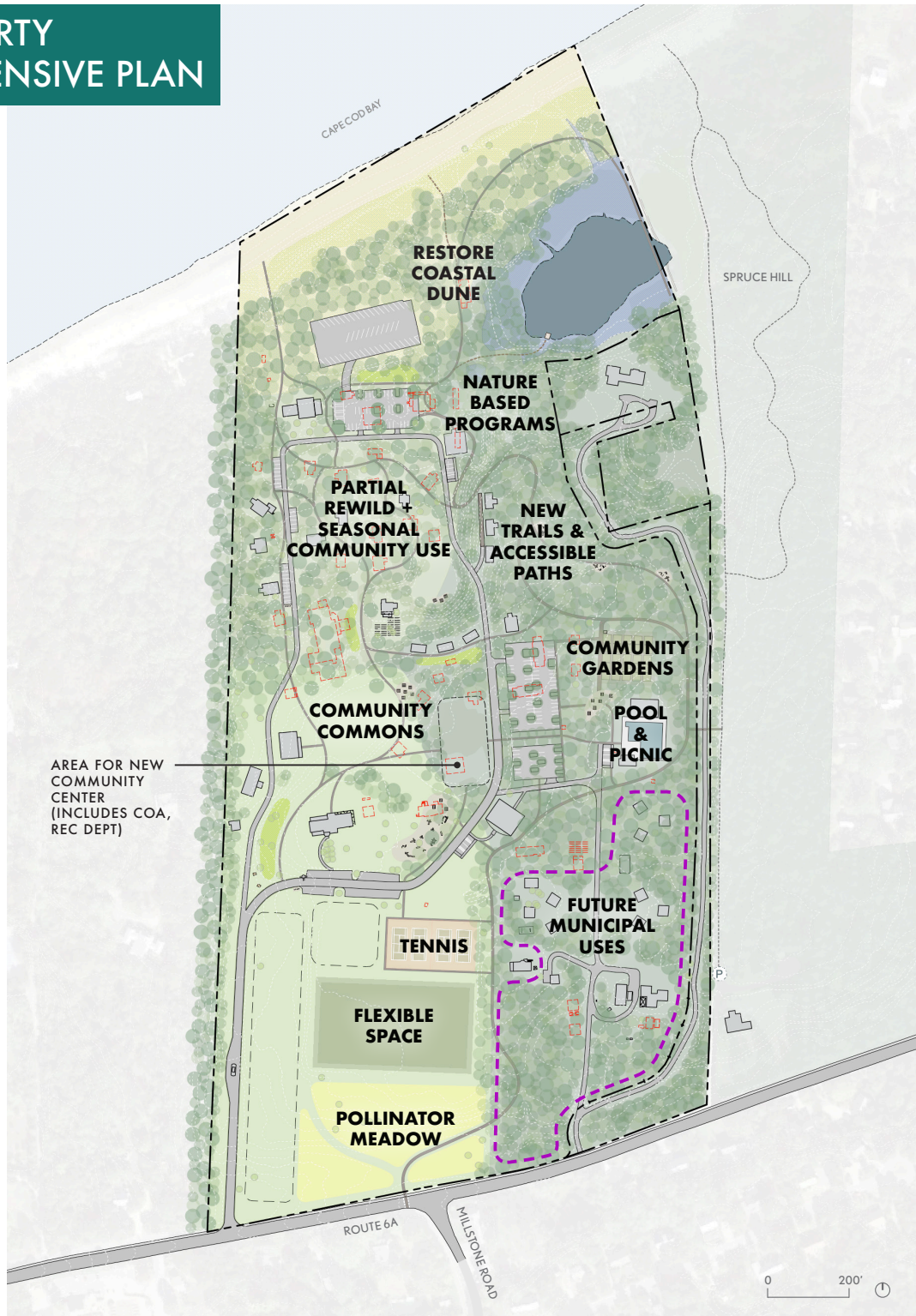


**Vote on Sea Camps Comprehensive Plans at Town Meeting on
Saturday May 11 at 1pm (check-in at 12pm)**

Information: <https://www.brewster-ma.gov/cape-cod-sea-camps-properties>
Questions: townmanager@brewster-ma.gov



BAY PROPERTY COMPREHENSIVE PLAN



**Vote on Sea Camps Comprehensive Plans at Town Meeting on
Saturday May 11 at 1pm (check-in at 12pm)**

Information: <https://www.brewster-ma.gov/cape-cod-sea-camps-properties>

Questions: townmanager@brewster-ma.gov



CAPE COD
COMMISSION

PRESS RELEASE

Information from the Cape Cod Commission

Press Contacts

Kristy Senatori, Executive Director | (508) 744-1216
ksenatori@capecodcommission.org

Sarah Colvin, Communications Manager | (508) 744-1271
sarah.colvin@capecodcommission.org

Cape Cod and Islands Water Protection Fund Management Board votes to modify funding model, award subsidies

FOR IMMEDIATE RELEASE (March 22, 2024): Today, the Cape Cod and Islands Water Protection Fund Management Board (Management Board) took necessary steps to stabilize the Fund and ensure its ability to continue supporting critical wastewater and water quality projects.

During its meeting on March 22, 2024, the Management Board voted to adopt a new model for providing subsidies to projects listed on the Clean Water Intended Use Plan (IUP), beginning with projects listed on the 2023 IUP. Fund disbursements will shift from a principal forgiveness model to a model that provides a portion of the 25% subsidy over the loan term. Subsidy payments are made when principal payments on the loan are due.

"Cape Cod towns have made significant progress in implementing projects since the Fund's inception," said Kevin Galligan, Chair of the Management Board. "The adjustments we made today will help sustain funding for clean water projects for years to come."

Established in 2018, the Cape Cod and Islands Water Protection Fund helps Cape Cod towns pay for necessary wastewater infrastructure and water quality remediation projects. The subsidy provided by the Fund has been a primary driver of long overdue progress on local wastewater projects.

"The certainty of the subsidy has helped garner community support for water quality project implementation and has resulted in significant action," said Kristy Senatori, Cape Cod Commission Executive Director. "This shift allows the Fund to continue to support important local projects, without the need for supplemental funding."

The Fund provides a 25% subsidy to projects listed on the Massachusetts Department of Environmental Protection (MassDEP) Clean Water Intended Use Plan (IUP). Since its inception, the Fund has awarded approximately \$204 million in subsidies for wastewater and water quality projects.

While revenue has been largely consistent with projections, local commitment to project implementation and eligible project costs have exceeded expectations. In 2023, the IUP listed over \$167 million in local projects, which, at that time, represented the most significant amount on Cape Cod for a single year. The draft 2024 IUP includes nearly \$300 million in Cape projects, demonstrating the continued commitment of Cape Cod towns to advancing wastewater and water quality projects in their communities.

The Management Board also voted on March 22 to provide subsidies to thirteen projects in eight Cape Cod towns that appear on the 2024 IUP. For a list of subsidies awarded, please visit www.capecodcommission.org/cciwpf.

The Cape Cod and Islands Water Protection Fund is a dedicated fund within the state's Clean Water Trust. It was established in 2018 to help Cape Cod and Islands towns pay for necessary wastewater infrastructure and water quality remediation projects. Its funding comes from a 2.75% excise tax on traditional lodging and short-term rentals. Find more information by visiting www.capecodcommission.org/cciwpf.

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ABOUT THE CAPE COD COMMISSION: The Cape Cod Commission is the regional land use, planning, economic development and regulatory agency for Barnstable County, Massachusetts. It was created in 1990 to serve the citizens and 15 towns that comprise Cape Cod. The Commission works toward maintaining a healthy balance between economic progress and environmental vitality. "Keeping a Special Place Special" describes the agency's mission to protect the region's unique qualities. The 19-member volunteer Cape Cod Commission board represents a wide spectrum of the community and provides oversight for a staff of 40 professionals. For more information, visit www.capecodcommission.org



Consent Agenda Cover Page

March 25, 2024

a. Approval of Meeting Minutes: March 11, 2024

Draft minutes from the Select Board meeting have been presented for review and approval.

Administrative Recommendation:

We recommend the Select Board approve the meeting minutes.

b. Re-Appointments: Democratic Representative to the Board of Registrars, Sally Andreola and Cape Cod and Islands Water Protection Fund Management Board, Town Manager- Peter Lombardi

The Town Clerk is requesting re-appointment of the Democratic representative to the Board of Registrars. Sally Andreola's current term will expire on March 31, 2024, the new term is for 3 years and will expire on March 31, 2027.

The Cape Cod Commission is requesting to re-appoint Peter Lombardi, Town Manager, for another three-year term. The current term is due to expire on April 4, 2024. This is a requirement of M.G.L. Ch. 29C §20, Cape Cod and Islands Water Protection Fund Management Board.

Administrative Recommendation:

We recommend the Select Board approve these re-appointments.

c. One Day Liquor License Application: Brewster Sportsman's Club

The Brewster Sportsman's Club will be hosting their Annual Game Dinner on Saturday April 6, 2024, from 5:30pm until 9:00pm. The event will be held at their club located at 280 Tubman Road. The request is to serve beer and wine to the expected 120 attendees. Department heads have reviewed the application, the following are requested to be added as a condition of the One Day Liquor License per the Fire Chief and Police Chief:

- A barrier or signage should clearly delineate where people are permitted to consume the alcohol served.
- The emergency access road identified on the submitted parking plan must be kept open for full Fire Department site access during the event.

Administrative Recommendation:

We recommend the Select Board approve the One Day Liquor License application with the conditions outlined.

d. Facility Use Application: First Parish Brewster- Paines Creek Beach

First Parish Brewster would like to hold their Sunrise Worship Service at Paines Creek Beach on Sunday March 31st from 6am until 7am for their expected 15 attendees. There are no concerns from Department Heads or administration for this request.

Administrative Recommendation:

We recommend the Select Board approve facility use application.

e. One Day Entertainment License Application: First Parish Brewster

First Parish Brewster is requesting a One Day Entertainment license for hymns to be sung together at their sunrise worship service at Paines Creek Beach on Sunday March 31st at 6am. There are no concerns from Department Heads or Administration.

Administrative Recommendation:

We recommend the Select Board approve the One Day Entertainment application.

f. Fee Waiver Request: Frist Parish Brewster and Brewster White Caps

First Parish Brewster is requesting a fee waiver for the temporary sign application fee through the Building Department of \$25, the \$35 application fee for the One Day Entertainment License and the \$50 fee for use of Paines Creek. The total amount requested to be waived is \$110.

The Whitecaps Board is requesting a fee waiver of building and electrical permit fees for the replacement of the scoreboard at Stony Brook Field. The total amount requested to be waived is \$400, all electrical inspections fees will be paid for by the Whitecaps Board as they cannot be waived per Select Board Policy #5, Waiver of Town Permit Fees.

Administrative Recommendation:

We recommend the Select Board approves both fee waiver requests.

g. Acceptance of Gift: Captains Golf Course

The Golf Director is requesting permission to accept a gift in the form of a memorial bench. The Golf Commission voted in favor of accepting the gift. If approved the exact location will be determined by the Director and Superintendent of Golf.

Administrative Recommendation:

We recommend the Select Board approve the request.

h. Request to Declare Item as Surplus: Department of Public Works

The DPW Master Mechanic is requesting approval to declare a 2011 pickup truck as surplus for sale on GovDeals. This vehicle has reached its useful life for the Town and has since been replaced by a Hybrid pick up truck.

Administrative Recommendation:

We recommend the Select Board approve the request.

i. Event Notification Form: Brewster in Bloom Annual Town Parade

The Brewster Chamber of Commerce has submitted notification of the Brewster in Bloom Annual Town Parade to be held on May Sunday May 5th. The parade will begin at 1pm from the Eddy Elementary School parking lot and continues west on Route 6A to Swamp Road. The Chamber has already reviewed the parade route with the Chief of Police to determine road closures and details required.

Administrative Recommendation:

We recommend the Select Board approve the event notification.

j. Approval of Municipal Fiber Grant Application

The Town of Brewster is proposing to submit an application to the Municipal Fiber Grant program for a grant of \$194,109 in order to build out the existing municipal fiber network to connect to three additional locations in town: the Brewster Water Department, the Captains Golf Course, and the former Cape Cod Sea Camps Bay property.

Administrative Recommendation:

We recommend the Select Board approve the grant application.

k. Cell Tower Site Modification Request: SBA Communications Corp

SBA Infrastructure LLC is requesting permission to perform maintenance and modifications to its antenna facility located at 1151 Freemans Way. Verizon Wireless, an existing carrier on the site, is requesting to add an emergency generator mounted on a reinforced concrete pad and a 325-gallon propane tank mounted on an existing concrete pad within the existing leased space. Weather permitting, this work will be planned for April 2024. The modifications to the site will prevent loss of communication due to outages and will help to support the 5G connectivity needs. The Fire Department and Building Department have no concerns with the proposed work. SBA will be required to coordinate with both departments following Select Board approval.

Administrative Recommendation:

We recommend the Select Board approve the cell tower site modification request, pending coordination with the Building Department and Fire Department.



Town of Brewster

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Office of:
Select Board
Town Manager

MINUTES OF THE SELECT BOARD MEETING

REGULAR SESSION

DATE: March 11, 2024
TIME: 5:45 PM
PLACE: 2198 Main Street, Room A

Participants: Vice Chair Chaffee, Selectperson Whitney, Selectperson Bingham, Selectperson Hoffmann, Town Manager Peter Lombardi, Assistant Town Manager Donna Kalinick, Chief Police Eldredge, Human Resources Director Susan Broderick, Community Preservation Committee Chair Sarah Robinson and Vice Chair Faythe Ellis

Absent: Ned Chatelain

Remote Participants: Amy McCaffrey, Matthew Gschwend

Call to Order and Declaration of a Quorum

Acting Chair Chaffee called the meeting to order at 5:46pm and noted that Chair Chatelain is absent. A quorum was declared with members Cindy Bingham, Kari Hoffmann, and Dave Whitney present in Room A of Town Hall. Acting Chair Chaffee read both the meeting participation statement and the recording statement.

Acting Chair Chaffee reviewed the executive session agenda items and stated that the Board will return to open session at approximately 6:00pm.

Selectperson Hoffmann moved to enter executive session. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

The Board returned at 5:58pm.

Vote on Police Chief Contract Renewal

Mr. Lombardi noted that the Chief has a three-year contract with the Board that expires this coming June. There are a handful of changes that are proposed that have been reviewed with the Police Chief and with the Board in executive session. The Police Chief's salary for FY25 as proposed in the contract is \$189K.

Selectperson Hoffmann moved to approve the employment agreement between the Town of Brewster and Heath J. Eldredge, Chief of Police on this 11th day of March 2024 with the total amount of \$189,000 a year with the other parts of the agreement. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

Public Announcements and Comment

None



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Select Board Announcements and Liaison Reports

Selectperson Hoffmann shared that she attended the Nauset Regional School Committee meeting last Thursday night where they voted on the FY25 budget included the Capital Plan. The Select Board will be voting on the budget at their April 1, 2024 meeting.

Town Manager's Report

The Town will be hosting tours of the Pond Property on Saturday April 6th and Wednesday April 10th from 10am -2pm. Registration and information is available on the Town website. The goal of the tours is to provide residents with an opportunity to walk the trails and see the pond. Parking is very limited on the property, for the tours parking will be at the Captains Golf Course with shuttles provided by the Council on Aging. The Department of Public Works has secured a minor stormwater permit and is working on informal parking. Volunteers will be on hand and maps available for these self-guided tours. The tours will be held rain or shine. After the tours, the parking area will be open to residents for use.

There will be an open campus on the Bay property on Wednesday April 17th from 10am – 2pm and April 27th from 1pm – 5pm. There is no registration required for these events.

The Town will be holding information sessions leading up to Town Meeting. There will be a stand-alone meeting specific to the Sea Camps scheduled for Tuesday April 30th and all other warrant articles will be reviewed at the information session on Monday April 29th. These will be held at Town Hall.

The Town is launching a new community read program called “Books and Big Ideas”, with the help of the Brewster Ladies Library. The program uses books as a way to encourage residents to think and talk about large policy issues that cater to all ages. Seven books have been selected across different age categories, the theme for the first year will be Housing. The books selected look at this issue through a number of different lenses that will hopefully be interesting and engaging. The kick off for the program is April 11th at the Library, a formal announcement will be made later this week.

Consent Agenda

- a. Approval of Meeting Minutes: January 31, February 12, and February 26, 2024
- b. One Day Liquor License Application: Brewster Chamber of Commerce
- c. Letter of Support for Continues Funding for the Housing Rehab Program for FY24
- d. Town Landing and Public Beach Access Request; Saints Landing

The last item on the consent agenda will be deferred until later in March.

Selectperson Hoffmann moved to approve the consent agenda of March 11, 2024 as outlined and recommended by Town Administration with the exception of item (d). Selectperson Bingham seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.



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6:10pm Public Hearing- General On-Premises Seasonal Wines & Malt Beverages Application- Putt Putt Chicken Butt, Inc. d/b/a Harbor Lights Mini Golf & Ice Cream

Selectperson Hoffmann moved to open the public hearing for the General On-premises Seasonal Wines & Malt Beverages application, Putt Putt Chicken Butt, Inc. d/b/a Harbor Lights Mini Golf & Ice Cream as noticed in the Wicked Local and the Cape Coddor on March 1 and March 8. Selectperson Bingham seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Whitney-yes, Selectperson Hoffmann-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

Amy McCaffrey and Matthew Gschwend joined the meeting and provided an overview of their request for a seasonal beer and wine license. They are not trying to become a drinking destination or bar and won't be adding any additional seating. The idea is to allow customers to enjoy a nice cold beverage as they mini golf.

Included in the packet is a memo that includes comments and feedback from various department heads, the following were from the Police Department and Town Administration:

- There should be clear delineation via physical barrier and signage demonstrating that there should be "No Alcohol Beyond This Point."
- The licensee should have some safeguards in place to assure that alcoholic beverages are not only being sold to or being consumed by anyone under 21. This setting makes supervision of this more difficult.
- Suggested to consider serving one drink per presented ID at a time, which is a common practice at sporting events.
- If the liquor license is approved, they would need to employ persons 18 years and older to handle, sell or serve the alcohol.
- The following questions should be addressed:
 - Will there be tables or some kind of cup holders for patrons to put their drink down during their turn to play?
 - Some consideration of tripping hazards on the golf course.
- Acknowledged there is one port-a-john near the parking lot and if this would change.
- Recommendation that in the license itself, the premises should be very detailed in terms where alcohol can be consumed and where it can't be.

Mr. Lombardi shared that we reached out to other Towns on Cape to see if other mini golf establishments have been granted a liquor license. Out of all 14 Towns there was only one similar situation at the Weatherdeck Restaurant in Harwich which has had a liquor license in place for 30+ years. The Weatherdeck is a restaurant that has a mini golf course on the property. There is no stand-alone mini golf course that holds liquor license.

In response to the comments Ms. McCaffery shared that she has been to many mini golf places throughout the country that offer beer and wine. They are looking to add little tables at each of the holes for people to place their beverage on and write their scores down, these would not be on the walkways. There are two main areas to enter and exit the property, both will have the "No Alcohol Beyond This Point" signs. They also have some fencing that abuts the parking, which is not a true exit, but plan to add signs there as well.



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Ms. McCaffrey agreed to sell one beverage per ID at a time, they also have cameras throughout the property to monitor the course and have one camera facing the window to make sure that everyone is being identified properly. Mr. Gschwend shared that they will be hiring employees 18 years and older to serve the alcohol and everyone will be TIPS certified. They plan to keep one port-a-john but will monitor to see if there is a need for an additional one.

Ms. McCaffery noted that their customers are typically families with occasional date nights mixed in. She has received feedback from parents that having a drink would make their experience a little more enjoyable. In response to Selectperson Hoffmann, Mr. Gschwend noted that along with the cameras, they will have an employee walking the course about every 30 minutes to clean the greens and the presence of employees throughout the property will be felt. They will have active involvement to make sure drinks are not consumed by underage persons or by those who did not purchase them. At this time, ice cream is the only food being offered, they may look into prepackaged chips as well.

Selectperson Hoffmann moved to close the public hearing. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Whitney-yes, Selectperson Hoffmann-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

Selectperson Hoffmann moved to approve the General On-premises Seasonal Wines & Malt Beverages application of Putt Putt Chicken Butt, Inc. d/b/a Harbor Lights Mini Golf & Ice Cream. Selectperson Bingham seconded the motion. There was discussion on which conditions should be included with the liquor license. Selectperson Bingham moved that we limit sales of malt beverages and wine from 10am until 9:30pm. One beverage served per ID. Sign posted clearly at the exit with "No Alcohol Beyond This Point". Selectperson Whitney seconded the motion. Selectperson Bingham-yes, Selectperson Whitney-yes, Selectperson Hoffmann-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

Review and Vote on FY25 Fixed Rate and Salary Scale- Susan Broderick, HR Director

Ms. Broderic shared that the scale contains the wages for our seasonal and part-time positions. There is a policy that the Select Board will review annually by April 1st of each year to allow the Town to stay competitive in the market. These employees do not receive automatic step increases or cost of living adjustments. Part of the policy states that the Town will use the State's minimum wage as our minimum wage for our seasonal positions, but we have taken that part of the policy and extended it to all positions on the scale. The State's minimum wage is currently \$15/hour. Department Heads provide their recommendations and have accounted for any increases in wages in their budget.

Ms. Broderick highlighted some of the changes:

- Police Department- community services officer, not a new position, but a change to the parking enforcement officer. Each summer they hire to enforce parking regulations for beach parking and access roads, this year they have additional duties such as responding to citizen requests, bike and traffic control.



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- Inspector positions- \$3/hour for part-time inspectors. Typically, we have a \$1-\$2 per year increase, a majority of other Towns plan to pay \$50/hour for this position. To stay competitive the recommendation is to pay \$48/hour for FY25 and look to increase in future years.
- Captains Golf Course & Permit Sales Office – amendments were made to the FY24 wage scale because these positions span over two fiscal years.

Selectperson Hoffmann moved to approve the FY25 Fixed Rate and Salary Scale as presented. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

Discuss and Vote on Community Preservation Act Warrant Articles for Spring 2024 Town Meeting – Sarah Robinson, CPC Chair and Faythe Ellis, CPC Vice Chair

Sarah Robinson provided a brief history, noting that in May 2025 Brewster residents voted for adoption of the Community Preservation Act. This act appropriates a 3% surcharge of real estate taxes revenues which are reserved in a special fund to finance projects for purposes in Open Space, Historical, Recreation, and Community Housing. The State also contributes an amount that comes from the CPA Trust fund which is collected through the Registry of Deeds. Last year, the Town CPA bylaw changed to adopt the State statutory formula for allocation of CPA revenues. At the same time Town Meeting approved a non-binding 5-year target allocation policy to guide recommendations to keep within the framework. Ms. Robinson then reviewed the warrant articles; additional information is available in the packet.

The Community Development Partnership/Lower Cape Housing Institute in Eastham have requested \$20K toward their total project cost of \$652,337. The CPC voted unanimously 7 to 1 to accept the article.

Town of Brewster Housing Coordinator, the Town has been able to accomplish a lot due to the current housing coordinator, Jill Scalise who has been in this position for several years. She is familiar with the housing offices on Cape and with the affordable housing programs. The request is for \$74,589 out of the total project costs of \$114,599. The CPC voted unanimously in favor.

Nauset Together We Can Prevention Council is requesting funding for the Finch Skatepark Safety Upgrades. There is an established and thriving skateboarding community in Orleans that has managed the skateboard by volunteers since 1995. The request is for \$7,500 towards safety upgrades. The total cost of the project is \$31,300. The CPC voted 7 to 0 in favor.

Selectperson Bingham moved to recommend the Community Preservation Act budget transfers totaling \$1,053,598 as described in Article 12 sections 1a, 2a, 3a, 4a and b. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

Selectperson Bingham moved to recommend the \$20,000 under Article 12 section 5a to the Community Development Partnership. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-



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yes. The vote was 4-Yes, 0-No.

Selectperson Bingham moved to recommend \$74,589 under Article 12 section 5b to the Town of Brewster Housing Coordinator. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

Selectperson Bingham moved to recommend \$7,500 under Article 12 section 5c to Nauset Together We Can, the skateboard park in Orleans. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

Warrant Article 13, this project is simply to get a Conservation Restriction (CR) on 12.36 acres known as Washington-Chase Bog. There is 7.3 acres of upland and a little over 5 acres of wetland. The property is located on the North side of Main Street in East Brewster. Brewster Conservation Trust is purchasing the property and is asking the Town to share the costs by using CPA funds to purchase a CR. The amount requested is \$230K (\$225K for the CR and \$5K to CPC), the total project costs is \$706,660. The CPC voted unanimously to approve. Ms. Ellis added that there is \$5K included in the request to cover CPC administrative and legal expenses.

Selectperson Bingham moved to recommend \$230K under Article 13, Conservation Restriction acquisition for 0 and 3571 Main Street. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

Update on FY25 Town & School Budgets

Mr. Lombardi shared a couple of small changes that are associated with Health Insurance and Pension. Health Insurance had originally been included at a 5% increase in premiums in budget assumptions. The Cape Cod Municipal Health Group voted for an 8% increase, this has an expense impact of about \$90K between the Town and the Schools. Pensions also increased between the Town and School by another \$57K or so. There were also some small changes made to the Human Service and Building Department budgets. Mr. Lombardi noted that we have also adjusted our short-term debt payment for the Long Pond Property from \$180K to \$150K. Our partnership with Brewster Conservation Trust has been finalized and looking at a small remaining balance that will be necessary to pay off all the Long Pond debt. We are able to decrease the impact of the debt on our operating budget, this is not excluded debt even though Town Meeting approved debt exclusion. The plan from the start was to finance from our existing funding in the budget, the partnerships with BCT and Mass Audubon have helped.

On the revenue side, our investment income is coming in significantly higher this year than our benchmark, with the projections we felt there was the ability to increase revenue assumptions by \$75K, which was still conservative. Mr. Lombardi noted a minor change in ambulance revenue and premiums from short-term debts. There are some adjustments in other department revenue, primarily receipts from agreements with



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Cape & Vineyard Electric Cooperative. The net effect is that our overall levy capacity, which was at \$51K at the beginning of February is now down to \$18K, we have been able to absorb the increase in Health Insurance and Pension without making any substantive changes to the departmental budget. This includes the capacity to absorb increases to the school budgets for the next fiscal year. Mr. Lombardi shared that in part due to the enrollment shift from this year to next, the Town can now absorb a 4.5% operating increase for both Nauset and the elementary schools.

Mr. Lombardi expects the elementary school budgets to be voted on soon, the latest assessment is \$55K over what the Town said we could accommodate. The Regional School Committee has decided to shift from a long standing past practice of using the Alternative Assessment Methodology based on student enrollment to the Statutory Method which looks at minimum contributions from each of the Towns, transportation costs and takes student enrollment into account. This shift has benefited Brewster by about \$55K from what our assessment would have been using the Alternative methodology. Mr. Lombardi noted that we could potentially avoid an override to fund our assessment for Nauset next year if we figure out how to make up the \$55K. As a potential solution, it was suggested to the Superintendent that instead of having one large override and a really small override, maybe there is capacity to accommodate a little higher percentage increase for the region and a little lower for the elementary schools and structure the override as specific to the elementary school.

Discuss and Vote on Spring 2024 Town Meeting Warrant Articles

The following warrant articles were reviewed and voted on:

- Art 1: Unpaid bills – one from the Golf Department for water quality testing for \$615 to be paid from the Enterprise fund.

Selectperson Hoffmann moved to recommend Article 1: Outstanding Obligations for the Golf Department as printed in the draft warrant. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

- Art 10: Water Budget- minor adjustments have been made to Health Insurance and Pension as they pertain to this department, which is an entirely self-funded department. Amended amount is \$2,986,144. This reflects a 2.7% increase.

Selectperson Hoffmann moved to recommend the Water Department Enterprise Fund Operating budget in the total of \$2,986,144 as printed in the draft warrant. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

- Art 11: Golf Budget- \$4,606,233 budget for FY25, which reflects a 4.9% increase on the expense side. The Board approved 6% rate increases for green fees and memberships a couple of months ago, anticipating that this will fully offset the increase in expenses.



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Selectperson Hoffmann moved to recommend the Golf Department Enterprise Fund Operating budget in the total of \$24,606,233. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

- Art 16: Cable Franchise Fee – a standard article for annual appropriations for the Town’s license agreement with Comcast, where we bring in a little over \$400K a year. There is a balance in the Cable Francise Revenue account of a little over \$800K. The proposal is to appropriate \$400K for operating expenses to Brewster Government Television, and will cover our separate agreement with Lower Cape TV to provide services.

Selectperson Hoffmann moved to recommend the Special Revenue Fund Cable Francise Fee Account in the amount of \$400K as printed in the draft warrant. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

- Art 17: Recreation Revolving Fund- the spending limits for our revolving funds are memorialized in our Town bylaw, if we want to increase the cap, which is being proposed, requires a Town Meeting vote. Recreation has done a great job in expanding programming and services over the past several years. Their expenses are fully covered by the fees they charge for their services. The cap currently is \$200K, looking to increase the spending cap to \$300K.

Selectperson Hoffmann moved to recommend the Recreation Revolving Fund to increase the fiscal year spending limit to \$300K as printed in the draft warrant. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

- Art 18: Senior Tax Work-off Local Option- there is language in the statute that allows Towns as a local option to allow someone to complete the work on the senior’s behalf. Both the Council on Aging and the Deputy Assessor are supportive of bringing an article to Town Meeting. If an individual is interested, the Town would have to approve the designee to work through the Senior Tax Work off program on their behalf.

Selectperson Hoffmann moved to recommend the Local Option Senior Tax Work Off Designee M.G.L Ch. 59 §5k as printed in the draft warrant. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

- Art 19: Veterans Tax Work-off Local Option- basically the same option as the previous article except it applies to the Veteran Tax Work off program.

Selectperson Hoffmann moved to recommend the Local Option Veteran Tax Work Off Designee



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M.G.L Ch. 59 §5n as printed in the draft warrant. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

Discuss and Vote on Select Board Policy Updates (#64 & 65)

First Light Beach Policy, #64, Town Administration realized that there were some provisions of this policy that needed to be addressed. The proposed changes include language around parking restrictions but did not include any enforcement language. Current policy #47, Regulations Governing Roadside Parking on Town Ways Near Town Landings has this language included. Reviewed with the Police Chief who agreed to include the same language in this policy. The beach access hours have been updated to coincide with the updated pool hours. Also included standard language in terms of consumption of alcohol and/or drugs on Town property, which has been recommended by legal counsel.

Selectperson Hoffmann moved to approve the changes in policy #64 Select Board Policy for First Light Beach, Resident Only. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

Community Pool Policy, #65, handful of small changes to the policy that reflects the 6am start time and that the pool may be open certain Friday and Saturday nights until 8pm for private events. The Recreation Department will be handling registration this year, so some minor adjustments have been made to the Rules and Regulations section.

Selectperson Hoffmann moved to approve the changes in policy #65 Select Board Policy for Brewster Community Pool, Resident Only. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

Discuss and Vote on New Pond Property Policy (#68)

Ms. Kalinick shared that the Town has been working on providing interim public access to the Pond property, after the tours the interim parking will be open to the public until the full plans can be implemented. The Town has been approved for a minor stormwater permit to maintain the road and some of the paths. A Request of Determination of Applicability (RDA) was submitted to the Conservation Commission but ultimately denied the request due to the wetlands delineation and would prefer the RDA be submitted with the full implementation of the plan along with a Notice of Intent that would encompass all the activities planned for on the Pond property should the plans pass at Town Meeting. Ms. Kalinick noted the sensitive areas near the pond. During the tours, residents will be notified that there will be no vehicular access beyond the interim parking area.

The proposed policy is to govern the use of the property during interim access, just as we did for First Light Beach and when we opened the Community Pool. Since the drive is not a laid-out road, we are unable to apply Policy #47, Regulations Governing Roadside Parking on Town Ways Near Town Landings.



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Ms. Kalinick noted that we need to manage expectations for the property since there is limited parking. The Town is not adding amenities here as we have at other landing locations. The idea is to provide access to the property to use the trails, swim, etc. The comprehensive plan for this property includes 38 total parking spots in three different locations.

Mr. Lombardi noted that various departments provided input for the best approach, the proposed policy reflects what we think will work best for this season. Town staff will have to monitor and manage access to the property. Ms. Kalinick added that we don't have staff on the property like we do at the Bay property. There has been some reluctance in opening the property and the plan is to get additional help for the management of both properties. The Department of Natural Resources will use their summer staff to help periodically check and maintain the property.

Selectperson Hoffmann inquired about the parking spaces at the Long Pond Woodland area and port-a-potties for the property. There will be one port-a-potty placed at the interim parking areas. There will be no trash and/or recycling, no ice cream truck, no kayak racks at this time. There is parking for the Long Pond Woodlands on Besse Cartway, but where it connects to the access road is not ideal.

Selectperson Bingham believes that the interim parking should require a beach parking sticker from Memorial Day to Labor Day as our other locations require. This location in many ways is like Spruce Hill, which does require a beach parking permit. She believes that a majority of people will be parking there to use the beach. Parking would be open to both residents and non-residents who have purchased a beach parking permit.

Mr. Lombardi responded that there are a number of reasons the public will want to use the property. The administration has received questions about the future uses of both properties and if they will be resident only indefinitely. Mr. Lombardi will reach out to the Police Department who are responsible for enforcement of the beach parking and will need to add this location to monitor on a regular basis.

Acting Chair Chaffee commented that this is a wonderful opportunity for people to walk and explore the property. She supports the policy as is and would like to see how this season goes and revisit for Summer 2025.

Ms. Kalinick shared her concern of promoting this location as a landing on the beach map that is distributed to residents and visitors that requires a parking permit, there isn't time to include the information. Additionally, by doing this we will drive more people to the location that is already going to be a challenge to manage.

Selectperson Bingham moved to table the conversation. Selectperson Hoffmann seconded the motion. Mr. Lombardi noted that policies are within the jurisdiction of the Select Board to decide on. More information will be provided at the next meeting, including language that will require a beach permit. Selectperson Bingham amended the motion to postpone the topic to the March 25 meeting. Selectperson Hoffmann seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes,



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Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

Discuss and Vote on Request to Add Alternate Members to Alewife Committee

Selectperson Hoffmann reviewed the tasks that the three-person Alewife Committee are responsible for. The Town Charter allows the Select Board to add up to two alternate members to any elected or appointed committee even if their formal charge or Bylaw in this case, doesn't state that. The Chair of the committee is requesting the Board vote to increase the membership by two alternate members.

If approved, administration will follow the Select Board Appointment policy and solicit letters of interest with a priority deadline.

Selectperson Bingham moved to add up to two alternate members to the Alewife Committee. Selectperson Whitney seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Hoffmann-yes, Selectperson Whitney-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

FYIs

No questions

Matters Not Reasonably Anticipated by the Chair

None

Questions from the Media

None

Next Meetings

March 25, April 1, April 8, and April 22, 2024

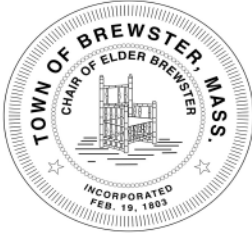
Adjournment

Selectperson Whitney moved to adjourn at 7:53pm. Selectperson Hoffmann seconded the motion. A roll call vote was taken. Selectperson Bingham-yes, Selectperson Whitney-yes, Selectperson Hoffmann-yes, Acting Chair Chaffee-yes. The vote was 4-Yes, 0-No.

Respectfully submitted by Erika Mawn,
Executive Assistant

Approved: _____ Signed: _____
Date Selectperson Hoffmann, Clerk of the Select Board

Accompanying Documents in Packet: Agenda, TM Report, Consent items, Public Hearing documents, FY25 Fixed Rate and Salary Scale, CPC Warrant article info, Budgets, SB Policies, Alewife Committee request, FYIs.



Town of Brewster

2198 Main Street
BREWSTER, MASSACHUSETTS 02631

(508) 896-4506 – Fax (508) 896-8089
cwilliams@brewster-ma.gov

OFFICE OF:
COLETTE WILLIAMS MMC/CMMC
TOWN CLERK
JUSTICE OF THE PEACE

MEMORANDUM

To: Select Board
From: Colette Williams, Town Clerk
Date: March 13, 2024
RE: Registrar Re-appointment

Sally Andreola, the Democratic representative to the Board of Registrars, appointment will expire on March 31, 2024. At this time, I would request that you reappoint Ms. Andreola for another 3-year term. The term timeline would be April 1st, 2024, expiring March 31st, 2027

I have spoken with the Democratic Chair of the local Democratic Town Committee who is supportive of this re-appointment.

Thanking you in advance for your time and attention to this matter.

If you have any questions, please do not hesitate to contact me.

Thank you,

Colette M. Williams
MMC/CMMC
Town Clerk

Archived: Monday, March 18, 2024 3:22:50 PM
From: [Erin Perry](#)
Sent: Mon, 18 Mar 2024 17:28:16
To: [Peter Lombardi](#)
Cc: [Michele White](#)
Subject: CCIWPF Management Board Appointment
Importance: Normal
Sensitivity: None

Hi Peter,

I am reaching out about your appointment to the Cape Cod and Islands Water Protection Fund Management Board.

Massachusetts General Law Chapter 29C §20 - Cape Cod and Islands Water Protection Fund Management Board, states *“There shall be a Cape Cod and Islands Water Protection Fund Management Board that shall consist of 1 person to be appointed by each board of selectmen or town council in each municipality that is a member of the Cape Cod and Islands Water Protection Fund; provided, however, that an appointee of a board of selectmen or town council shall be a member of the respective appointing authority, a town manager, town administrator or other municipally employed professional staff.”*

Additionally, *“Each member of the management board shall serve for a term of 3 years and until a successor is appointed and qualified and each member of the management board shall be eligible for reappointment. Each member of the management board appointed to fill a vacancy on the management board shall be appointed for the unexpired term of the vacant position.”*

Your term expires on 4/4/24. I am reaching out to request that you forward documentation of your reappointment to the Cape Cod and Islands Water Protection Fund Management Board at your convenience. If you have any questions, please do not hesitate to reach out.

Thank you!
Erin



CAPE COD
COMMISSION

Erin Perry
Deputy Director
Cape Cod Commission
508-744-1236
eperry@capecodcommission.org



**Board of Selectmen
Town Administrator**

2198 Main Street
Brewster, Massachusetts 02631-1898
(508) 896-3701
FAX (508) 896-8089

**APPLICATION FOR
ONE-DAY LIQUOR LICENSE**

(must be submitted with application fee two (2) weeks prior to the date of the event)

Applicant's Name: Brewster Sportsman's Club Phone: [REDACTED]
Applicant's Address: 280 Tubman Road, POB 30
Brewster, MA 02631

Type of Event: Annual Game Dinner

Location and Address where Liquor will be served if different from Applicant's Address:

Date and hours requested for Licensed Authorization to serve Liquor:
Day: April 6, 2024 Times: 5:30pm-9pm

Types of Liquor to be served:
Wine and Beer and Liquor

Will food be provided? Food Cooked and Served On Premise

Number of attendees anticipated? Brewster Sportsman's Club

Who will serve the liquor?

Name: Steven C. Frissora

Address: 17 Twinturn Drive
Brewster, MA 02631

Contact phone number(s) for Server(s):
[REDACTED]

FEE= \$35/day/location

Signature of Applicant: _____ Date: March 6, 2024

Signature indicating for Licensing Authority's Approval:
[Handwritten Signature]

Date Mar 6 2024

APPLICATION FOR FACILITY USE
BREWSTER BOARD OF SELECTMEN
2198 MAIN STREET, BREWSTER, MA 02631

All requests must be made **at least two (2) weeks in advance of the desired use date.** For more information please call the Selectmen's Office at 896-3701. Completed forms may be dropped-off or mailed to the address above, or **faxed back to 508-896-8089.**

ORGANIZATION OR GROUP: First Parish Brewster Mt

LOCAL SPONSORING ORGANIZATION: _____

AREA OR FACILITIES NEEDED: Painis Creek Beach.

DATE OR DATES REQUESTED: March 31

TIME IN: 6 TIME OUT: 7 (INCLUDING PREPARATION & DISMANTLING)

PURPOSE OF FACILITY USE: Sunrise Worship Service

NATURE OF ACTIVITY TO TAKE PLACE: _____

WILL ADMISSION FEE BE CHARGED? YES _____ NO AMOUNT _____
NON-PROFIT ORGANIZATION: YES NO _____

IRS # 237113652 TOTAL NUMBER OF PERSONS EXPECTED 10

MAXIMUM PEOPLE EXPECTED AT ONE TIME: 15
ANY SPECIAL EQUIPMENT NEEDED?: No

PERSON RESPONSIBLE FOR THE OBLIGATIONS OF THE GROUP WHO WILL PAY THE BILL - NAME:
Karena Strick

MAILING ADDRESS: 1 Harwich Rd, Brewster, MA 02631

TELEPHONE NUMBER: ~~508-896-5561~~ 508-896-5577

I have read the regulations and understand them with the acknowledgement that any additional expenses incurred will be paid by my organization and that any violation may jeopardize continue use of the building.

Signature: Karena Strick

Telephone: 508-896-5577 x 304



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Brewster, MA 02631
Phone: (508) 896-3701
www.brewster-ma.gov

Office of:
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Town Manager

Application Fee: \$35.00

**APPLICATION FOR
ONE-DAY ENTERTAINMENT LICENSE**

Application must be submitted at least 4 weeks prior to the date of the event. Following submission of a completed application and payment, the request will be placed on a Select Board meeting agenda for review. Submit to Town Manager's office or licenses@brewster-ma.gov.

Section 1: Applicant Information

Applicant's Name:	<i>First Parish Brewster</i>
Applicant's Address:	<i>1 Harwich Rd, Brewster, MA 02631</i>
Telephone # and Email Address:	<i>508-896-5577 administrators@firstparishbrewster.org</i>

Section 2: Event Information

Type of Event:	<i>Worship Service - Sunrise Easter Service</i>
Location of Event:	<i>Paine's Creek Beach</i>
Date of Event & Proposed Times:	<i>March 31, 2024 6 AM</i>
Description of entertainment proposed (include name of band or DJ, and if entertainment will be live, acoustic or amplified, etc.):	<i>A simple worship service with a few hymns sung together</i>
Will entertainment be performed indoors or outdoors:	<i>outdoors.</i>

Section 3: Additional Information:

Will temporary structures be erected (i.e., platforms, scaffolds, tents, pavilions, etc.)? Yes: _____ No:

*If yes, a building permit may be needed, please contact the building department for more information.

Number of anticipated attendees over the course of the event: 10 Maximum # at any one time: 15

Applicant Signature: *Karen St...* Date: 3/13/24

First Parish Brewster

An historic Unitarian Universalist congregation in the heart of Cape Cod

March 11, 2024

Dear Brewster Board of Selectman's office,

First Parish Brewster is applying for a Sign Registration & Permit from the Town of Brewster Building Department. There is a \$25 filing fee for this, which we request be waived due to our non-profit/church status.

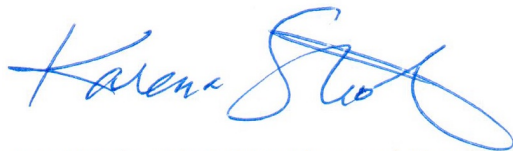
First Parish Brewster is applying for permits to hold an Easter Sunrise Service at Paine's Creek Beach on March 31, 2024. There is a \$35 application fee for the one-day entertainment license and \$50 fee for use of Paine's Creek Beach, we request a fee waiver in the amount of \$85 due to our non-profit/church status.

In 2011, Brewster Meeting House Preservation Project, Inc received a Community Preservation Act grant from the Town of Brewster and part of this agreement was that the Meeting House be available for Brewster community events. We appreciate all the many ways the Town of Brewster and FPB support each other for the good of the community. We believe this request for a sign special permit will also be in the best interest of the larger community.

The Sign Registration & Permit request being submitted to the Building Department is as follows:

Temporary Sign Request: FPBUU requests approval for one sandwich board (size 2 x3) to be displayed in front of the Meetinghouse one week prior to an event which is open to the public.

Thank you for your consideration.



Karena Stroh, Administration and Finance Director
First Parish Brewster Unitarian Universalist

...opening hearts, growing souls, turning love into justice...

Brewster Meeting House: 1969 Main Street Mail: 1 Harwich Road, Brewster, MA 02631

508.896.5577 Webpage: firstparishbrewster.org

To Brewster Select Board

Subject: Waiver of permit fee for replacing the old Scoreboard

March 11, 2024

I am writing to ask for Select Board approval to waive the building and electrical permit fees for replacing the existing Whitecaps Scoreboard with a more modern scoreboard at Stony Brook Field. The project is being built by Scoreboard Enterprise Inc., SEI. SEI is the company that supplied our previous scoreboard over 20 years ago. The new board will be in the same location on the same I-beam supports. It will have modern LED electronics and include features of MPH pitch display and a 'pace of play countdown timer' to be used between pitches and between innings. A pace of play timer will also be installed on the press box. Over the past 5 months, I have spoken to the Town Building Commissioner, Mr. Richard Leibowitz, a few times about the installation of a new scoreboard. He has been very helpful in explaining the permit process and what is required to meet the current permitting requirements. We will require 2 building permits and 2 electrical permits. The total cost of the 4 permits to be waived is \$400. We understand that electrical inspections fees are not waived by the Select Board. SEI will pull the permits and the scoreboard will meet current town requirements.

As you know the Brewster Whitecaps are a non-profit organization, run by a dedicated group of volunteers. I believe that all members of the Select Board agree that the Brewster Whitecaps are an important part of the culture and summer ambiance in Brewster. Whitecaps' support throughout the Town of Brewster has grown substantially over the last 10 years. The whole Brewster community has embraced and supports their 'home team' Brewster Whitecaps.

Thank you for your consideration of this request from the Brewster Whitecaps.

Regards,

Chuck Hanson

Chuck Hanson, Whitecaps Board Member
On behalf of all the Whitecaps Board.

Copy: Richard Leibowitz, Brewster Building Commissioner

****MEMORANDUM****

TO: Brewster Select Board
FROM: Jay Packett, Golf Director of Operations
DATE: March 11, 2024
RE: Acceptance of Gift

The Golf Commission and I are recommending the acceptance of a gift in the form of a memorial bench in honor of Phyllis DiPietro. Phyllis was a long-time member at the golf course. The Golf Commission voted unanimously in favor of this bench at its February 27, 2024 meeting. The bench will be located on one of the golf courses at the discretion of the Director of Operations and golf course Superintendent.

I appreciate your consideration and would be happy to discuss further.



Department of Public Works

201 Run Hill Road
Brewster, Massachusetts 02631-1898
Tel (508) 896-3212

Griffin Ryder, Superintendent

James Jones, Foreman

Memo

To: Brewster Select Board

From: Mike Richards, Master Mechanic

Date: March 18, 2024

RE: Surplus Item

The Department of Public Works is requesting permission from the Select Board to declare a 2011 Chevrolet Silverado pickup truck as surplus for sale on Gov Deals. The truck includes an 8ft Fisher plow attachment and was previously used by the Town's School Department. The truck has reached its useful life in Town as was removed from service and replaced on March 18, 2024, with a new more practical 2024 Hybrid pick up.

Once approved the DPW will follow the process to place the item for sale.

EVENT NOTIFICATION FORM

Date: 3/6/2024

Mary-Joe Perry, District Five Highway Director
MassDOT, Highway Division
1000 County Street, Taunton, MA 02780

Dear Sir:

Please be advised that the Grantee(s) of this Event 38th Annual Town Parade has notified the Board of Selectmen/City Council, Local Police Department, Local Fire Department and if applicable the State Police of its intention to conduct **road work/parade/race/ride** or other events impacting State Highways on Route(s) 6A in or through the City/Town(s) of Brewster benefiting scholarships

The Grantee(s) of this Event understands that it must give the Police and Fire Departments at least 48 hours notice before the commencement of the proposed event.

The Grantee(s) must supply a Traffic Management Plan when the roadway is occupied and for all detours associated with said events to this Department and to all officials listed below. The Grantee(s) must notify the local and/or state police to set up a detour of this area with appropriate signs and barricades. The local Fire Department must be notified of the detour to ensure that measures will be taken to minimize disruption to the Fire Department's emergency service during the event. The Grantee(s) must also notify local media (newspapers, radio) of this proposed event.

The following signatures are required prior to the issuance of the Permit.

LOCAL POLICE DEPARTMENT

Signed: [Signature]
Title: Police Chief
City/Town: Brewster

FIRE DEPARTMENT

Signed: [Signature]
Title: Fire Chief
City/Town: Brewster

BOARD OF SELECTMEN/CITY COUNCIL

Signed: _____
Title: _____
City/Town: _____

STATE POLICE DEPARTMENT

Signed: _____
Title: _____
City/Town: _____

Brewster in Bloom Parade: traffic detour

West bound on Route 6A:

Left on Underpass Road to Route 137

Right on 137 to Tubman Road

Left on Tubman Road

Left on Route 6A

East Bound on Route 6A:

Right on Tubman Road

Right on Route 137

Left on Underpass Road

Right in Route 6A



Town of Brewster

2198 Main Street
Brewster, MA 02631-1898
Phone: (508) 896-3701
Fax: (508) 896-8089

Office of:
Select Board
Town Manager

MEMORANDUM

TO: Brewster Select Board
FROM: Kathy Lambert & Conor Kenny
RE: FY24 Massachusetts Municipal Fiber Grant Application
DATE: 3/21/2024

The Municipal Fiber Grant program is a competitive grant program that supports the closing of critical gaps that exist in municipal networks. The application period for the FY24 municipal fiber grant program opened on March 11, 2024 and closes on **April 12, 2024 at Noon**.

In 2015, the Town of Brewster built a municipal fiber network between eight locations located in close physical proximity along the north side of town. We are proposing to apply for a grant of **\$194,109** in order to build out the existing network to connect to three additional locations in town: the Brewster Water Department, the Captains Golf Course, and the former Cape Cod Sea Camps Bay property.

These locations are currently served by consumer grade cable internet with VPNs to connect to the core network. Speeds are slow, outages are experienced on a regular basis, and there is additional cost associated with the quality of this infrastructure. The project includes running fiber to the additional locations, and hardware and configuration to connect to our core switch at the Police Station.

We respectfully request that the Select Board vote to authorize the submission of an application for \$194,109 under the above-referenced grant program for FY24.

Menu



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SEARCH

[\(/\) > Governor Maura Healey and Lt. Governor Kim Driscoll \(/orgs/governor-maura-healey-and-lt-governor-kim-driscoll\)](#) > [Community Compact Cabinet \(/orgs/comm](#)

About the Municipal Fiber Grant Program

This competitive grant program will assist municipalities across the Commonwealth with the construction/completion of a municipal fiber network.

TABLE OF CONTENTS

[What is the Municipal Fiber Grant Program? \(#what-is-the-municipal-fiber-grant-program?\)](#)

What is the Municipal Fiber Grant Program?

The Municipal Fiber Grant program is a competitive grant program that supports the closing of critical gaps that exist in municipal networks. Focused on connecting municipality-owned facilities, it will assist municipalities in achieving many critical goals associated with municipal fiber networks, including the following:

- Growing risk and incidences of cyber security exploits in local government
- Significant increases in the complexity and expectations of IT infrastructure in local government
- Expectation that municipal employees should be able to collaborate regardless of location
- Growing need for internet bandwidth, particularly as line of business technology evolves
- Growing public expectation that online transactions are made available
- Growing need for centralized and proactive management of IT infrastructure
- Increased reliance on technology for school safety and a growing need for centralized security camera management



- Growing reliance on technology to ensure continuity of government and disaster recovery
- Growing technology dependency for public safety interoperability, radio backhaul, and emergency operations center

The provision of fiber in communities allows for centralized management of IT infrastructure, including an enterprise approach to network monitoring, cyber security, records management, and backup and recovery. A cohesive municipal network also creates opportunities to gain economies of scale by aggregating internet bandwidth purchases and the associated security infrastructure.

All municipalities are eligible except those awarded grants in FY23.

RELATED

[Municipal Fiber Grant Program \(/municipal-fiber-grant-program\)](#)

[Municipal Fiber Grant Recipients \(/info-details/municipal-fiber-grant-recipients\)](#)

[Municipal Fiber Grant Program FAQ \(/info-details/municipal-fiber-grant-program-faq\)](#)

[Apply for a Municipal Fiber Grant \(/how-to/apply-for-a-municipal-fiber-grant\)](#)



[\(/\)](#)

All Topics (/topics/massachusetts-topics)

Site Policies (/massgov-site-policies)

Public Records Requests (/topics/public-records-requests)

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Town of Brewster
 Scope of Work ITC 71
 Fiber Optic Municipal Area Network
 Phase 2 – Network Additions

Prepared by:	Comm-Tract 235 Summer Road Bldg. 4 Boxborough, MA 01719	Contact: Telephone: Email:	Bryan Hopkins (781) 890-5070 x6952 bhopkins@comm-tract.com
Date:	September 19 th 2023		

Bid No.	Brewster FMAN – Phase 2 V.01
SPIN:	143008129
ITC 71:	VC 6000166632
FCC Registration:	0024175408

Bill To:		Ship To:	
Company:	Town of Brewster	Company:	Town of Brewster
Address:	2198 Main Street Brewster, MA 02631	Address:	2198 Main Street Brewster, MA 02631
Contact Name:	Kathy Lambert	Contact Name:	Kathy Lambert
Phone:	(508) 896-3701 x1131	Phone:	(508) 896-3701 x1131
Fax:		Fax:	
Email:	klambert@town.brewster.ma.us	Email:	klambert@town.brewster.ma.us

Description of Work

The Scope of Work (SOW) that follows was developed with information as provided by the Brewster IT Department personnel and this information has been supplemented by field site surveys conducted by Comm-Tract engineers.
 Comm-Tract will provide and install the following fiber optic municipal area network (FMAN) additions:

A. Sites:

1. Cape Cod Sea Camps – 3057 Main Street
2. Captain’s Golf Course – 1000 Freeman’s Way
3. Brewster Water Department – 165 Commerce Park

B. Overview of the Project:

1. The network design is a cascade star architecture to the new remote sites and interconnecting to the existing network at the main splice points (MSP’s) on the existing network backbone.
2. All remote sites listed above will have one (1) new 12 strand count single mode fiber (SMF) to be installed through the existing lateral underground conduit, and/or aerial attachment to the sites.
3. The existing Network Hub at the Police Station will utilize the existing high density fiber housing with three (3) new 12 count coupler termination panels installed.



Town of Brewster
Scope of Work ITC 71
Fiber Optic Municipal Area Network
Phase 2 – Network Additions

4. All work will be fully complete including all fiber splicing at the pole location for the fiber lateral into the building, the fiber entrance cable, the fiber termination panels, the connectors, and all other materials for a complete and fully functional fiber termination in the communications room of each individual site.
5. The fiber optic municipal area network's passive optical design will accommodate all types of wireless, and/or Ethernet connectivity for future additional requirements on the core network.
6. The Network Hub Communications Room will utilize the existing high-density Single Mode Fiber (SMF) SC/PC rack mount termination panel.
7. The new remote sites will each have one (1) 12- strand SMF SC/PC Single-mode wall or rack mount termination panel installed.
8. Both the backbone and lateral fiber cables will be field terminated using SC/PC single-mode connectors.
9. All backbone fibers throughout the network will be fusion spliced.
10. All optical testing will conform to industry standards.
11. The customer shall receive OTDR traces and Power Meter Test results at both 1310nm and 1550nm.
12. All test data will be compiled in electronic copy.

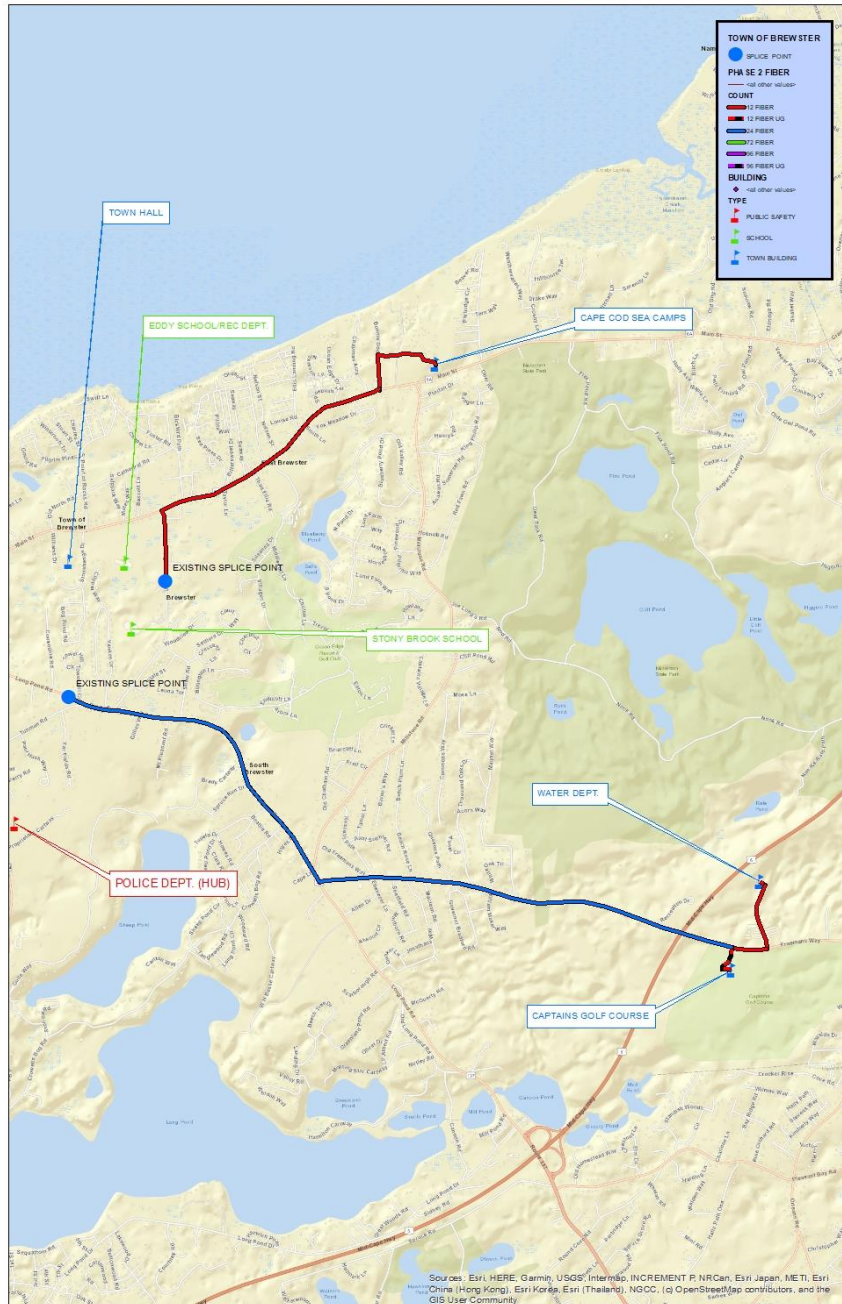
C. Notes:

1. The design of this network addition is a cascade star configuration, and 12 fiber strands will be assigned to the new remote site and carried for the full length of the network route from the remote site to the Network Hub.
2. Fiber strand assignments will be determined jointly with Brewster IT personnel prior to installation of the additional sites.
3. Pricing assumes access to the aerial routes, and/or conduit systems is not restricted in any way, and Comm-Tract will have free and clear access for installation purposes.
4. Pricing assumes the Customer would utilize existing location agreements with the carrier and/or utility for rights to the municipal space on the poles for the route(s).
5. Pricing assumes the project is installed in one deployment. Should any site(s) not be ready for installation and require return trip(s) additional costs may apply.
6. Customer is responsible for providing trash receptacle for non-hazardous waste disposal of fiber cable scrap, wooden fiber reels, and corrugated shipping boxes.
7. Customer is responsible for their Police Department providing adequate Police Details to support the installation work by Comm-Tract. Should such Police Details not be available and cause interruption or delay of the installation work, Comm-Tract may delay the scheduled work, and/or pass through the costs of the trucks, crews, and equipment that are deployed and unable to perform the scheduled work.



Town of Brewster Scope of Work ITC 71 Fiber Optic Municipal Area Network Phase 2 – Network Additions

D. Overview Map – Network Additions:



TOWN OF BREWSTER
ADDITIONAL SITES

PREPARED BY: C. AUCCOIN
DATE: SEPTEMBER 15, 2023
PROPRIETARY AND CONFIDENTIAL



Town of Brewster
Scope of Work ITC 71
Fiber Optic Municipal Area Network
Phase 2 – Network Additions

Quantity	Bill of Materials Description
-----------------	--

To be provided with submittals on the project



Town of Brewster
Scope of Work ITC 71
Fiber Optic Municipal Area Network
Phase 2 – Network Additions

Warranty Information - Technical and Compliance Notes:

The Comm-Tract provided warranty and technical compliance with design and installation standards information is provided below as associated with this scope of work.

- Comm-Tract is a certified provider and partner for the Manufacturer and provides a 25 Year Warranty.
- The 25 Year Warranty commencing on the date of an accepted installation by the Customer covers all Manufacturer's products and materials, and covers the repair, and/or replacement of all installed components including, but not limited to fiber cable, fiber connectors, fiber patch panels, fiber jumpers and patch cords, and other materials as installed.
- The repair and/or replacement of any component in the certified and approved network solution as provided and installed by Comm-Tract under the 25 Year Warranty is provided at no cost to the Customer over the period of the 25 Year Warranty.

- Comm-Tract adheres to the following design and installation standards relative to the scope of work as provided.
- BICSI Design and Installation Applicable Standards
- Telecommunications Industry Association (TIA) Applicable Standards
- Electronics Industry Association (EIA) Applicable Standards

- ANSI/TIA/EIA – 568 Standards
- ANSI/TIA/EIA – 569 Standards
- TIA/EIA 604 Fiber Optic Standards
- TIA-492 Fiber Optic Installation Standards
- TSB-149 Fiber Optic Workmanship Standards
- IEEE 802.3 Standards



Town of Brewster
Scope of Work ITC 71
Fiber Optic Municipal Area Network
Phase 2 – Network Additions

Pricing and Terms	
Customer agrees to the following payment schedule:	
30% Initial Payment upon Delivery of Materials:	\$ 55,590.55
65% Payment upon actual Project Progress:	\$ 120,446.27
5% Final Balance upon Completion:	\$ 9,265.10

- The Project Price shall be subject to adjustment in the event of any mutually agreed upon written changes made to the Scope of Work.
- Prices are valid for 120-days.
- The Project Price does not include licensing of pole or underground facilities.
- The Project Price does not include police details.
- The Project Price does not include permitting if applicable.
- The Project Price does not include any new underground construction.
- The Project Price does not include any applicable taxes as the project is tax exempt.
- The Project Price includes shipping charges.
- The Project Price assumes access to each location is free and clear for installation and all sites are ready for installation under a single deployment. Should a site not be ready, and return trip(s) are required, additional charges will apply.
- Comm-Tract will perform during normal business hours – Monday through Friday, 7am to 3pm unless otherwise specified in the Description of Work.
- Customer hereby agrees to the terms and conditions set forth in the Scope of Work by signing below or issuing a Purchase order referencing this Scope of Work.
- This Scope of Work is governed by the terms and conditions of the Commonwealth of Massachusetts ITC 71 blanket contract.

Site Surveys, Design and Engineering:	Included
Materials:	\$ 80,996.96
Labor:	\$ 100,430.00
Trucks, Equipment, Logistics:	\$ 3,875.00
Certification and Warranty:	Included
Total	\$ 185,301.56

Customer Name:	
Authorized Signature:	
Name:	
Date:	



Q# 10499 - Fiber Expansion Switches

Prepared for **Brewster, Town of**







2198 Main Street

Brewster, Massachusetts 02631, United States

Attention: Kathy Lambert | klambert@brewster-ma.gov

By Alex McCormick | amccormick@retrofit.com

Valid until Wednesday, March 27, 2024

Software, Hardware, and Services				\$18,930.82
Product	Quantity	Price	Amount	
 Aruba 6200F 12G Class4 PoE 2G/2SFP+ 139W Switch	1	\$1,871.49	\$1,871.49	
 Aruba CX 6200F 24G Class 4 PoE 4SFP+ 370W Switch	1	\$4,152.78	\$4,152.78	
 Aruba CX 6200F 48G Class 4 PoE 4SFP+ 370W Switch	1	\$6,323.11	\$6,323.11	
 Aruba 1G SFP LC LX 10km SMF Transceiver	6	\$326.18	\$1,957.08	
 Axiom LC/LC Singlemode Duplex OS2 9/125 Fiber Optic Cable 3m	6	\$18.56	\$111.36	
 Installation of 3 Aruba 6200F switches on new 1G fiber network and reconfigure network routing according to best practices"	1	\$4,515.00	\$4,515.00	

Subtotal	\$18,930.82
Shipping	\$0.00
Tax	\$0.00
Total	\$18,930.82

QUOTE MAY INCLUDE PROMOTIONAL PRICING VALID THROUGH THE END OF THE CURRENT MONTH.
PRICES MAY CHANGE IF ORDER IS RECEIVED AFTER THE END OF THE CURRENT MONTH.

RetroFit is a proud SDO Certified Women Enterprise Business (WBE)

RetroFit is an approved vendor on state contracts ITC73, ITS78 and ERATE.
Please attach this quote when submitting the Purchase Order.

RetroFit Technologies, Inc.
350 Myles Standish Blvd, Suite 202
Taunton, MA 02780

Vendor No: VC6000169064

Typographical Errors - RetroFit cannot be held bound or held responsible for typographical errors or omissions.

Step 1 – Previous Grants: None.

Step 2 – Eligible Entity: Town of Brewster

Step 3 – Contact Information:

Kathy Lambert

I.T Director

1673 Main St., (508) 896-3701 ext. 1131

Klambert@brewster-ma.gov

Step 4 – Grant Contract Signatory: Peter Lombardi

Step 5 – Multi-jurisdictional application: No.

Step 6 – 5% Match: Please indicate how the required 5% match will be provided (in-kind or local funds).

Local funds

Please identify the source of local funds.*

IT Department Capital Article, appropriated November, 2023: STM 11/23 Art. 2 6a. Technology Upgrades/Replacemen (001-1552-5818-40003)

Step 7 – Purpose: Describe the proposed project, including purpose of the grant request, the capital asset needed, project objectives, and the challenges this project would address.

In 2015, the Town of Brewster built a municipal fiber network between eight locations located in close physical proximity along the north side of town. This proposed project would build out the existing network to connect to three additional locations in town: the Brewster Water Department, the Captains Golf Course, and the former Cape Cod Sea Camps Bay property. The latter property is a recreational facility purchased by the Town that currently includes over 90 buildings. The Town has been developing

long-term plans for this property that anticipate reuse of numerous buildings for various community purposes, including the arts, cultural events, and recreation. It also contemplates construction of a new intergenerational community center that would house our Council on Aging and Recreation Departments as well as a new Nature Center in partnership with Mass Audubon.

These locations are currently served by consumer grade cable internet with VPNs to connect to the core network. Speeds are slow, outages are experienced on a regular basis, and there is additional cost associated with the quality of this infrastructure. The project includes running fiber to the additional locations, and hardware and configuration to connect to our core switch at the Police Station.

Step 8 – Project Impact: Choose the option that best explains the specific impact of the proposed project.

What is the specific impact of this project? If "Other", please explain.*

What is the specific impact of this project? If "Other", please explain.

The most significant impact is related to internal operations

The most significant impact is related to interaction with the public

There is a very significant impact to both internal operations and interaction with the public

Other

Step 9 – Benefits: identify project benefits including efficiencies, cost savings, enhanced service levels, and/or improved public access to local government services, providing specifics.

Efficiencies & Cost Savings: Brewster’s fiber network shares a connection on the OpenCape network for 1GB internet speeds. By discontinuing the existing cable internet connections, Brewster should see over \$180,000 in savings over the 25-year expected life of the project (based on current expenses) while significantly improving internet speed at these locations.

Enhanced Service Levels: Adding these locations to the municipal network will immediately lead to these sites experiencing speeds five times greater than current levels for both internet and site-to-site connection to the core Brewster network. This will enable a much wider range of services for the public.

Improved Public Access to Local Government Services: The Cape Cod Sea Camps Bay property is a 55-acre campus with multiple buildings and will be the likely future location of a Community Center, Recreation Department office, and Council on Aging. It already has an Arts Center, Boathouse, and Community Pool and will add a new Nature Center. More community uses are contemplated in some of the other buildings. Further development of this property will require significant increases in bandwidth beyond what is available from our current provider to cover both staff and public connectivity.

Public Safety: The Sea Camps property includes multiple locations for public recreation, including a public bathing beach and pool. Additional bandwidth will be needed for security and public safety monitoring. In addition, cellular coverage is poor, making it difficult for the public to contact first responders. Comprehensive Wi-Fi coverage will allow for the use of cell phones by residents in Wi-Fi-calling mode.

Computer Security: Off-site backups at the locations we are seeking to connect are currently bottlenecked by slow internet speeds. Connecting these locations to our fiber backbone will enable more frequent and comprehensive backup options.

Step 10 – Sustainability: In detail, please identify any new one-time or ongoing costs that will be incurred and how the costs will be paid for or offset, including ongoing operational costs. Describe how this new initiative will be financially viable for the long-term once established:*

Once these locations are connected to the core fiber network, there should be no new ongoing regular costs. After the project is complete, we expect there to be significant long-term savings.

Step 11 – Measures of Success: What defines success for this project? Describe how the success of the project will be evaluated. Please include expected measurable improvements in service delivery or efficiency.

The immediate success of this project will be objectively measured by the completion of the fiber rollout and connection to the existing core Brewster network, resulting in an immediate lowering of costs and greater bandwidth. The long-term success of this project will be evaluated in multiple future projects (consolidation of server infrastructure, improved security, and expanded services to the public—particularly at the Sea Camps property) that rely on the bandwidth that this network expansion would provide.

Step 12 – Fiber:

Miles of fiber requested: 6.5 miles

Number of new municipal locations to be served: 3

Number of existing municipal locations to be upgraded: 1

Step 13 – Project Budget: Please provide a budget summary below. Grant requests up to \$250,000 will be considered for a single organization application; up to \$500,000 for a multi-jurisdictional application.

Fiber Optic Cabling: \$185, 301.56

Hardware: \$14,415

Software:

Implementation Services: \$4,515

Other Eligible Costs:

Local Match Amount:\$10,212

Grant Amount Requested \$194,109

Step 14 – Project Timeline: Provide a timeline for the proposed project.

Formal quotes are already in place, and contracts would be signed immediately on notice of award of the grant. Construction would take place as soon as possible, depending on our vendor's schedule. The timeline for the completion of fiber is 1-2 months, and 1 month to engineer connections to our core network.

Step 15 – Additional Comments: Provide any additional comments that you believe would be helpful as part of the review process.

Step 16 – Map: Attach a map of the proposed fiber deployment.

Step 17 – Vendor Quotes/Supporting Documents: Attach any vendor quotes and other supporting documents.

Step 18 – Submission: Once you have completed the application, please click the **Submit Form** button. You will not be able to save or review your application once you hit submit. You will receive notice via email confirming your application.



March 7th, 2024

Town of Brewster, Massachusetts

Attn: Connor Kenny, Project Manager

Re: Verizon Wireless Existing Tower Cell – Generator installation

Location: 1151 Freemans Way, Brewster, MA 02631

Dear Sir Connor Kenny:

SBA Infrastructure LLC, as successor in interest to Dolphin Productions, Inc., (“Lessee”), and Board of Selectman of the Town of Brewster, Barnstable County, Commonwealth of Massachusetts (“Lessor”), entered into a Standard Lease Agreement dated 6/15/1993. for a portion of the real property located at, 1151 Freemans Way, (the “Property”), to install telecommunications equipment as defined therein on the Property.

This letter is to notify you that SBA will be performing maintenance and minor modifications to its antenna facility located on the premises, according to the terms of the lease.

Verizon Wireless, which is an existing carrier on this site, we will be adding an emergency 50kW LP Generator mounted on a 4’ x 8’ reinforced concrete pad and a 325 gallon propane tank mounted on an existing concrete pad within our existing lease space (*the “Request”*) per Construction Drawings, which I have included as supported documentation. Verizon is estimating that, they can be installing the equipment during the month of April 2024, weather permitting.

This project will prevent any loss of communication due to outages and will help support the 5G connectivity needs of residents, businesses, and first responders. Verizon Wireless looks forward to working cooperatively with you to advance these important efforts in your community. Verizon Wireless is committed to working cooperatively with you to process this request in a timely and efficient manner.

SBA Communications on behalf of Verizon Wireless is committed to working cooperatively with you to process this request in a timely and efficient manner. We also understand that these are unprecedented times and welcome the opportunity to answer any questions or concerns you may have to facilitate your review process.

Please do not hesitate to contact me if you have any questions or need any other information.

Respectfully submitted,

Dulce Lara

Site Development Specialist II

New England – New York Metro Area



SBA Communications Corporations

14 Hillside Dr.

Brookline, NH 03033

915.307.0059+ C

dlara@sbsite.com

Your Signal Starts Here.



20 ALEXANDER DRIVE, 2nd FLOOR
WALLINGFORD, CT 06492

HARWICH 2

1151 FREEMANS WAY
BREWSTER, MA 02631
BARNSTABLE COUNTY

PROJECT TYPE: GENERATOR ADD TO EXISTING
WIRELESS TELECOMMUNICATIONS COMPOUND

SITE INFORMATION

VERIZON LOCATION CODE:	138531
VERIZON SITE NAME:	HARWICH 2
SBA SITE NUMBER:	MA13205-A
SBA SITE NAME:	HARWICH 2
SBA COLLO APP NUMBER:	N/A
MDG LOCATION ID:	5000168489
FUZE PROJECT ID:	17129898
SITE ADDRESS:	1151 FREEMANS WAY BREWSTER, MA 02631
PROPERTY OWNER:	OPTASITE TOWERS, LLC C/O SBA INFRASTRUCTURE, LLC ATTN: TAX DEPT SITE #MA13206-A 8501 CONGRESS AVENUE BOCA RATON, FL 33487-1307
TOWER OWNER:	SBA INFRASTRUCTURE, LLC 8501 CONGRESS AVENUE BOCA RATON, FL 33487 PHONE: 561-226-9523
COUNTY	BARNSTABLE COUNTY, MA
ZONING DISTRICT:	(I) INDUSTRIAL
STRUCTURE TYPE:	GUYED TOWER
STRUCTURE HEIGHT:	308'±
STRUCTURE HEIGHT W/APPURTENANCE:	308'±
GROUND ELEVATION:	98'±
TOTAL AMSL:	406'±
SITE CONTROL POINT:	CENTER OF EXISTING GUYED TOWER N 41°-44'-14.00" (41.737222°) (NAD '83) W 70°-00'-38.00" (-70.010556°) (NAD '83)
ARCHITECT/ENGINEER:	CHAPPELL ENGINEERING ASSOCIATES, LLC 201 BOSTON POST ROAD WEST, SUITE 101 MARLBOROUGH, MA 01752

GENERAL NOTES

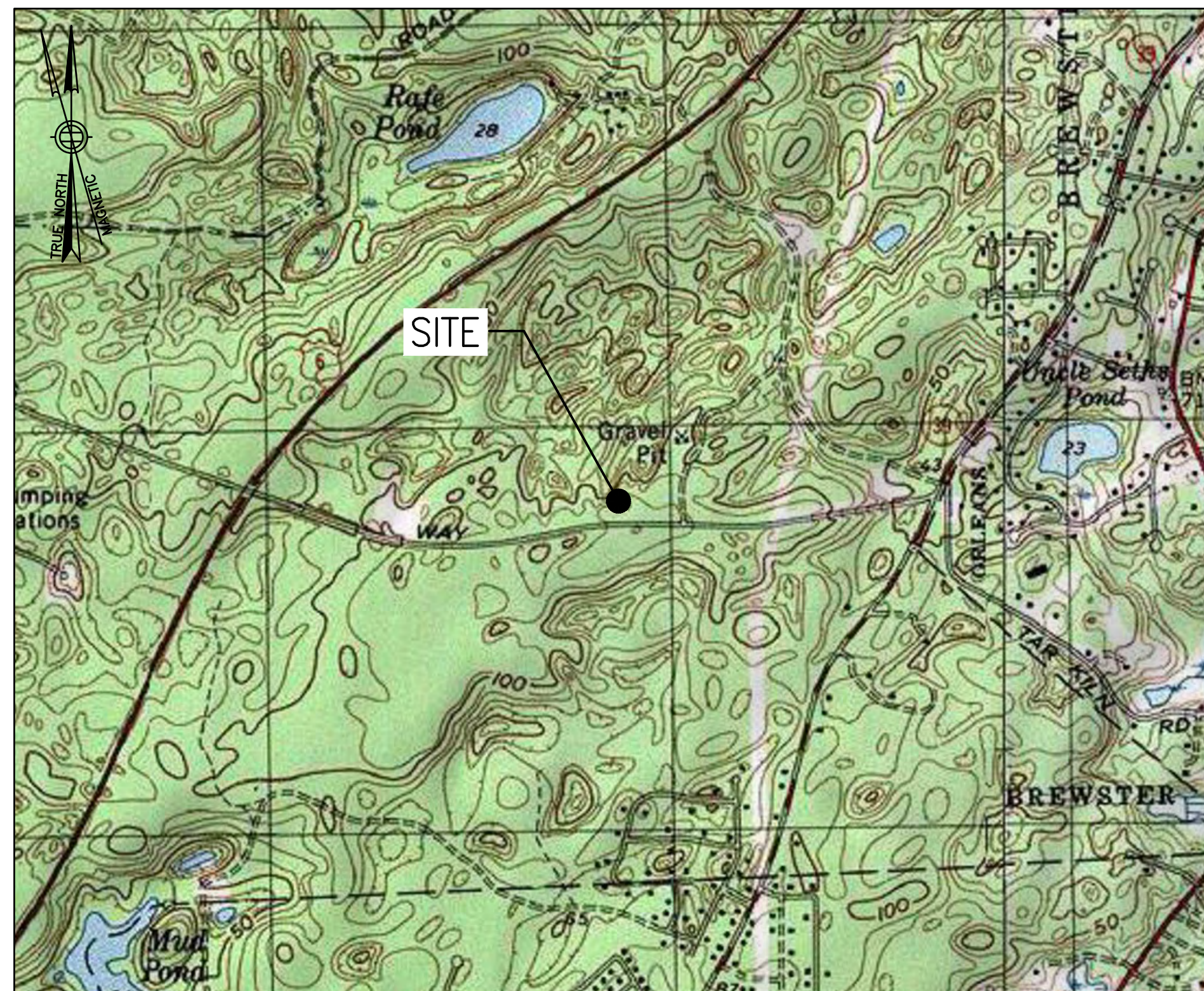
- CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, AND CONDITIONS ON JOB SITE. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. FAILURE TO NOTIFY THE ARCHITECT/ENGINEER PLACES THE RESPONSIBILITY ON THE CONTRACTOR TO CORRECT THE DISCREPANCIES AT THE CONTRACTOR'S EXPENSE.
- NEW CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
 - BUILDING CODE: MASSACHUSETTS STATE BUILDING CODE 780-CMR 9TH EDITION
 - ELECTRICAL CODE: 2023 NATIONAL ELECTRICAL CODE
 - STRUCTURAL CODE: TIA/EIA-222-H STRUCTURAL STANDARDS FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS

AT LEAST 72 HOURS PRIOR TO
DIGGING, THE CONTRACTOR IS
REQUIRED TO CALL DIG SAFE AT 811



VICINITY MAP

SCALE: 1"=1000'



DRIVING DIRECTIONS

FROM WALLINGFORD, TAKE I-91 NORTH TOWARD HARTFORD. USE LEFT 2 LANES TO TAKE EXIT 29 FOR US-5 NORTH/CT-15 NORTH/I-84 EAST TOWARD EAST HARTFORD/BOSTON. MERGE ONTO US-5 NORTH. CONTINUE ONTO CT-15 NORTH. TAKE EXIT ON LEFT ONTO I-84 EAST TOWARD BOSTON. ENTER MASSACHUSETTS. TAKE EXIT ONTO I-90 EAST TOWARD BOSTON/NH-MAINE. USE RIGHT 2 LANES TO TAKE EXIT 106 FOR I-495 SOUTH. CONTINUE ONTO MA-25 EAST. TAKE EXIT 10 TOWARD US-6/BOURNE/HYANNIS. AT TRAFFIC CIRCLE, TAKE EXIT ONTO US-6 EAST/MAIN STREET. CONTINUE TO FOLLOW US-6 EAST. USE RIGHT LANE TO MERGE ONTO US-6 EAST TOWARD MA-6A/HYANNIS. TAKE EXIT 85 FOR MA-137 SOUTH TOWARD CHATHAM. TURN LEFT ONTO MA-137 SOUTH/BREWSTER-CHATHAM ROAD. TURN LEFT ONTO PLEASANT BAY ROAD. TURN LEFT ONTO MA-39 NORTH/ORLEANS-HARWICH ROAD. CONTINUE TO FOLLOW MA-39 NORTH. TURN LEFT ONTO FREEMANS WAY. SITE IS LOCATED ON THE RIGHT HAND SIDE.

SHEET INDEX

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T01	TITLE SHEET	2
GN01	GENERAL NOTES	2
A01	SITE PLAN	2
A02	COMPOUND PLAN	2
A03	EQUIPMENT PLANS	2
A04	EQUIPMENT DETAILS	2
P01	PLUMBING NOTES & SCHEMATIC	2
E01	ELECTRICAL SPECIFICATIONS & NOTES	2
E02	EQUIPMENT UTILITY DIAGRAM & DETAILS	2
E03	GROUNDING DETAILS	2

DO NOT SCALE DRAWINGS

ALL PLANS, EXISTING DIMENSIONS AND CONDITIONS AT THE PROPOSED PROJECT SITE SHALL BE VERIFIED IN THE FIELD DURING THE CONSTRUCTION PHASE. THE PROJECT OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES IMMEDIATELY PRIOR TO PROCEEDING WITH THE PROPOSED WORK AFFECTED BY SUCH DISCREPANCIES. IN THE EVENT OF LACK OF SUCH NOTIFICATION, SUCH DISCREPANCIES SHALL BECOME THE RESPONSIBILITY OF THE PREVAILING CONTRACTOR RESPONSIBLE FOR CONSTRUCTION.

PROJECT DESCRIPTION

- THIS IS AN UNMANNED AND RESTRICTED ACCESS EQUIPMENT INSTALLATION AND WILL BE USED FOR THE TRANSMISSION OF RADIO SIGNAL FOR THE PURPOSE OF PROVIDING PUBLIC WIRELESS TELECOMMUNICATIONS SERVICE.
- THIS FACILITY DOES NOT, NOR WILL IT CONSUME UNRECOVERABLE ENERGY.
- NO PORTABLE WATER SUPPLY IS OR WILL BE PROVIDED AT THIS LOCATION.
- NO WASTE WATER IS OR WILL BE GENERATED AT THIS LOCATION.
- NO SOLID WASTE IS OR WILL BE GENERATED AT THIS LOCATION.

SCOPE OF WORK

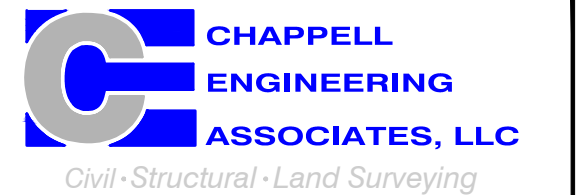
- INSTALL:
- 1 GENERATOR
 - 1 PROPANE TANK



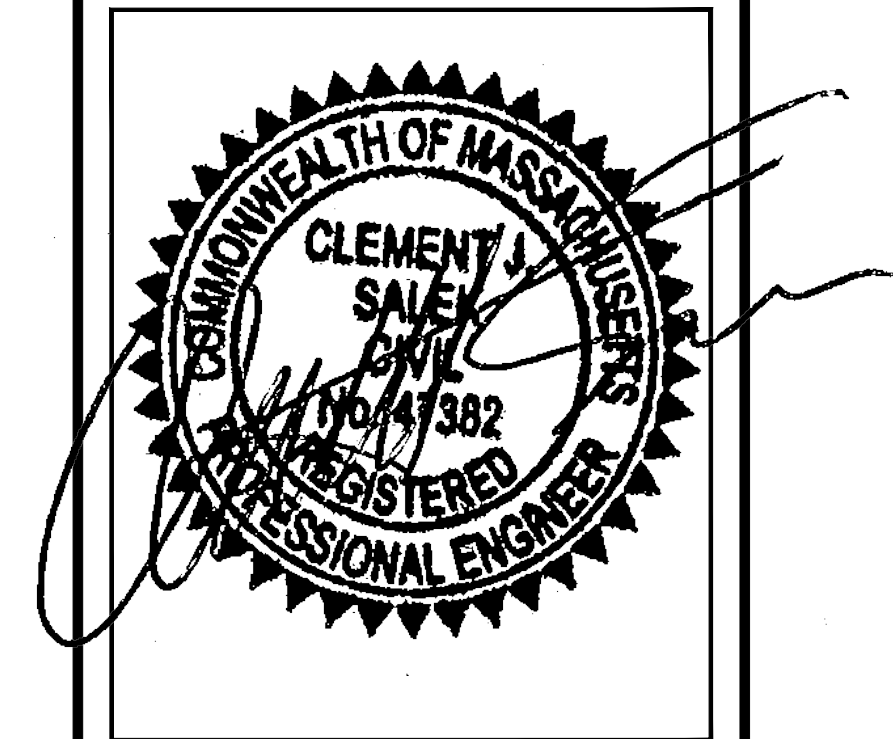
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SUBMITTALS

REV.	DATE	DESCRIPTION	BY
2	02/28/24	CONSTRUCTION REVISED	CMC
1	07/07/23	ISSUED FOR CONSTRUCTION	CMC
0	06/16/23	ISSUED FOR REVIEW	CMC

PROJECT NAME & ADDRESS

HARWICH 2

1151 FREEMANS WAY
BREWSTER, MA 02631

VZW LOCATION CODE: 138531

MDG LOCATION ID: 5000168489

FUZE PROJECT ID: 17129898

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T01

GENERAL NOTES:

- FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY:
CONTRACTOR – VERIZON WIRELESS
SUBCONTRACTOR – GENERAL CONTRACTOR (CONSTRUCTION)
OWNER – VERIZON WIRELESS
OEM – ORIGINAL EQUIPMENT MANUFACTURER
- PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING SUBCONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CONTRACTOR.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.
- ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- DRAWINGS PROVIDED HERE ARE NOT TO BE SCALED AND ARE INTENDED TO SHOW OUTLINE ONLY.
- UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CONTRACTOR.
- SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING. SUBCONTRACTOR SHALL UTILIZE EXISTING TRAYS AND/OR SHALL ADD NEW TRAYS AS NECESSARY. SUBCONTRACTOR SHALL CONFIRM THE ACTUAL ROUTING WITH THE CONTRACTOR.
- THE SUBCONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
- SUBCONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
- THE SUBCONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE SUBCONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- SUBCONTRACTOR SHALL NOTIFY CHAPPELL ENGINEERING ASSOCIATES, LLC. 48 HOURS IN ADVANCE OF POURING CONCRETE OR BACK FILLING TRENCHES, SEALING ROOF AND WALL PENETRATIONS & POST DOWNS, FINISHING NEW WALLS OR FINAL ELECTRICAL CONNECTIONS FOR ENGINEERING REVIEW.
- CONSTRUCTION SHALL COMPLY WITH VERIZON WIRELESS NETWORK STANDARD #NSTD123 TO THE MAXIMUM EXTENT FEASIBLE UNLESS PRECLUDED OR LIMITED BY DESIGN SHOWN ON THESE DRAWINGS.
- SUBCONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS MUST BE VERIFIED. SUBCONTRACTOR SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
- THE EXISTING CELL SITE IS IN FULL COMMERCIAL OPERATION. ANY CONSTRUCTION WORK BY SUBCONTRACTOR SHALL NOT DISRUPT THE EXISTING NORMAL OPERATION. ANY WORK ON EXISTING EQUIPMENT MUST BE COORDINATED WITH CONTRACTOR. ALSO, WORK SHOULD BE SCHEDULED FOR AN APPROPRIATE MAINTENANCE WINDOW USUALLY IN LOW TRAFFIC PERIODS AFTER MIDNIGHT.
- SINCE THE CELL SITE IS ACTIVE, ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUTDOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGER. PERSONAL RF EXPOSURE MONITORS ARE TO BE WORN TO ALERT OF ANY DANGEROUS EXPOSURE LEVELS.

SITE WORK GENERAL NOTES:

- THE SUBCONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY ENGINEERS. EXTREME CAUTION SHOULD BE USED BY THE SUBCONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. SUBCONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING & EXCAVATION.
- ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.
- IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE BTS EQUIPMENT AND TOWER AREAS.
- NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
- THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF ENGINEERING, OWNER AND/OR LOCAL UTILITIES.
- THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE AND STABILIZED TO PREVENT EROSION AS SPECIFIED IN THE PROJECT SPECIFICATIONS.
- SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
- THE SUBCONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE VERIZON WIRELESS SPECIFICATION FOR SITE SIGNAGE.

CONCRETE AND REINFORCING STEEL NOTES:

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE. A HIGHER STRENGTH (4000PSI) MAY BE USED. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 381 CODE REQUIREMENTS
- REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE, WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNO.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
CONCRETE CAST AGAINST EARTH.....3 IN.
CONCRETE EXPOSED TO EARTH OR WEATHER:
#6 AND LARGER2 IN.
#5 AND SMALLER & WWF1½ IN.
CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
SLAB AND WALL¾ IN.
BEAMS AND COLUMNS½ IN.
- A CHAMFER ¼" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNO, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
- INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE. SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES, SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED. EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/REDHEAD OR APPROVED EQUAL.
- CONCRETE CYLINDER TEST IS NOT REQUIRED FOR SLAB ON GRADE WHEN CONCRETE IS LESS THAN 50 CUBIC YARDS (IBC1905.6.2.3) IN THAT EVENT THE FOLLOWING RECORDS SHALL BE PROVIDED BY THE CONCRETE SUPPLIER:
(A) RESULTS OF CONCRETE CYLINDER TEST PERFORMED AT THE SUPPLIER'S PLANT.
(B) CERTIFICATION OF MINIMUM COMPRESSIVE STRENGTH FOR THE CONCRETE GRADE SUPPLIED.
FOR GREATER THAN 50 CUBIC YARDS THE GC SHALL PERFORM THE CONCRETE CYLINDER TEST.
- AS AN ALTERNATIVE TO ITEM 7. TEST CYLINDERS SHALL BE TAKEN INITIALLY AND THEREAFTER FOR EVERY 50 YARDS OF CONCRETE FROM EACH DIFFERENT BATCH PLAN.
- EQUIPMENT SHALL NOT BE PLACED ON NEW PADS FOR SEVEN DAYS AFTER PAD IS POURED, UNLESS IT IS VERIFIED BY CYLINDER TESTS THAT COMPRESSIVE STRENGTH HAS BEEN ATTAINED.

STRUCTURAL STEEL NOTES:

- ALL STEEL WORK SHALL BE PAINTED OR GALVANIZED IN ACCORDANCE WITH THE DRAWINGS AND VERIZON WIRELESS SPECIFICATION 25252-000-3PS-GET-00001 UNLESS OTHERWISE NOTED. STRUCTURAL STEEL SHALL BE ASTM-A-36 UNLESS OTHERWISE NOTED ON THE SITE SPECIFIC DRAWINGS. STEEL DESIGN, INSTALLATION AND BOLTING SHALL BE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) "MANUAL OF STEEL CONSTRUCTION".
- ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC AND AWS D1.1. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION", 9TH EDITION. PAINTED SURFACES SHALL BE TOUCHED UP.
- BOLTED CONNECTIONS SHALL USE BEARING TYPE ASTM A325 BOLTS (¾") AND SHALL HAVE MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
- NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE ¾" DIA. ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.
- INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHORS SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO THE MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR CONTRACTOR APPROVAL WHEN DRILLING HOLES IN CONCRETE. SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES, SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURER'S MAXIMUM ALLOWABLE LOADS. ALL EXPANSION/WEDGE ANCHORS SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED. EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/REDHEAD OR APPROVED EQUAL.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ENGINEER REVIEW & APPROVAL ON PROJECTS REQUIRING STRUCTURAL STEEL
- ALL STRUCTURAL STEEL WORK SHALL BE DONE IN ACCORDANCE WITH AISC SPECIFICATIONS.

SOIL COMPACTION NOTES FOR SLAB ON GRADE:

- EXCAVATE AS REQUIRED TO REMOVE VEGETATION AND TOPSOIL TO EXPOSE NATURAL SUBGRADE AND PLACE CRUSHED STONE AS REQUIRED.
- COMPACTION CERTIFICATION: AN INSPECTION AND WRITTEN CERTIFICATION BY A QUALIFIED GEOTECHNICAL TECHNICIAN OR ENGINEER IS ACCEPTABLE.
- AS AN ALTERNATE TO INSPECTION AND WRITTEN CERTIFICATION, THE "UNDISTURBED SOIL" BASE SHALL BE COMPACTED WITH "COMPACTION EQUIPMENT", LISTED BELOW, TO AT LEAST 90% MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM D 1557 METHOD C.
- COMPACTED SUBBASE SHALL BE UNIFORM AND LEVELLED. PROVIDE 6" MINIMUM CRUSHED STONE OR GRAVEL COMPACTED IN 3" LIFTS ABOVE COMPACTED SOIL. GRAVEL SHALL BE NATURAL OR CRUSHED WITH 100% PASSING #1 SIEVE.
- AS AN ALTERNATE TO ITEMS 2 AND 3, THE SUBGRADE SOILS WITH 5 PASSES OR A MEDIUM SIZED VIBRATORY PLATE COMPACTOR (SUCH AS BOMAG BPR 30/38) OR HAND-OPERATED SINGLE DRUM VIBRATORY ROLLER (SUCH AS BOMAG BW 55E), AND SOFT AREAS THAT ARE ENCOUNTERED SHOULD BE REMOVED AND REPLACED WITH A WELL-GRADED GRANULAR FILL AND COMPACTED AS STATED ABOVE.

COMPACTION EQUIPMENT:

- HAND OPERATED DOUBLE DRUM, VIBRATORY ROLLER, VIBRATORY PLATE COMPACTOR OR JUMPING JACK COMPACTOR.

CONSTRUCTION NOTES:

- FIELD VERIFICATION: SUBCONTRACTOR SHALL FIELD VERIFY SCOPE OF WORK, VERIZON WIRELESS ANTENNA PLATFORM LOCATION AND ANTENNAS TO BE REPLACED.
- COORDINATION OF WORK: SUBCONTRACTOR SHALL COORDINATE RF WORK AND PROCEDURES WITH CONTRACTOR.
- CABLE LADDER RACK: SUBCONTRACTOR SHALL FURNISH AND INSTALL CABLE LADDER RACK, CABLE TRAY, AND CONDUIT AS REQUIRED TO SUPPORT CABLES TO THE NEW BTS LOCATION.

ELECTRICAL INSTALLATION NOTES:

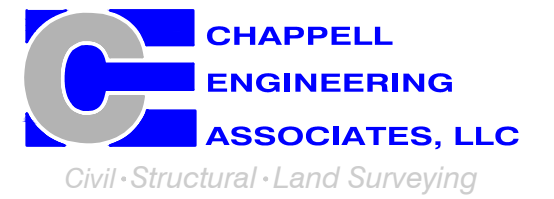
- WIRING, RACEWAY, AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC AND TELCORDIA.
- SUBCONTRACTOR SHALL MODIFY EXISTING CABLE TRAY SYSTEM AS REQUIRED TO SUPPORT RF AND TRANSPORT CABLEING TO THE NEW BTS EQUIPMENT. SUBCONTRACTOR SHALL SUBMIT MODIFICATIONS TO CONTRACTOR FOR APPROVAL.
- ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC AND TELCORDIA.
- CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.
- EACH END OF EVERY POWER, GROUNDING, AND T1 CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC & OSHA, AND MATCH EXISTING INSTALLATION REQUIREMENTS.
- POWER PHASE CONDUCTORS (I.E., HOTS) SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, ½ INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). PHASE CONDUCTOR COLOR CODES SHALL CONFORM WITH THE NEC & OSHA AND MATCH EXISTING INSTALLATION REQUIREMENTS
- ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANEL BOARD AND CIRCUIT ID'S).
- PANEL BOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS.
- ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
- POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (#34 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (#6 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2 GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED OUTDOORS, OR BELOW GRADE, SHALL BE SINGLE CONDUCTOR #3 AWG SOLID TINNED COPPER CABLE, UNLESS OTHERWISE SPECIFIED.
- POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#34 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; WITH OUTER JACKET; LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.
- ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP STYLE, COMPRESSION WIRE LUGS AND WIRE NUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRE NUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C (90°C IF AVAILABLE).
- RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- NEW RACEWAY OR CABLE TRAY WILL MATCH THE EXISTING INSTALLATION WHERE POSSIBLE.
- ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
- ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
- GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE
- RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND; DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.
- LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
- CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SET SCREW FITTINGS ARE NOT ACCEPTABLE.
- CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- CABINETS, BOXES, AND WIREWAYS TO MATCH THE EXISTING INSTALLATION WHERE POSSIBLE.
- WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL); AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS
- METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- NONMETALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
- THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.
- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES.
- CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.



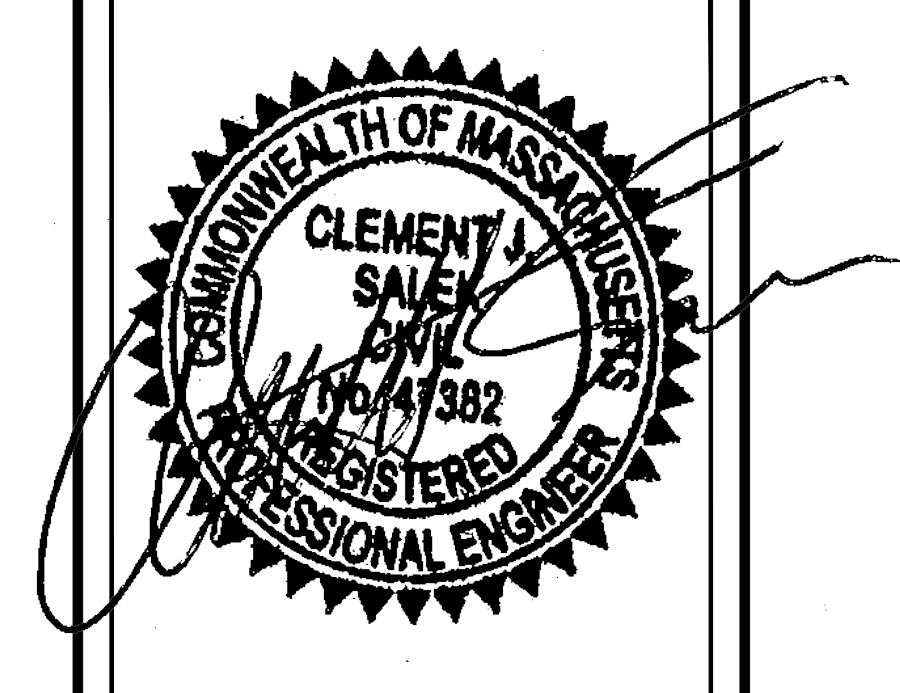
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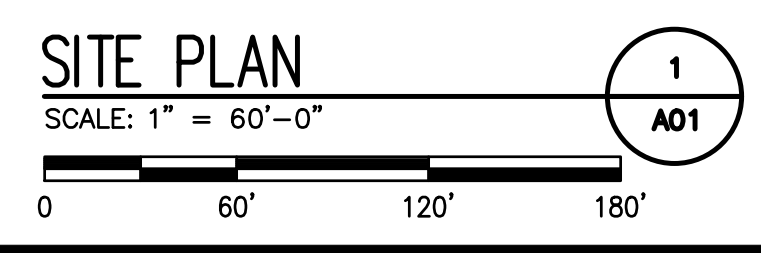
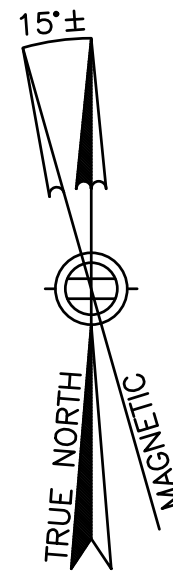
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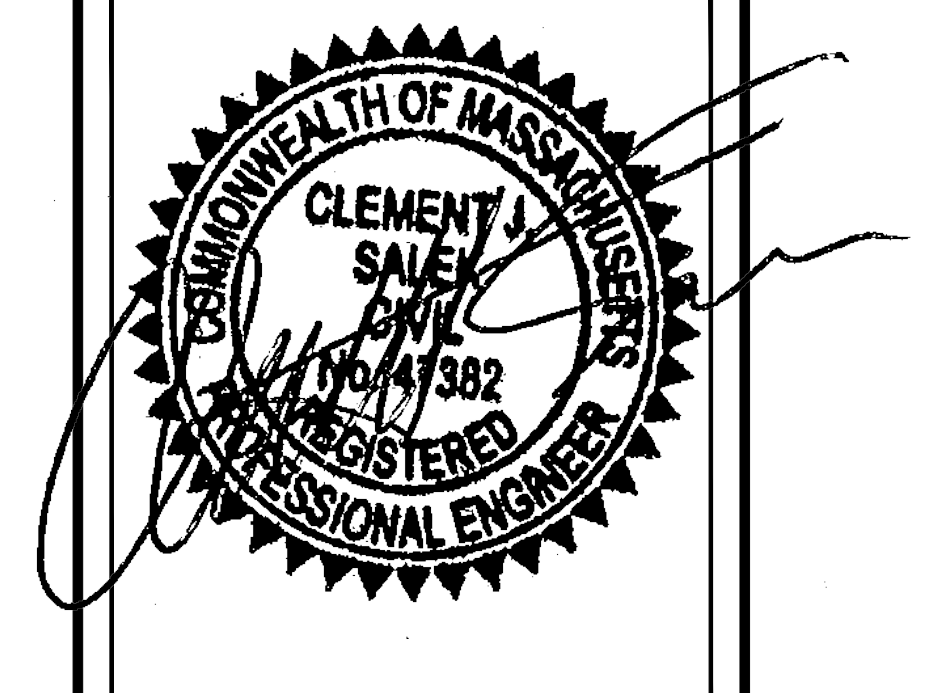
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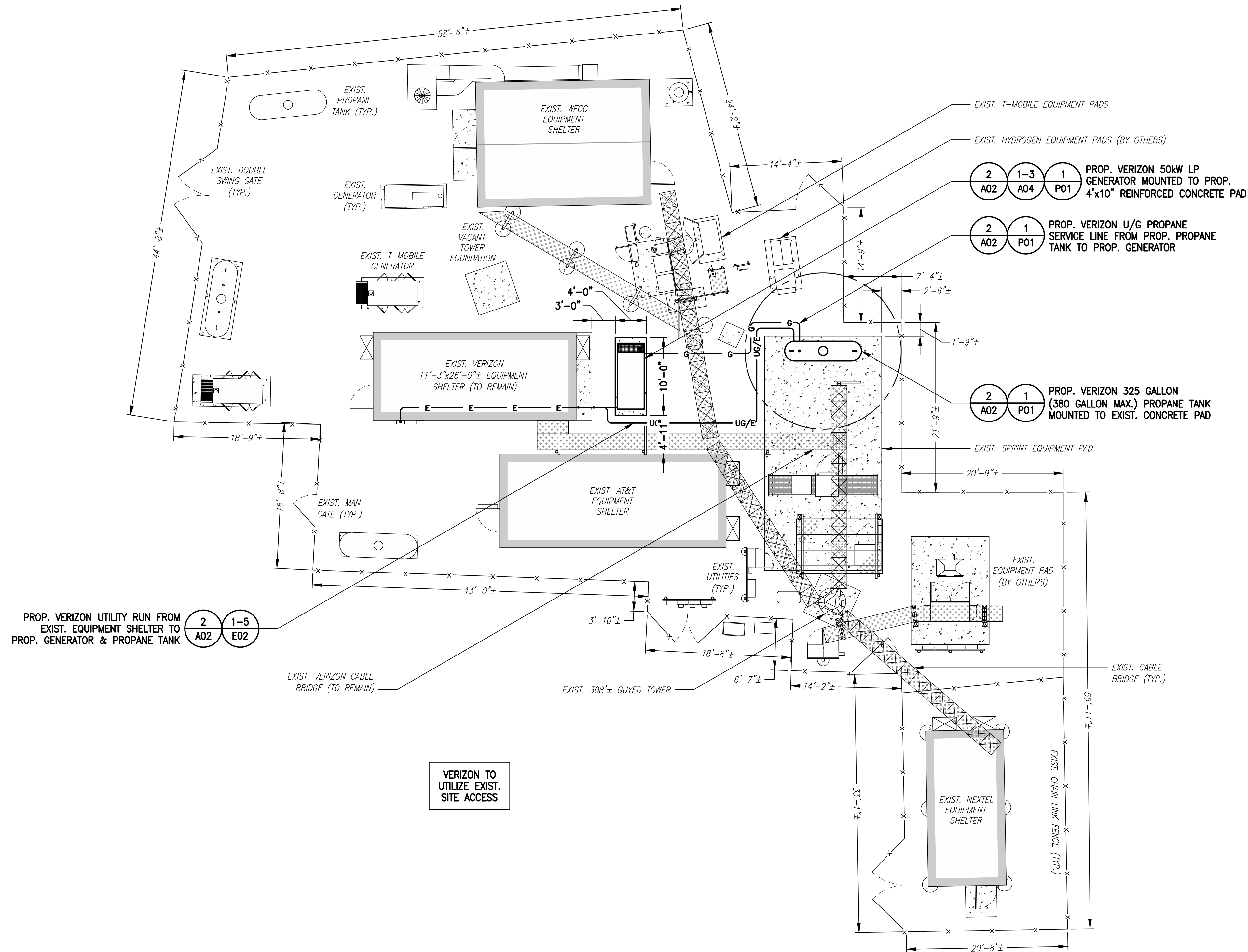
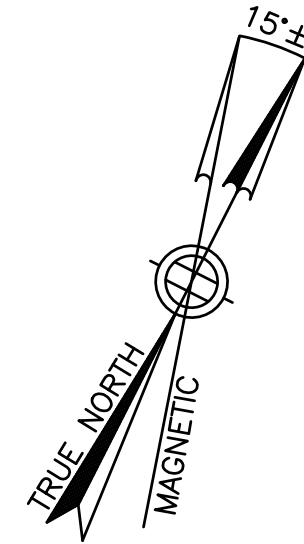
PROJECT NAME & ADDRESS
HARWICH 2
 1151 FREEMANS WAY
 BREWSTER, MA 02631

VZW LOCATION CODE: 138531
 MDG LOCATION ID: 5000168489
 FUZE PROJECT ID: 17129898

SHEET TITLE
SITE PLAN

SHEET NUMBER
A01

SPECIAL CONSTRUCTION WORK NOTE (HAND DUG UTILITY TRENCH EXCAVATION REQUIRED):
 EXISTING UNDERGROUND UTILITY LOCATIONS ARE UNKNOWN. GENERAL CONTRACTOR SHALL HAND-EXCAVATE TO REQUIRED SUB-GRADE DEPTH SUFFICIENT TEST HOLES OR AS DIRECTED/REQUIRED BY SBA REGIONAL SITE MANAGER SHALL HAND-EXCAVATE ALL PROPOSED UNDERGROUND UTILITY TRENCHES. GENERAL CONTRACTOR RESPONSIBLE FOR ANY REQUIRED SPECIAL TEMPORARY PROTECTION OF EXISTING UNDERGROUND UTILITIES, PHYSICAL DAMAGE REPAIR, AND SERVICE RESTORATION.



VERIZON TO UTILIZE EXIST. SITE ACCESS

COMPOUND PLAN

SCALE: 1/8" = 1'-0"



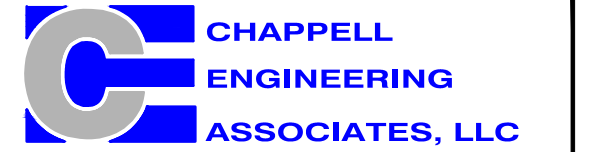
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A02



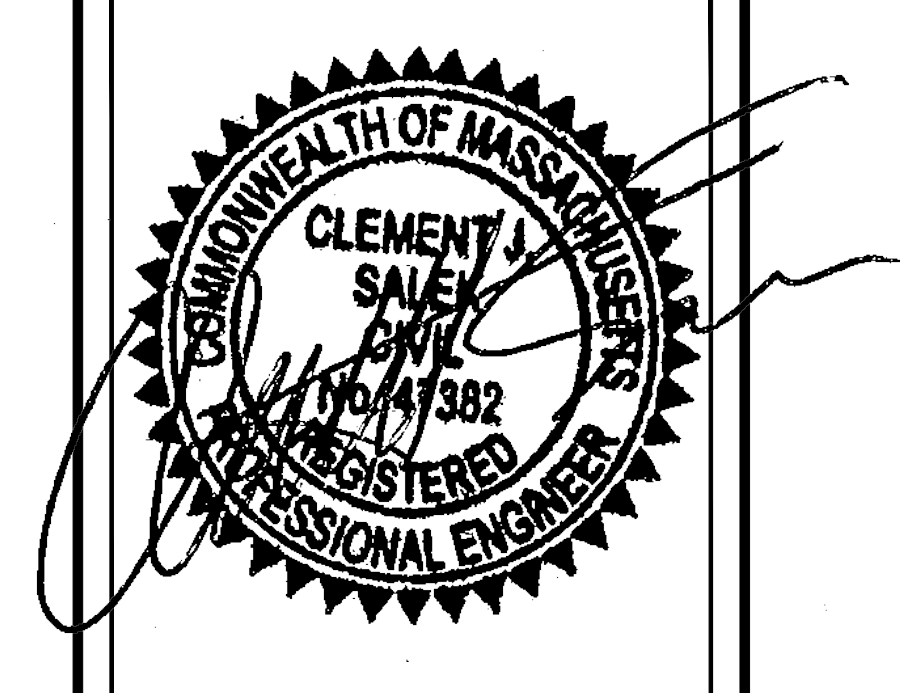
20 ALEXANDER DRIVE, 2ND FLOOR
 WALLINGFORD, CT 06492
 (203) 741-7338



SBA COMMUNICATIONS CORP.
 134 FLANDERS ROAD, SUITE 125
 WESTBOROUGH, MA 01581
 (508) 251-0720



R.K. EXECUTIVE CENTRE
 201 BOSTON POST ROAD WEST, SUITE 101
 MARLBOROUGH, MA 01752
 (508) 481-7400
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CHECKED BY: JMT

APPROVED BY: JMT

SUBMITTALS			
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1	07/07/23	ISSUED FOR CONSTRUCTION	CMC
0	06/16/23	ISSUED FOR REVIEW	CMC

PROJECT NAME & ADDRESS
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 1151 FREEMANS WAY
 BREWSTER, MA 02631

VZW LOCATION CODE: 138531
 MDG LOCATION ID: 5000168489
 FUZE PROJECT ID: 17129898

SHEET TITLE
COMPOUND PLAN

SHEET NUMBER
A02

SPECIAL CONSTRUCTION WORK NOTE (HAND DUG UTILITY TRENCH EXCAVATION REQUIRED):
 EXISTING UNDERGROUND UTILITY LOCATIONS ARE UNKNOWN. GENERAL CONTRACTOR SHALL HAND-EXCAVATE TO REQUIRED SUB-GRADE DEPTH SUFFICIENT TEST HOLES OR AS DIRECTED/REQUIRED BY SBA REGIONAL SITE MANAGER SHALL HAND-EXCAVATE ALL PROPOSED UNDERGROUND UTILITY TRENCHES. GENERAL CONTRACTOR RESPONSIBLE FOR ANY REQUIRED SPECIAL TEMPORARY PROTECTION OF EXISTING UNDERGROUND UTILITIES, PHYSICAL DAMAGE REPAIR, AND SERVICE RESTORATION.

APPROX. LOCATION OF PROP. GENERATOR

APPROX. LOCATION OF PROP. PROPANE TANK



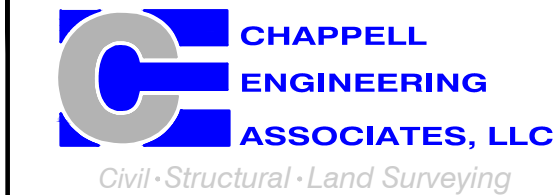
PROPOSED EQUIPMENT LOCATION PHOTO
 SCALE: N.T.S.



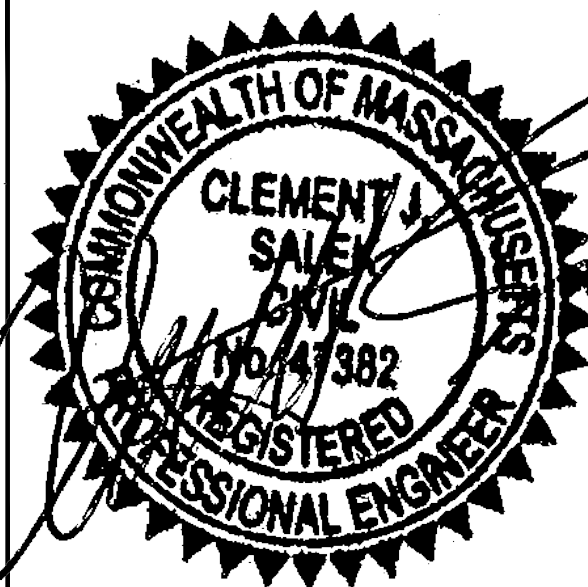
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PROJECT NAME & ADDRESS

HARWICH 2

1151 FREEMANS WAY
 BREWSTER, MA 02631

VZW LOCATION CODE: 138531

MDG LOCATION ID: 5000168489

FUZE PROJECT ID: 17129898

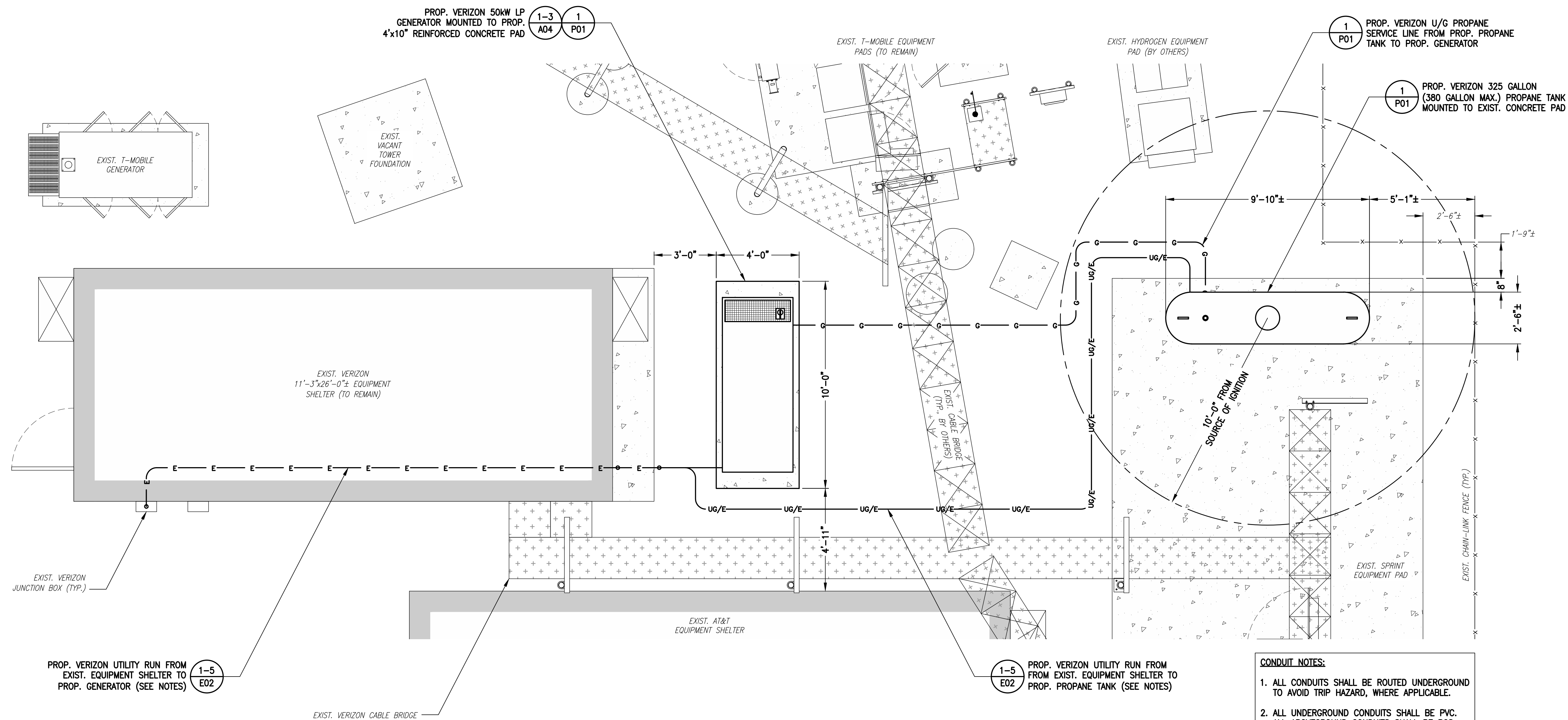
SHEET TITLE

EQUIPMENT PLANS

SHEET NUMBER

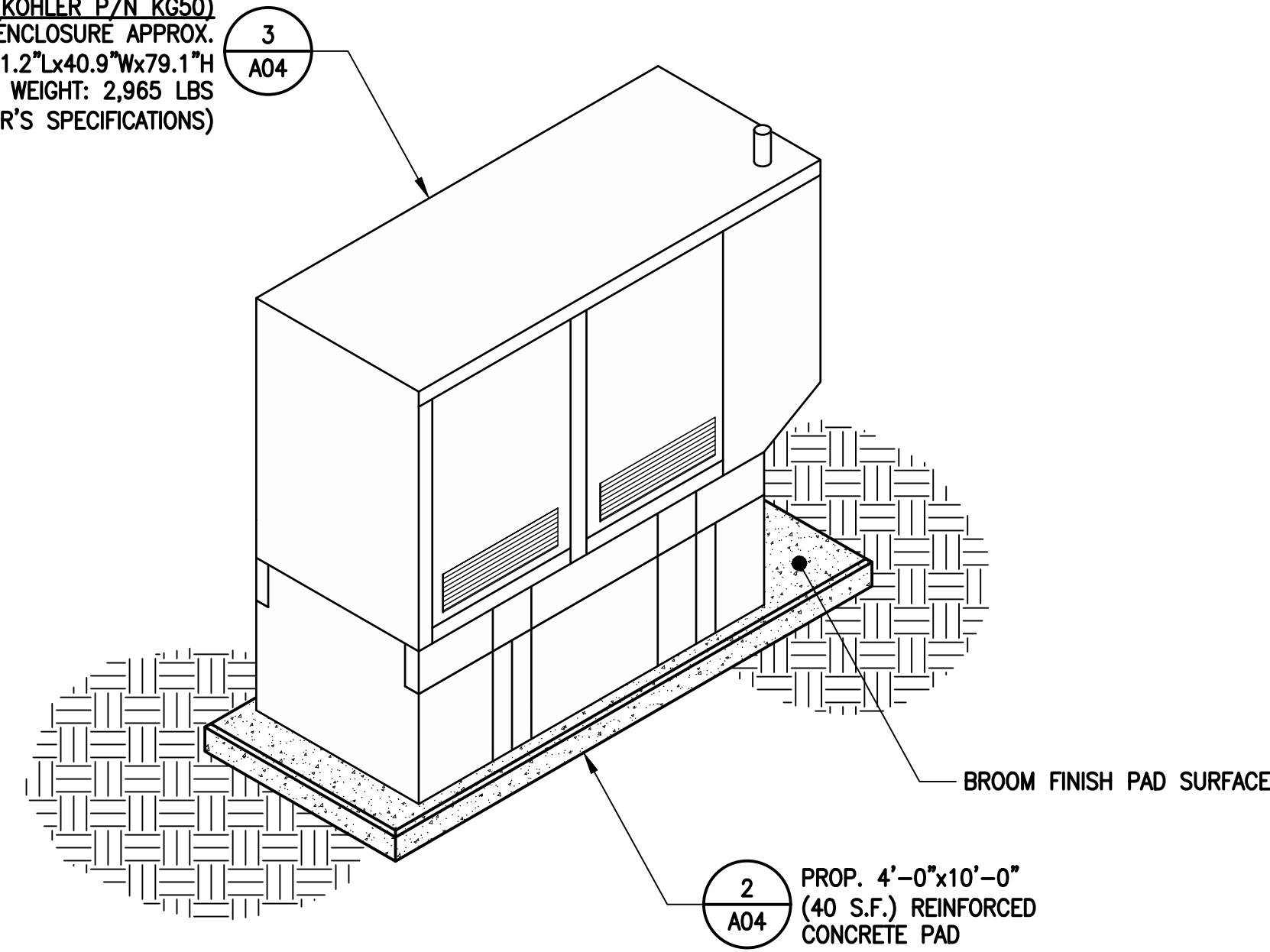
A03

22135.010



PROPOSED EQUIPMENT PLAN
 SCALE: 3/8" = 1'-0"
 0 2'-8" 5'-4" 8'-0"

PROP. POWER BACK-UP 50KW AC PROPANE GENERATOR (KOHLER P/N KG50)
 OVERALL GENERATOR ENCLOSURE APPROX.
 DIMENSIONS: 101.2"L x 40.9"W x 79.1"H
 APPROX. WET GENERATOR WEIGHT: 2,965 LBS
 (MOUNT PER MANUFACTURER'S SPECIFICATIONS)



GENERATOR AREA ISOMETRIC VIEW
 SCALE: N.T.S.

CONCRETE GENERAL NOTES

- ALL CONCRETE WORK SHALL CONFORM TO ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND TO THE PROJECT SPECIFICATIONS.
- ALL CONCRETE IS TO BE NORMAL DENSITY CONCRETE WITH A MAXIMUM SLUMP OF 4 INCHES. MAXIMUM AGGREGATE SIZE 3/4 INCH. NO ADDITIONAL WATER SHALL BE ADDED TO THE CONCRETE AT THE JOB SITE.
- PROVIDE AIR ENTRAINMENT OF 4 TO 6 PERCENT IN ALL EXPOSED CONCRETE WORK WITH AIR-ENTRAINING ADMIXTURE COMPLYING WITH ASTM C 260. AT TROWEL-FINISHED FLOORS, DO NOT EXCEED AIR-ENTRAINMENT CONTENT OF 3 PERCENT.
- NO HOLES OR SLEEVES SHALL BE MADE THROUGH CONCRETE WORK OTHER THAN THOSE INDICATED ON THE STRUCTURAL DRAWINGS WITHOUT THE APPROVAL OF THE STRUCTURAL ENGINEER.
- ALL FORMWORK OFFSET TOLERANCES (PER ACI 117) TO BE CLASS A.
- FLOOR SLAB TOLERANCES TO ASTM E1155; SPECIFIED OVERALL MINIMUM VALUE OF FLATNESS F F=25 WITH LOCAL MINIMUM F F=17, AND MINIMUM VALUE OF LEVELNESS F F=20 WITH LOCAL MINIMUM F F AND F F WITHIN 72 HOURS OF SLAB CONSTRUCTION.
- CABINETS ON SLAB (IF APPLICABLE). ALLOWABLE CAPACITY OF CONCRETE USED IN DESIGN MIN. 4000 PSL.

FOUNDATION NOTES:

1. DESIGN INFORMATION AND GENERAL REQUIREMENTS

1.1 CODES

- DESIGN CONFORMS TO INTERNATIONAL BUILDING CODE 2012.
- AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," ACI 318-08.

2. EARTHWORK

2.1 FOUNDATIONS

- FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON (UNDISTURBED RESIDUAL SOILS/COMPACTED STRUCTURAL FILL), CAPABLE OF SAFELY SUPPORTING A NET ALLOWABLE BEARING PRESSURE OF 2000 PSF. IF FOUNDATION CONDITIONS PROVE UNACCEPTABLE AT ELEVATIONS SHOWN, EXCAVATION SHALL BE CARRIED DEEPER AND SHALL BE BACKFILLED WITH LEAN CONCRETE TO PLAN FOOTING BOTTOM, OR REDESIGN OF FOUNDATIONS WILL BE REQUIRED AT THE DIRECTION OF THE ENGINEER.
- DESIGN, FURNISH AND INSTALL ALL TEMPORARY SHEETING, SHORING AND DRAINAGE NECESSARY TO MAINTAIN THE EXCAVATION AND PROTECT SURROUNDING STRUCTURES AND UTILITIES.
- THOROUGHLY COMPACT ALL BOTTOM OF FOOTINGS PRIOR TO PLACING ANY CONCRETE.

3. CONCRETE

3.1 FORMWORK

- CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS," (ACI 301-89).
- FORMWORK SHALL CONFORM TO ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS."

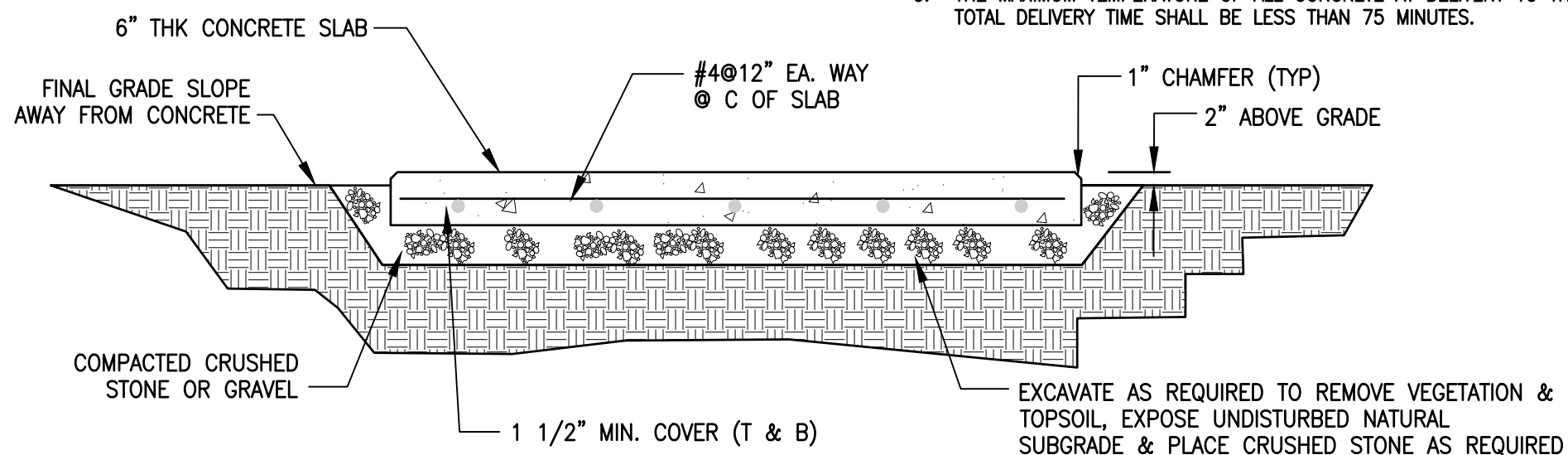
3.2 REINFORCEMENT

- REINFORCING STEEL ASTM A615, GRADE 60. WELDED WIRE ASTM A185 (FLAT SHEET). LAPS 40 BAR DIAMETERS UNLESS NOTED. BARS SHALL BE SECURELY HELD IN ACCURATE POSITION BY SUITABLE ACCESSORIES, TIE BARS, SUPPORT BARS, ETC. HOOK LENGTHS SHALL BE 12 BAR DIAMETERS.
- CONCRETE COVER FOR REINFORCING BARS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED:
 FOOTINGS & SLABS CAST AGAINST GROUND 3"
 CONCRETE TO BE IN CONTACT WITH GROUND 2"
 OR WEATHER AT BARS GREATER THAN #5 2"
 AT BARS #5 OR LESS 1-1/2"
 CONCRETE NOT TO BE EXPOSED TO GROUND 1-1/2"
 OR WEATHER BEAMS, GIRDERS & COLUMNS 3/4"
 SLABS & WALLS 3/4"

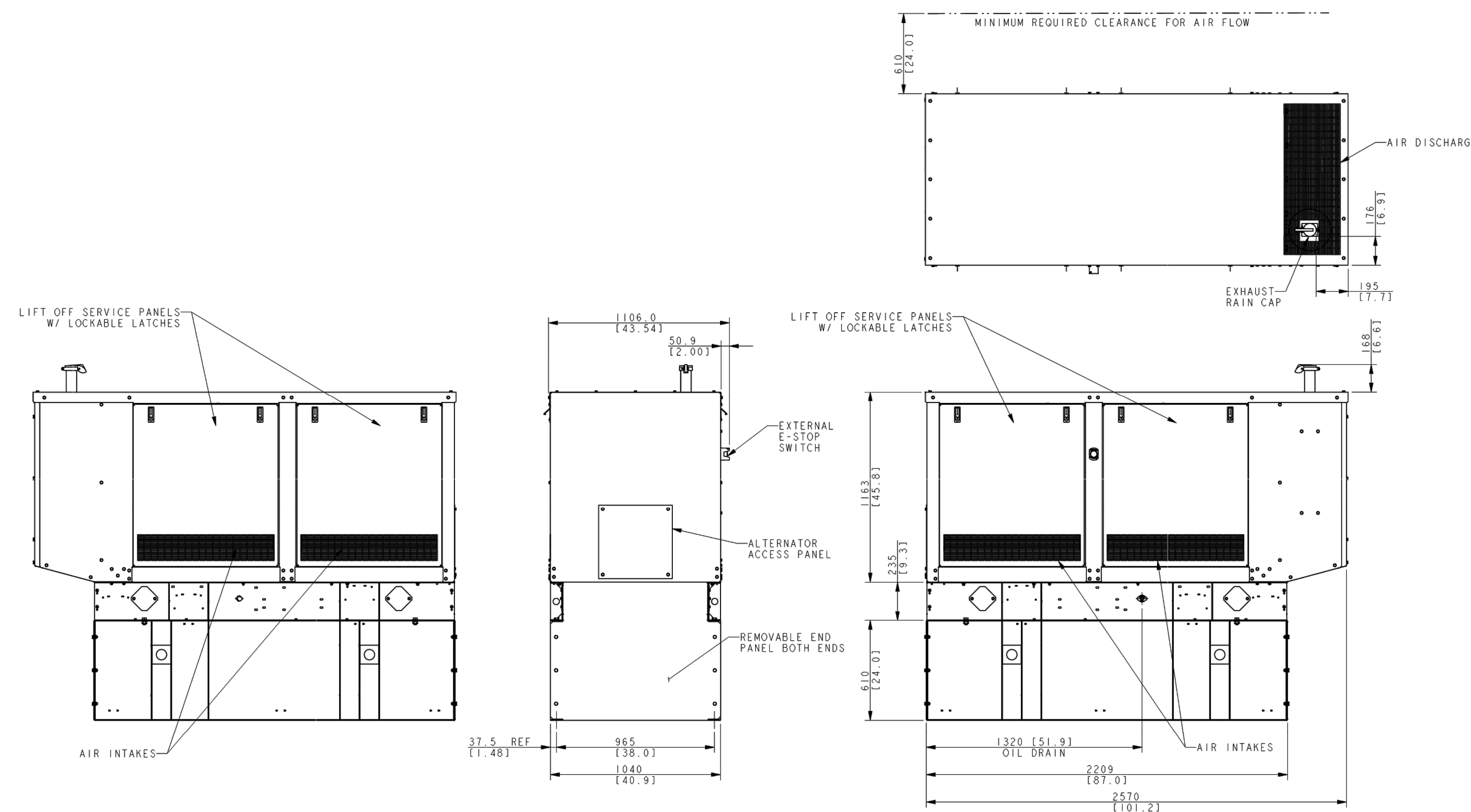
3.3 CAST-IN-PLACE CONCRETE

- MINIMUM 28 DAY CYLINDER STRENGTH AND MAXIMUM SLUMP, PRIOR TO ADDITION OF SUPER PLASTICIZERS, AS FOLLOWS:

	F'c (PSI)	SLUMP
CLASS I FOOTINGS	4000	3"
CLASS II FOOTINGS	4000	3"
CLASS III INTERIOR ELEVATED SLABS & WALLS	4000	4"
CLASS V OTHER WORK	4000	4"
CLASS VI LEAN CONCRETE FOR OVER EXCAVATION OF FOUNDATIONS	2000	N/A
- MIX DESIGN TO BE IN ACCORDANCE WITH ACI 318, CHAPTER 5. NO CALCIUM CHLORIDE OR ADMIXTURE CONTAINING CHLORIDES SHALL BE USED IN ANY CONCRETE.
- COARSE AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL CONFORM TO ASTM C33 SIZE #57. COARSE AGGREGATE FOR LIGHT WEIGHT CONCRETE SHALL CONFORM TO ASTM C330 GRADED 3/4" TO 1/4".
- COLD WEATHER PLACEMENT SHALL COMPLY WITH ACI 306.1.
- HOT WEATHER PLACEMENT SHALL COMPLY WITH ACI 305 R.
- CHAMFER ALL EXPOSED EDGES 3/4".
- THE MAXIMUM TEMPERATURE OF ALL CONCRETE AT DELIVERY TO THE SITE SHALL BE 85F. TOTAL DELIVERY TIME SHALL BE LESS THAN 75 MINUTES.



CONCRETE PAD DETAIL
 SCALE: N.T.S.



KOHLER KG50 50KW AC PROPANE GENERATOR

DIMENSIONS: 101.2"L x 40.9"W x 79.1"H
 WEIGHT: 2,965 lbs
 QUANTITY: TOTAL OF 1

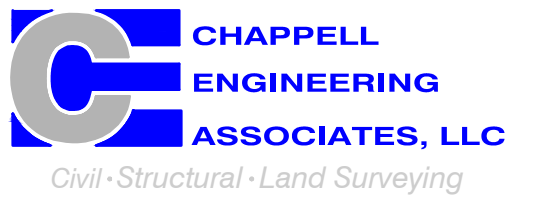
GENERATOR DETAIL
 SCALE: N.T.S.



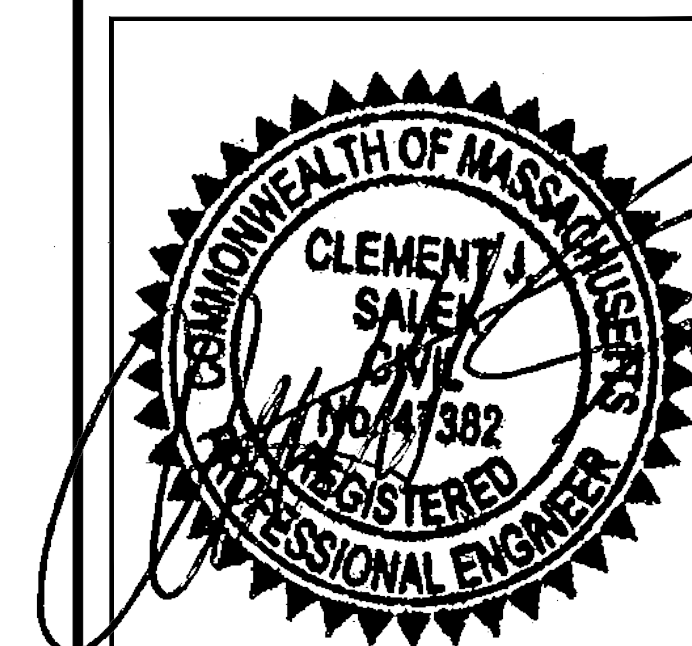
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 BREWSTER, MA 02631

VZW LOCATION CODE: 138531

MDG LOCATION ID: 5000168489

FUZE PROJECT ID: 17129898

SHEET TITLE

EQUIPMENT DETAILS

SHEET NUMBER

A04

GENERAL PLUMBING NOTES

- THE CONTRACTOR SHALL PROVIDE AND INSTALL A COMPLETE AND FULLY OPERATING SYSTEM INCLUDING ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY AS INDICATED ON DRAWINGS AND AS DESCRIBED IN THESE SPECIFICATIONS.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING, DEMOLISHING, REMOVAL, DISPOSAL, PATCHING, SEALING, RESTORATION AND ALL ELSE REQUIRED TO COMPLETE THE PLUMBING INSTALLATION.
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LOCALLY PRESIDING BUILDING CODE AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THIS CONTRACTOR SHALL PAY ALL FEES AND TAXES, OBTAIN ALL PERMITS AND APPROVALS, FILE THE REQUIRED DOCUMENTS AND CAUSE ALL INSPECTIONS.
- SHOP DRAWINGS OF THE FOLLOWING SHALL BE SUBMITTED TO THE OWNER'S PROJECT REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION:
 - LAYOUT OF ALL EQUIPMENT
 - DIMENSIONED AND DETAILED PIPING LAYOUT
 - MANUFACTURER'S SPECIFICATIONS OF ALL EQUIPMENT SPECIFIED
 - DETAILED CONTROL WIRING DIAGRAMS
- ALL PIPE HANGERS SHALL BE ATTACHED TO THE BUILDING/SUPPORT STRUCTURE. PROVIDE TRAPEZE SUPPORTS AS REQUIRED.
- THE DIGGING OF HANGERS, CHOPPING, CORE DRILLING, WORK IN OTHER TENANT SPACES OR OCCUPIED AREAS, WORK CREATING FUMES ETC. OR WORK DEEMED BY THE OWNER TO BE A NUISANCE TO OTHER TENANTS SHALL BE DONE AFTER WORKING HOURS.
- ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS AND FLOORS SHALL BE FIRESTOPPED WITH HILTI FIRESTOPPING MATERIAL. PROVIDE PIPE SLEEVES FOR ALL PENETRATIONS SEALED WITH AN APPROVED FIRESTOP.
- THIS CONTRACTOR SHALL FURNISH A ONE (1) YEAR GUARANTEE ON PARTS AND LABOR OF THE INSTALLATION FROM THE DATE OF OWNER ACCEPTANCE AND A FIVE (5) YEAR COMPRESSOR WARRANTY WHERE AVAILABLE.
- CONTRACTOR SHALL FURNISH ALL NECESSARY CONTROLS, STARTERS, PUMPS, MOTORS, PANELS AND RELAYS ETC. FOR A FULLY FUNCTIONING SYSTEM.
- BAKELITE LABELS SHALL BE INSTALLED AT ALL NEW EQUIPMENT FOR IDENTIFICATION PURPOSES.
- ANY REQUIRED SHUTDOWNS OF BASE BUILDING SYSTEMS FOR CONNECTION OF TENANT SYSTEMS MUST BE PRIOR APPROVED AND COORDINATED WITH ALL APPROPRIATE BUILDING/PROPERTY REPRESENTATIVES. THIS CONTRACTOR SHALL ASSUME ALL FEES REQUIRED BY THE OWNER TO ARRANGE AND SUPERVISE THE SHUTDOWN(S).
- THE CONTRACTOR SHALL VISIT THE LOCATIONS OF ALL PROPOSED WORK AND BECOME THOROUGHLY FAMILIAR WITH ALL EXISTING AND FORECASTED CONDITIONS AND LIMITATIONS.
- VERIFY ALL EXISTING CONDITIONS. ALL NEW PIPING AND EQUIPMENT SHALL BE COORDINATED WITH ALL EXISTING DUCTWORK, PIPING, ELECTRICAL AND GENERAL SITE CONDITIONS.
- ALL EXISTING EQUIPMENT, DUCTWORK, PIPING, ELECTRICAL AND GENERAL SITE CONDITIONS SHOWN ARE APPROXIMATE AND EXACT CONDITIONS MUST BE VERIFIED IN THE FIELD THROUGHOUT CONSTRUCTION.
- ALL WORK SHALL CONFORM TO THE GOVERNING BASE BUILDING/PROPERTY STANDARDS.
- THE CONTRACTOR SHALL COORDINATE WITH THE BASE BUILDING/PROPERTY MANAGEMENT AS TO THE DELIVERY OF EQUIPMENT AND SCHEDULING OF WORK SO AS TO NOT INTERFERE WITH THE OPERATION OF THE OCCUPIED FACILITIES. ANY REQUIRED SHUTDOWNS OF THE EXISTING BASE BUILDING/PROPERTY SYSTEMS OR WORK OUTSIDE OF THE DEMISING AREA SHALL BE STRICTLY COORDINATED WITH ALL APPROPRIATE BUILDING/PROPERTY REPRESENTATIVES.
- ALL ANCILLARY POWER AND LINE VOLTAGE WIRING SHALL BE DONE BY A LICENSED AND INSURED ELECTRICAL CONTRACTOR BASED UPON THE DIAGRAMS FURNISHED BY THE MECHANICAL CONTRACTOR.

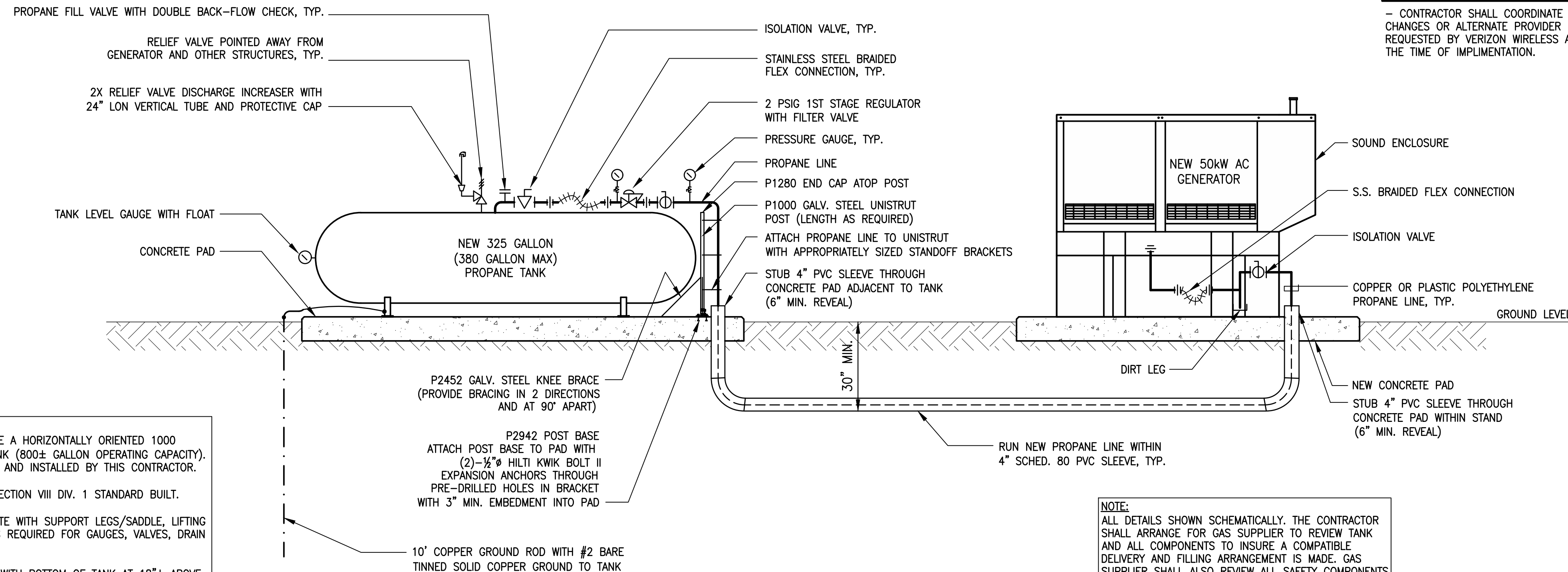
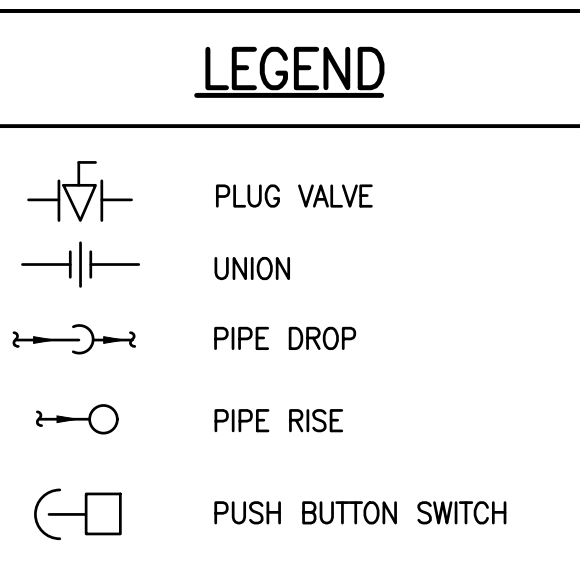
- ALL MATERIAL AND APPARATUS SHALL BE NEW AND IN FIRST CLASS CONDITION. ALL MATERIAL AND APPARATUS SHALL HAVE MARKINGS OR A NAMEPLATE IDENTIFYING THE MANUFACTURER AND PROVIDING SUFFICIENT REFERENCE TO ESTABLISH QUALITY, SIZE AND CAPACITY. ALL WORKMANSHIP SHALL BE OF THE FINEST POSSIBLE BY EXPERIENCED MECHANICS OF THE PROPER TRADE. IN GENERAL, ALL MATERIALS AND EQUIPMENT SHALL BE OF COMMERCIAL SPECIFICATION GRADE IN QUALITY. LIGHT DUTY AND RESIDENTIAL TYPE EQUIPMENT WILL NOT BE CONSIDERED ACCEPTABLE. ALL HOISTS, SCAFFOLDS, STAGING, RUNWAYS, TOOLS, MACHINERY AND EQUIPMENT REQUIRED FOR THE PERFORMANCE OF THE WORK SHALL BE FURNISHED BY THIS CONTRACTOR. MATERIAL AND EQUIPMENT SHALL BE STORED AND MAINTAINED IN CLEAN CONDITION AND PROTECTED FROM WEATHER, MOISTURE AND PHYSICAL DAMAGE.
- THE CONTRACTOR SHALL PERSONALLY INSPECT THE SITE OF THE PROPOSED WORK DURING THE CUSTOMER'S BID WALK OR AS OTHERWISE ARRANGED WITH APPROPRIATE BUILDING/PROPERTY REPRESENTATIVES AND BECOME FULLY INFORMED AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. FAILURE TO DO SO WILL NOT BE CONSIDERED SUFFICIENT JUSTIFICATION TO REQUEST OR OBTAIN EXTRA COMPENSATION OVER AND ABOVE THE CONTRACT PRICE.
- DIRT AND REFUSE RESULTING FROM THE PERFORMANCE OF THE WORK SHALL BE REMOVED FROM THE PREMISES DAILY TO PREVENT ACCUMULATION. THE CONTRACTOR SHALL COOPERATE IN MAINTAINING REASONABLY CLEAN PREMISES AT ALL TIMES THROUGHOUT CONSTRUCTION. IMMEDIATELY PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL PERFORM A FINAL CLEANUP OF DIRT AND REFUSE RESULTING FROM THE WORK PERFORMED. THE CONTRACTOR SHALL CLEAN ALL MATERIAL AND EQUIPMENT INSTALLED UNDER THE CONTRACT. DIRT, DUST, PLASTER, STAINS AND ALL FOREIGN MATTER SHALL BE REMOVED FROM ALL SURFACES. DAMAGED FINISHES SHALL BE TOUCHED UP AND RESTORED TO THEIR ORIGINAL CONDITION.
- THE DRAWINGS ARE SCHEMATIC IN NATURE, BUT SHOW THE VARIOUS COMPONENTS OF THE SYSTEMS APPROXIMATELY TO SCALE AND ATTEMPT TO INDICATE HOW THEY ARE TO BE INTEGRATED WITH OTHER PARTS OF THE BUILDING/STRUCTURE. FIGURED DIMENSIONS SHALL BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. DETERMINE EXACT LOCATIONS BY FIELD MEASUREMENTS, CHECKING THE REQUIREMENTS OF OTHER TRADES AND BY REVIEWING ALL CONTRACT DOCUMENTS. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ERRORS WHICH COULD HAVE BEEN AVOIDED BY PROPER CHECKING AND INSPECTION.

GAS PIPING NOTES

- GAS PIPING SHALL BE DESIGNED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE LATEST REVISION AND IN ACCORDANCE WITH NFPA 54.
- GAS PIPE SIZING SHALL BE BASED ON TABLE M-805.4.1(2) IN THE BOCA NATIONAL MECHANICAL CODE. A MAXIMUM PIPE LENGTH OF 200 FT. SHALL BE USED FOR THIS DESIGN.
- GAS PIPING SHALL BE OF MATERIAL SPECIFIED ON PLANS WITH ALL INDUSTRY STANDARD FITTINGS. WHERE GAS PIPING CONNECTS TO EQUIPMENT, IT SHALL BE PROVIDED WITH A DRIP LEG THE FULL SIZE OF THE SUPPLY PIPE, A 100% SHUT-OFF GAS COCK AND A UNION.
- GAS PIPING HANGERS AND SUPPORTS SHALL CONFORM TO THE REQUIREMENTS OF "STANDARD PRACTICE FOR PIPE HANGERS AND SUPPORTS - MATERIALS, DESIGN, MANUFACTURE, SELECTION, APPLICATION AND INSTALLATION" (ANSI/MSS SP-58-2009). ALL PIPE SHALL BE SUPPORTED IN A NEAT AND WORKMANLIKE MANNER.
- PORTIONS OF A GAS PIPING SYSTEM INSTALLED IN CONCEALED LOCATIONS SHALL NOT HAVE UNIONS, TUBE FITTINGS OR RUNNING THREADS. NO GAS VALVES SHALL BE INSTALLED IN ABOVE CEILING OR BELOW GRADE LOCATIONS.
- ALL GAS VENTS FROM PRESSURE RELIEF OR PRESSURE LIMITING DEVICES SHALL BE PIPED THE FULL OUTLET SIZE AND SHALL BE FITTED WITH AN AGA APPROVED FITTING WITH INSECT SCREEN. PROVIDE CAULKING OR PROPER FLASHING AT VENTS.
- BRANCH OUTLET PIPES SHALL BE TAKEN FROM THE TOP OR SIDES OF THE HORIZONTAL LINES AND NOT THE BOTTOM.
- USE DIELECTRIC UNIONS WHERE DISSIMILAR METALS ARE JOINED TOGETHER.
- INSPECT, TEST AND PURGE THE GAS PIPING SYSTEM IN ACCORDANCE TO NFPA 54 - PART 4 AND ALL LOCAL REQUIREMENTS. MINIMUM REQUIREMENTS SHALL BE 5 PSIG FOR A PERIOD OF 2 HOURS.

PLUMBING PROCEDURAL PREPARATION, & TESTING NOTES

- DUE TO THE NATURE OF THIS SYSTEM AND OTHER SIMILAR SYSTEMS IN USE BY THE OWNER, THE CONTRACTOR SHALL PROVIDE THE SYSTEMS AS SPECIFIED. SUBSTITUTIONS SHALL NOT BE CONSIDERED AT THIS TIME UNLESS DIRECTED BY OWNER.
- ALL WORK WITHIN LIVE ELECTRICAL PANELS SHALL OCCUR DURING HOURS ACCEPTABLE TO THE PANEL OWNER.
- THE CONTRACTOR SHALL PROVIDE TWO (2) DAYS ADVANCED NOTIFICATION OF ALL DELIVERIES TO THE SITE AND SEVEN (7) DAYS ADVANCED NOTIFICATION OF ANY REQUIRED SERVICE SHUT-DOWNS.
- THE CONTRACTOR SHALL MAINTAIN INTERFACE WITH THE OWNER AND WITH ALL OF THEIR CONTRACTORS, VENDORS AND ENGINEERING FIRMS.
- THE CONTRACTOR SHALL ATTEND A PRE-CONSTRUCTION MEETING TO BE HELD AT THE JOB SITE OR IN THE AREA WHERE THE INSTALLATION WILL TAKE PLACE.
- PRIOR TO THE START OF CONSTRUCTION, ALL WORKERS SHALL BE BRIEFED ON ALL SAFETY REQUIREMENTS PERTINENT TO THE WORKING ENVIRONMENT.
- THE CONTRACTOR SHALL INSURE THE AVAILABILITY AND ACCESSIBILITY OF ADEQUATE ON-SITE FIRE EXTINGUISHERS, SAFETY EQUIPMENT BOARDS AND FIRST AID STATIONS.
- ALL CONNECTIONS, TEST MEASUREMENTS AND ADJUSTMENTS SHALL BE DIRECTLY WITNESSED BY AN OWNER APPROVED PROJECT SUPERVISOR.
- PRIOR TO THE START-UP OF THE SYSTEMS, THE CONTRACTOR SHALL CHECK ALL COMPONENTS AND DEVICES. LUBRICATE ITEMS ACCORDINGLY AND TIGHTEN ALL CONNECTIONS. AFTER ALL SYSTEMS HAVE BEEN INSPECTED AND ADJUSTED, CONFIRM ALL OPERATING FEATURES REQUIRED BY THE DRAWINGS AND SPECIFICATIONS AND MAKE FINAL ADJUSTMENTS AS NECESSARY.
- APPROPRIATE FACTORY REPRESENTATIVES SHALL BE ON SITE TO COMMISSION THE SYSTEM.
- CONTRACTOR SHALL INSPECT AND TEST ALL PIPING AND EQUIPMENT IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS AND EQUIPMENT MANUFACTURER'S INSTRUCTIONS.
- AUTHORIZED PERSONNEL SHALL CONDUCT CLEANING, PURGING AND TESTING PROCEDURES. TESTING OF PIPING SHALL UTILIZE HYDROSTATIC OR PNEUMATIC MEASURES. OXYGEN OR LP GAS IS NOT TO BE USED.
- PURGE PIPING WITH INERT GAS PRIOR TO INTRODUCING LP GAS.
- CONDUCT A FUNCTIONAL TEST OF ALL ISOLATION VALVES, EXCESS FLOW VALVES AND PRESSURE RELIEF VALVES.
- CONTRACTOR SHALL SUBMIT TO THE OWNER THREE (3) COPIES EACH OF MATERIAL FOR MAINTENANCE AND OPERATION INSTRUCTION MANUALS APPROPRIATELY BOUND INTO MANUAL FORM INCLUDING APPROVED COPIES OF MANUFACTURER'S CATALOG SHEETS, WIRING DIAGRAMS, MAINTENANCE INSTRUCTIONS, OPERATING INSTRUCTIONS AND PARTS LISTS (REVISED IF NECESSARY TO SHOW SYSTEM AND EQUIPMENT AS ACTUALLY INSTALLED). CONTRACTOR SHALL ALSO PROVIDE ADEQUATE VERBAL INSTRUCTIONS OF SYSTEM OPERATION AND RE-START TO OWNER'S REPRESENTATIVE AT THE CONCLUSION OF THE WORK.



PROpane TANK NOTES:

- PROpane TANK SHALL BE A HORIZONTALLY ORIENTED 1000 GALLON WATER CAPACITY TANK (800± GALLON OPERATING CAPACITY). TANK SHALL BE PURCHASED AND INSTALLED BY THIS CONTRACTOR.
- TANK SHALL BE ASME SECTION VIII DIV. 1 STANDARD BUILT.
- TANK SHALL BE COMPLETE WITH SUPPORT LEGS/SADDLE, LIFTING LUGS AND ALL OPENINGS AS REQUIRED FOR GAUGES, VALVES, DRAIN ETC.
- TANK SHALL BE 41"±± WITH BOTTOM OF TANK AT 18"± ABOVE TOP OF CONCRETE PAD ON WHICH IT WILL SIT.
- TANK SHALL BE FACTORY PRIMED AND PAINTED WHITE TO INDUSTRY STANDARDS.

GENERATOR: TBD SUPPLIED BY VERIZON, INSTALLED BY CONTRACTOR.

CONTRACTOR SHALL OBTAIN FULL SPECIFICATIONS FROM VERIZON PRIOR TO BID.

CONTRACTOR SHALL ARRANGE FOR GENERATOR START-UP SERVICES.

PROpane GAS ACCOUNT:

CONTRACTOR SHALL ARRANGE FOR NEW GAS ACCOUNT TO BE ESTABLISHED WITH CONSUMERS PROpane. VERIZON TO SUPPLY INFORMATION FOR ACCOUNT.

ACE HARDWARE
181 ROUTE 137
HARWICH, MA 02645
(508) 432-3669

- CONTRACTOR SHALL COORDINATE ANY CHANGES OR ALTERNATE PROVIDER REQUESTED BY VERIZON WIRELESS AT THE TIME OF IMPLEMENTATION.

NOTE:

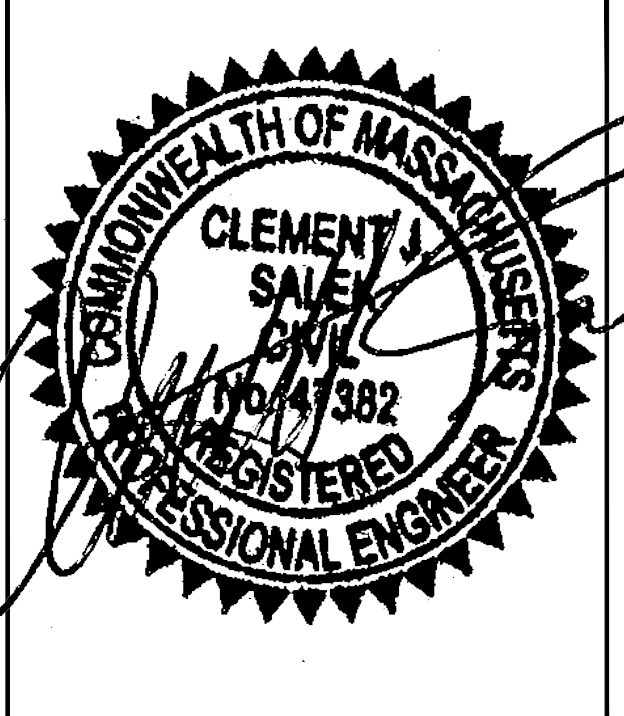
ALL DETAILS SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL ARRANGE FOR GAS SUPPLIER TO REVIEW TANK AND ALL COMPONENTS TO INSURE A COMPATIBLE DELIVERY AND FILLING ARRANGEMENT IS MADE. GAS SUPPLIER SHALL ALSO REVIEW ALL SAFETY COMPONENTS TO INSURE THEY MEET THE REQUIREMENTS OF THE LOCAL AUTHORITY HAVING JURISDICTION.

PROpane PIPING SCHEMATIC 1
SCALE: NOT TO SCALE P01

20 ALEXANDER DRIVE, 2ND FLOOR
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SUBMITTALS

REV.	DATE	DESCRIPTION	BY
2	02/28/24	CONSTRUCTION REVISED	CJC
1	07/07/23	ISSUED FOR CONSTRUCTION	CJC
0	06/16/23	ISSUED FOR REVIEW	CJC

PROJECT NAME & ADDRESS

HARWICH 2

1151 FREEMANS WAY
BREWSTER, MA 02631

VZW LOCATION CODE: 138531
MDG LOCATION ID: 5000168489
FUZE PROJECT ID: 17129898

SHEET TITLE

PLUMBING NOTES & SCHEMATIC

SHEET NUMBER

P01

22135.010

ELECTRICAL SPECIFICATIONS

- FURNISH ALL LABOR, MATERIALS, EQUIPMENT, TOOLS AND INCIDENTALS REQUIRED TO MAKE READY FOR USE THE COMPLETE ELECTRICAL SYSTEMS AS SHOWN ON THE DRAWINGS. MAKE ALL NECESSARY CONNECTIONS AT "PACKAGED" EQUIPMENT.
- THE ELECTRICAL SYSTEMS SHALL BE SUITABLE IN EVERY WAY FOR THE SERVICE REQUIRED. ALL MATERIAL AND ALL WORK WHICH MAY BE REASONABLY IMPLIED AS BEING INCIDENTAL TO THE WORK SHALL BE FURNISHED AT NO EXTRA COST.
- FURNISH AND INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH THE REQUIREMENTS OF LOCAL, STATE AND NATIONAL CODES AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - THE MASSACHUSETTS STATE BUILDING CODE 780-CMR 9TH EDITION
 - THE 2023 NATIONAL ELECTRICAL CODE (NFPA-70)
 - THE MASSACHUSETTS ELECTRIC CODE
 - THE NATIONAL ELECTRICAL SAFETY CODE (ANSI C-2)
 - THE LIFE SAFETY CODE (NFPA 101)
 - THE STRUCTURAL STANDARDS FOR ANTENNA SUPPORTING STRUCTURE AND ANTENNAS (TIA/EIA-222-H)
- MATERIALS AND EQUIPMENT SHALL BE NEW, UNUSED AND UNDERWRITERS' LABORATORIES, INC. LISTED. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS IN A TIMELY FASHION, INCLUDING RESPONSIBILITY FOR DETERMINING AVAILABILITY/LEAD TIME FOR ALL NECESSARY EQUIPMENT.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND PAY ALL FEES FOR PERMITS AND INSPECTIONS. WHERE NEW COMMERCIAL POWER SERVICE IS PROVIDED TO THE SITE, OR EXISTING SERVICE MUST BE MODIFIED, CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH THE ELECTRIC UTILITY, SHALL PERFORM ALL OF HIS WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY, AND SHALL PAY ALL UTILITY SERVICE BACK CHARGES.
- ALL WIRING OUTSIDE SHALL BE INSTALLED IN HEAVY-GAUGE, (SCHEDULE 40) RIGID STEEL CONDUIT, HOT-DIPPED GALVANIZED INSIDE AND OUTSIDE WITH AN ADDITIONAL FACTORY-APPLIED FINISH INSIDE AND OUTSIDE. CUT ENDS SHALL BE REAMED, THREADED AND COLD GALVANIZED. NO COMPRESSION FITTING WILL BE ACCEPTED.
- UNDERGROUND CONDUITS SHALL BE PVC SCHEDULE 40 AND INSTALLED NOT LESS THAN 30 INCHES BELOW FINISHED GRADE.
- WIRING INSTALLED IN THE BUILDING THAT IS SHOWN TO BE IN CONDUIT SHALL BE INSTALLED IN EMT. EMT FITTINGS SHALL BE STEEL COMPRESSION TYPE.
- LIQUID TIGHT, FLEXIBLE METAL CONDUIT SHALL BE USED FOR ALL MOTOR TERMINATIONS AND FOR CONNECTIONS TO EQUIPMENT SUBJECT TO VIBRATION. FLEXIBLE METAL CONDUIT SHALL CONSIST OF A FLEXIBLE, CORROSION RESISTANT METAL CORE WITH AN EXTRUDED, WATERTIGHT, SYNTHETIC JACKET. CONDUITS SMALLER THAN 1-1/2" SHALL HAVE A CONTINUOUS GROUND CONDUCTOR UNDER THE JACKET.
- NO CONDUIT SMALLER THAN 3/4" ELECTRICAL TRADE SIZE SHALL BE USED, EXCEPT AS OTHERWISE SHOWN ON THE DRAWINGS. BOX SIZES SHALL BE 4" SQUARE MINIMUM, BUT NOT LESS THAN THAT REQUIRED BY THE CONNECTICUT ELECTRICAL CODE.
- FITTINGS AND EXPOSED SWITCH, OUTLET AND CONTROL STATION BOXES AND OTHER EXPOSED BOXES 4" SQUARE SHALL BE CAST OR MALLEABLE IRON WITH CADMIUM-ZINC FINISH AND CAST COVERS WITH STAINLESS STEEL SCREWS.
- FLUSH SWITCH AND OUTLET BOXES SHALL BE HOT-DIPPED GALVANIZED, PRESSED STEEL WITH NYLON COVER PLATES, COLOR AS DETERMINED BY THE ENGINEER.
- EXCEPT AS OTHERWISE SHOWN, TERMINAL, JUNCTION AND PULL BOXES LARGER THAN 4" SQUARE SHALL BE SHEET STEEL. STEEL BOXES SHALL BE HOT-DIPPED GALVANIZED. BOXES AND COVERS SHALL BE NOT LESS THAN 14 GAUGE METAL. COVERS SHALL BE GASKETED AND FASTENED WITH STAINLESS STEEL HARDWARE.
- FITTINGS USED WITH LIQUID TIGHT, FLEXIBLE CONDUIT SHALL BE OF THE SCREW-IN, COMPRESSION TYPE WITH SEALING RING. FITTINGS LARGER THAN 1-1/4" SHALL BE FURNISHED WITH INTEGRAL GROUND LUGS.
- HANGERS, RODS, BACK PLATES, BEAM CLAMPS, ETC. SHALL BE GALVANIZED IRON OR STEEL. CONDUITS SHALL BE SUPPORTED AT LEAST EVERY 5 FEET.
- EXPOSED CONDUITS SHALL BE RUN PARALLEL TO OR AT RIGHT ANGLES TO WALLS. CONDUIT RUNS SHALL BE STRAIGHT AND TRUE. CONDUIT SHALL BE SUPPORTED BY MEANS OF TWO-HOLE PIPE CLAMPS. BACK PLATES SHALL BE INSTALLED WHERE REQUIRED TO RAISE CONDUITS FROM THE SURFACE. MULTIPLE, HORIZONTAL RUNS SHALL BE SUPPORTED ON TRAPEZOID HANGERS WITH STEEL HORIZONTAL MEMBERS AND THREADED RODS NOT LESS THAN 3/8 INCHES IN DIAMETER. HANGERS SHALL BE ATTACHED TO STRUCTURAL STEEL BY MEANS OF BEAM CLAMPS. SPOT TYPE INSERTS SHALL BE USED IN CONCRETE.
- CONDUIT BENDS SHALL BE CAREFULLY MADE TO PREVENT DISTORTION OF THE CIRCULAR CROSS-SECTION. NO CONDUIT RUN SHALL HAVE MORE THAN THE EQUIVALENT OF THREE 90 DEGREE BENDS BETWEEN PULLING POINTS. CHANGES IN DIRECTION SHALL BE MADE WITH BENDS, STANDARD ELBOWS AND PULLBOXES. BENDS IN PARALLEL RUNS SHALL BE CONCENTRIC.
- CONDUIT SHALL NOT BE SUPPORTED FROM PIPING, PIPING SUPPORTS, DUCTWORK, SUSPENDED CEILING SUPPORTS OR MECHANICAL EQUIPMENT SUBJECT TO VIBRATION OR REMOVAL.
- THE ENDS OF ALL CONDUITS SHALL BE TIGHTLY PLUGGED DURING BUILDING CONSTRUCTION UNTIL WIRES ARE TO BE PULLED. SPARE CONDUITS SHALL BE FURNISHED WITH THREADED CAPS.
- CONDUITS SHALL BE TERMINATED AT UNGASKETED SHEET STEEL BOXES AND ENCLOSURES WITH DOUBLE LOCK NUTS AND SUITABLE BUSHINGS. BUSHINGS INSTALLED ON CONDUITS CONTAINING GROUND WIRES SHALL BE GROUNDING TYPE. CONDUITS SHALL BE TERMINATED AT GASKETED SHEET METAL BOXES AND ENCLOSURES WITH CONDUIT HUBS.
- CONDUCTORS SHALL BE ANNEALED, 98 PERCENT CONDUCTIVITY, SOFT-DRAWN COPPER. NO CONDUCTOR SMALLER THAN NO. 12 AWG SHALL BE USED, EXCEPT AS OTHERWISE NOTED.
- WIRE FOR POWER AND LIGHTING BRANCH CIRCUITS SHALL BE 600 VOLT, TYPE THWN. WIRE FOR CONTROL CIRCUITS SHALL BE 600 VOLT, TYPE THWN, NO. 14 AWG, STRANDED. SERVICE CONDUCTORS AND FEEDERS SHALL BE TYPE XHHW. CONDUCTORS NO. 10 AWG AND SMALLER SHALL BE SOLID. NO. 8 AWG AND LARGER SHALL BE STRANDED.
- ALL CONDUCTORS SHALL BE CAREFULLY HANDLED TO AVOID KINKS OR DAMAGE TO INSULATION. LUBRICANTS SHALL BE USED TO FACILITATE WIRE PULLING. LUBRICANTS SHALL BE UL LISTED FOR USE WITH THE INSULATION SPECIFIED.
- ALL EQUIPMENT AND MATERIALS SHALL BE GROUNDED IN STRICT ACCORDANCE WITH THE CONNECTICUT ELECTRICAL CODE, AND THE STANDARD REQUIREMENTS OF VERIZON WIRELESS AND LUCENT.
- DISCONNECT SWITCHES SHALL BE 480 OR 240 VOLT, HEAVY-DUTY, QUICK-MAKE, QUICK BREAK, VISIBLE BLADE, 2 POLE WITH EXTERNAL OPERATING HANDLE AND FULL COVER INTERLOCK. SWITCHES INSTALLED OUTSIDE SHALL BE NEMA TYPE 3R ENCLOSED.
- WALL SWITCHES SHALL BE SINGLE POLE 3-WAY OR 4-WAY, INDICATING, TOGGLE-ACTION, FLUSH, QUIET TYPE, SPECIFICATION GRADE, RATED 20 AMPERE, 120-277 VOLT. COLOR AS DETERMINED BY ENGINEER.
- GENERAL PURPOSE RECEPTACLES SHALL BE DUPLEX, 2 POLE, 3 WIRE, STRAIGHT BLADE, NYLON FACE, GROUNDING TYPE, 20 AMPERE, 125 VOLT, SPECIFICATION GRADE. COLOR AS DETERMINED BY ENGINEER.
- PANELS SHALL BE PER DIRECTED BY THESE DRAWINGS WITH TYPED DIRECTORIES.
- CIRCUIT BREAKERS SHALL BE MOLDED CASE, THERMAL-MAGNETIC TYPE WITH RMS SYMMETRICAL INTERRUPTING RATING OF NOT LESS THAN 22,000 AMPERE FOR 240 VOLT BREAKERS. ENCLOSED BREAKERS SHALL HAVE PADLOCKING PROVISIONS AND EXTERNAL OPERATING HANDLE WITH FULL COVER INTERLOCK. BREAKERS SHALL BE 1" MODULES MINIMUM.
- NAMEPLATES SHALL BE PROVIDED FOR ALL EQUIPMENT INDICATING VOLTAGE, PHASE, USE AND SOURCE OF ORIGIN. DEVICES SHALL BE LABELED INDICATING VOLTAGE AND BRANCH CIRCUIT. BRANCH CONDUCTORS SHALL BE LABELED INDICATING BRANCH CIRCUIT. FEEDER CONDUCTORS SHALL INDICATE PHASE.
- ALL EXTERIOR CONDUCTOR/LUG TERMINALS SHALL HAVE AN ANTIOXIDANT APPLIED.
- ALL SPRING TYPE WIRE CONDUCTORS USED IN EXTERIOR BOXES SHALL BE SILICON FILLED.

- ELECTRICAL CONTRACTOR SHALL AS PART OF HIS WORK INCLUDE ALL FITTINGS, SLEEVES AND MINOR CUTTING REQUIRED FOR HIS WORK, INCLUDING FIRES-STOPPING.
- THE ELECTRICAL CONTRACTOR, AT HIS OWN EXPENSE, SHALL PROVIDE HIS OWN, WHERE DIRECTED, STORAGE AND OFFICE SPACE.
- FIVE COPIES OF SHOP DRAWINGS OF ALL EQUIPMENT SHALL BE PROVIDED TO THE ENGINEER.
- ELECTRICAL CONTRACTOR'S WORK SHALL INCLUDE ALL LABOR AND MATERIALS, SCAFFOLDING TOOL AND TRANSPORTATION NECESSARY FOR COMPLETE INSTALLATION.
- ELECTRICAL CONTRACTOR TO FURNISH ENGINEER ONE SET OF MYLARS OF "AS BUILT" DRAWINGS.
- ELECTRICAL CONTRACTOR SHALL PROVIDE TEMPORARY POWER & LIGHTING AS REQ'D.

GENERAL NOTES







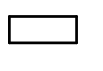

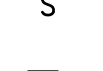

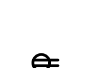

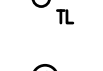
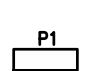
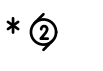

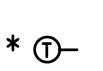
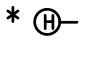

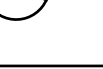
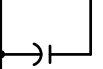

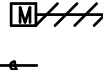
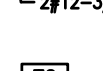

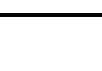


- CONTRACTOR SHALL VISIT THE SITE TO BECOME AWARE OF THE EXISTING CONDITIONS.
- BRANCH CIRCUIT RUNS 100 FT AND OVER SHALL BE #10 AWG CONDUCTORS.
- THESE DRAWINGS ARE DIAGRAMMATIC ONLY. THE EXACT LOCATION, MOUNTING HEIGHT, SIZE OF EQUIPMENT AND ROUTING OF RACEWAYS SHALL BE COORDINATED AND DETERMINED IN THE FIELD.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE HVAC AND PLUMBING CONTRACTORS AS TO THE EXACT LOCATION OF THEIR RESPECTIVE EQUIPMENT, THE POWER WIRING, THE CONTROL WIRING AND ALL ELECTRICAL CONNECTIONS REQUIRED BY THIS CONTRACTOR FOR COMPLETELY OPERATIVE HVAC AND PLUMBING SYSTEMS IN CONFORMANCE WITH THE CONTRACT DOCUMENTS.
- INTERRUPTIONS TO THE EXISTING ELECTRICAL SERVICE FOR SPlicing CONNECTIONS, RENOVATION OF EXISTING DISTRIBUTION, BRANCH CIRCUITS, INSTALLATION OF NEW ELECTRIC SERVICE, AND SHALL BE AS SHORT AS POSSIBLE, AND TO THE CONVENIENCE OF THE OWNER.
- ALL CONDUIT SHALL BE SURFACE MOUNTED UNLESS OTHERWISE NOTED. NO INTERIOR HORIZONTAL CONDUIT BELOW 7'-8" AFF IN FINISHED SPACES.
- ALL WIRING TO BE 3/4"C, 2#12 & 1#12 GROUND, UNLESS OTHERWISE NOTED.
- NO BX OR ROMEX CABLE IS PERMITTED.
- ALL WIRING DEVICES AND EQUIPMENT SHALL BE 20A SPECIFICATION GRADE AND UL LISTED.
- ALL OUTLET AND JUNCTION BOXES SHALL BE SECURELY SURFACE MOUNTED.
- ALL RECEPTACLE AND EQUIPMENT CIRCUITS SHALL BE GROUNDED USING A FULL SIZE EQUIPMENT GROUNDING CONDUCTOR RUN WITH THE CURRENT CONDUCTORS.
- ALL WALL PENETRATIONS FOR TELCO, POWER. AND GROUNDING SHALL REQUIRE PVC SLEEVES.
- ALL SWITCHES SHALL BE FORTY-EIGHT (48) INCHES AFF, UNLESS OTHERWISE NOTED.
- ALL RECEPTACLES SHALL BE EIGHTEEN (18) INCHES AFF, UNLESS OTHERWISE NOTED.
- ALL WIRING SHALL BE IN METAL RACEWAY & NO. 12 AWG COPPER MIN. UNLESS OTHERWISE NOTED.
- WIRE COLOR SHALL BE PER STANDARD CODING BY PHASE.
- FOR UTILITY BILLING, PLEASE SEND TO:
 - VERIZON WIRELESS
 - 20 ALEXANDER DRIVE
 - WALLINGFORD, CT 06492

GROUNDING GENERAL NOTES

- ALL EXTERIOR CONDUCTORS SHALL BE #2 AWG, SOLID, BARE, TINNED COPPER, UNLESS OTHERWISE NOTED. MINIMUM BEND RADIUS SHALL BE EIGHT (8) INCHES.
- ALL CONNECTIONS TO HALO GROUND RING AND ALL CABLE TRAY JUMPERS SHALL BE #6 AWG, INSULATED, STRANDED, COPPER WIRE.
- ALL WIRE-TO-WIRE CONNECTIONS SHALL BE THREE-CLAMP, C TAP COMPRESSION (T&B #54740 ORANGE OR EQUIVALENT). ALL GROUND BAR CONNECTIONS SHALL BE TWO-HOLE, LONG-BARREL TYPE COMPRESSION LUGS (T&B OR EQUIVALENT). ALL OTHER CONNECTIONS TO STEEL SURFACES SHALL USE LUG-TYPE CONNECTORS.
- MECHANICALLY BOND ANTENNA MOUNTS WITH #2 AWG, BARE, STRANDED CONDUCTORS.
- ALL GROUNDING WORK SHALL COMPLY WITH VERIZON WIRELESS STANDARDS.
- CONNECT GROUND CONDUCTOR TO EXISTING GROUNDING SYSTEM. ATTACH TO WALLS, PARAPET, CABLE TRAY, ETC. WITH A CLAMPS AS NECESSARY. REMOVE PAINT, FIREPROOFING, MILL SCALE, ETC. TO ACHIEVE GOOD CAD WELD GROUND CONNECTION.
- CONNECT TO HALO GROUND USING C-TAP (#54730).
- CONNECT TO ENCLOSURES USING BLUE GROUND LUGS.

LEGEND

ELECTRICAL SYMBOLS

	METER
	GROUND ROD/TEST (OBSERVATION) WELL
	GROUND ROD
	CADWELD TYPE CONNECTION
	COMPRESSION TYPE CONNECTION
	GROUNDING WIRE
	REPRESENTS DETAIL NUMBER
	1'X4' SURFACE MTD. FLUORESCENT LIGHTING FIXTURE
	SELF CONTAINED EMERG. LIGHTING UNIT
	20A-120V-1P TOGGLE SWITCH
	MAGNETIC DOOR SWITCH (DOOR JAMB TYPE)
	20A-120V QUADRAPLEX RECEPTACLE, GROUNDING TYPE, 2-CKT. NO.
	20A-120V DUPLEX RECEPTACLE, GROUNDING TYPE. WP = WEATHERPROOF GF1 = GROUND FAULT
	SIMPLEX RECEPTACLE, GROUNDING TYPE. TL = TWIST LOCK
	JUNCTION BOX
	PANELBOARD 'P1'
	MOTOR - NUMERAL DENOTES HORSEPOWER
	WEATHER PROOF DISCONNECT SWITCH
	FUSED DISCONNECT SWITCH - '3R' & '1' - NEMA ENCLOSURE
	THERMOSTAT *⊙ _H - HI TEMPERATURE ALARM THERMOSTAT
	HUMIDISTAT *⊙ _{H/LO} - HI/LO HUMIDITY ALARM HUMIDISTAT
	COMBINATION SMOKE/HEAT DETECTOR WITH MINI HORN SIMPLEX CAT.#2098-9696 WITH FORM A & C CONTACTS
	HOMERUN TO PANEL (FURNISH & INSTALLED BY MECHANICAL)
	SURGE ARRESTER - JOSLYN CAT. NO. 1455-85
	ABOVE FINISHED FLOOR
	MOTORIZED DAMPER
	EXPOSED CONDUIT 2#12-3/4"C.
	ALARM TERMINAL CABINET

* EQUIPMENT FURNISHED AND INSTALLED BY OTHERS AND WIRED BY THIS CONTRACTOR

ABBREVIATIONS

AWG	AMERICAN WIRE GAUGE
BCW	BARE COPPER WIRE
GPS	GLOBAL POSITIONING SYSTEM
PCS	PERSONAL COMMUNICATION SYSTEM
RWY	RACEWAY
TYP.	TYPICAL
RGS	RIGID GALVANIZED STEEL
EMT	ELECTRICAL METALLIC TUBING
DWG	DRAWING
EMT	INTERIOR GROUND RING (HALO)
GEN	GENERATOR
GR	GROWTH
CGBE	COAX GROUND BAR EXTERNAL
CIGBE	COAX ISOLATED GROUND BAR EXTERNAL
MGB	MASTER GROUND BAR
PVC	RIGID (SCH. 40) POLYVINYL CHLORIDE CONDUIT
EBH	ETHERNET BACK HAUL



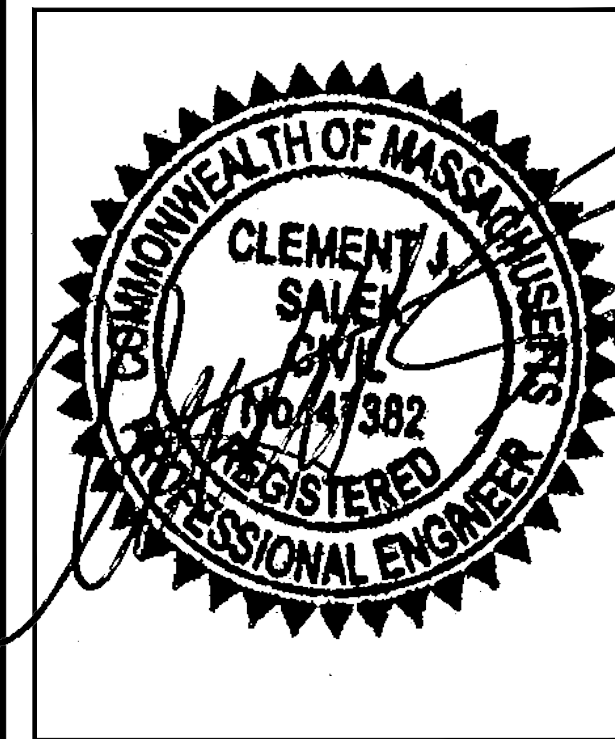
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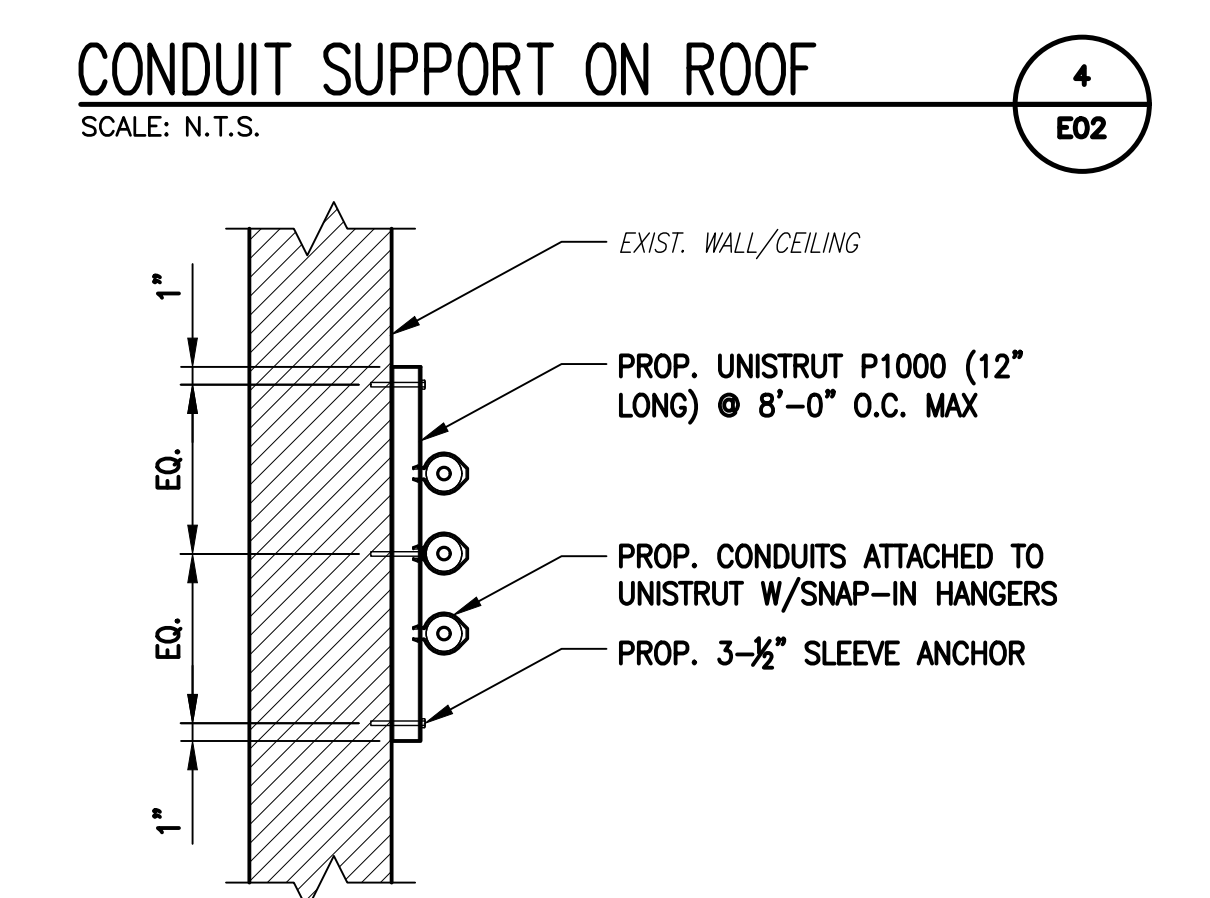
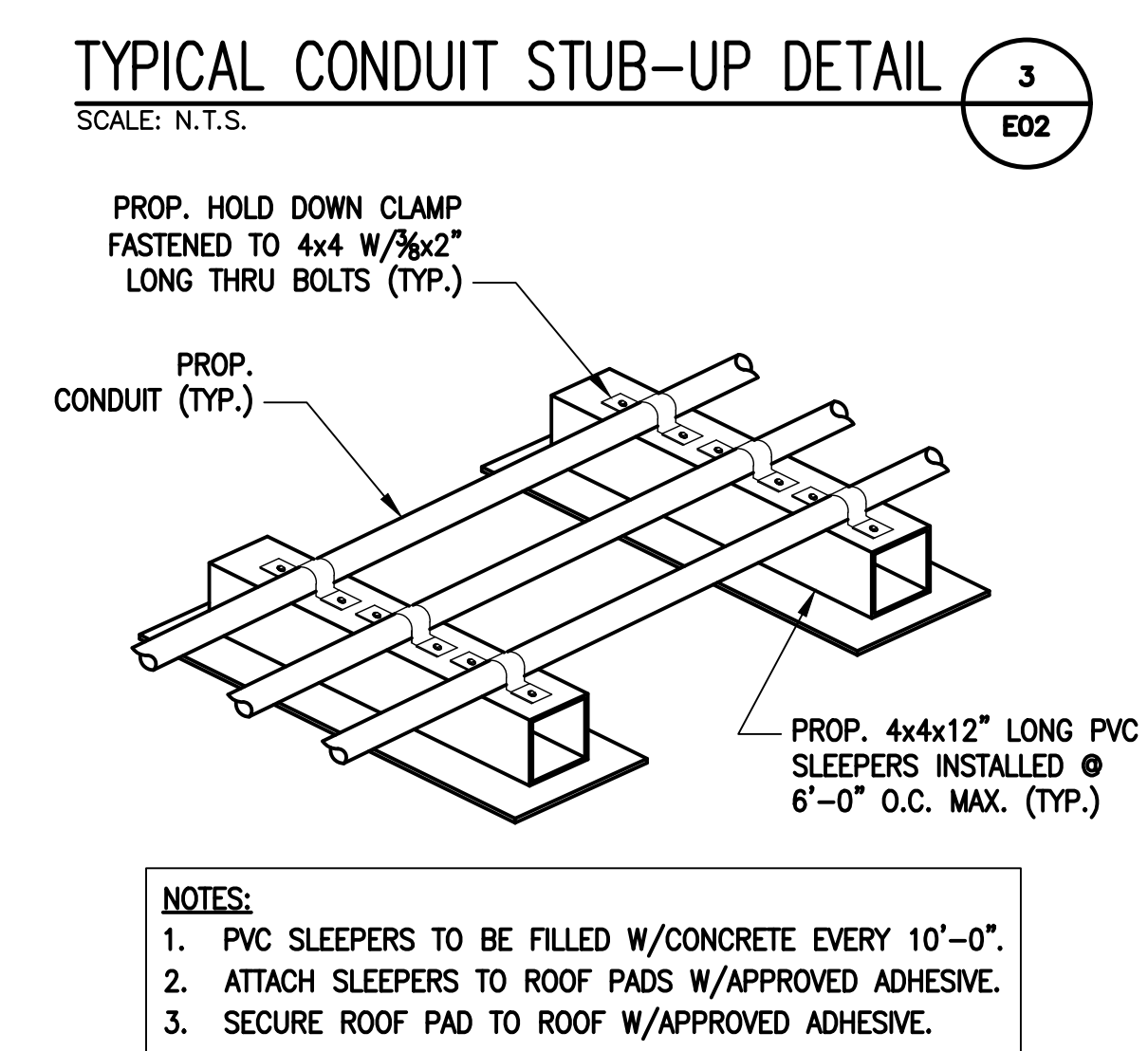
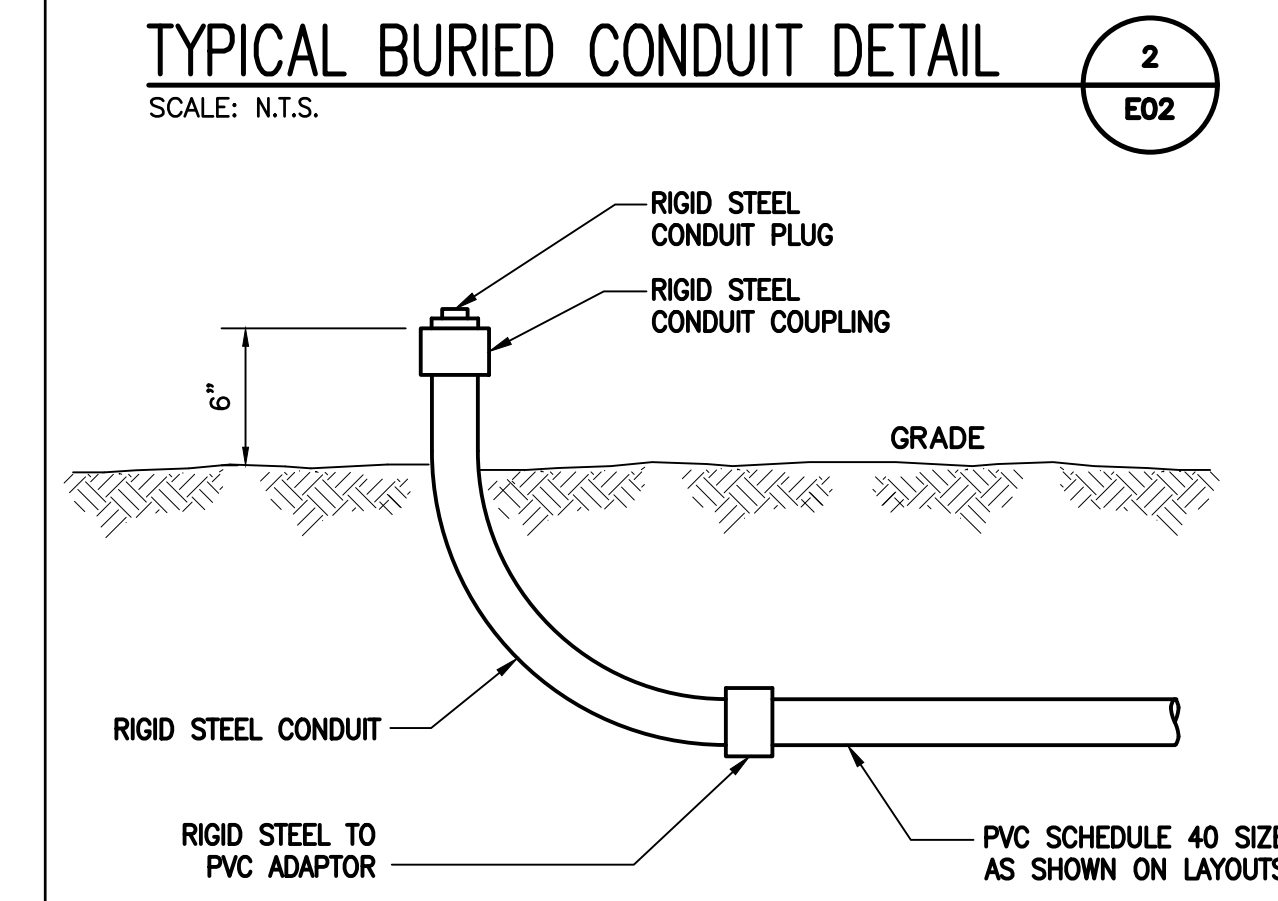
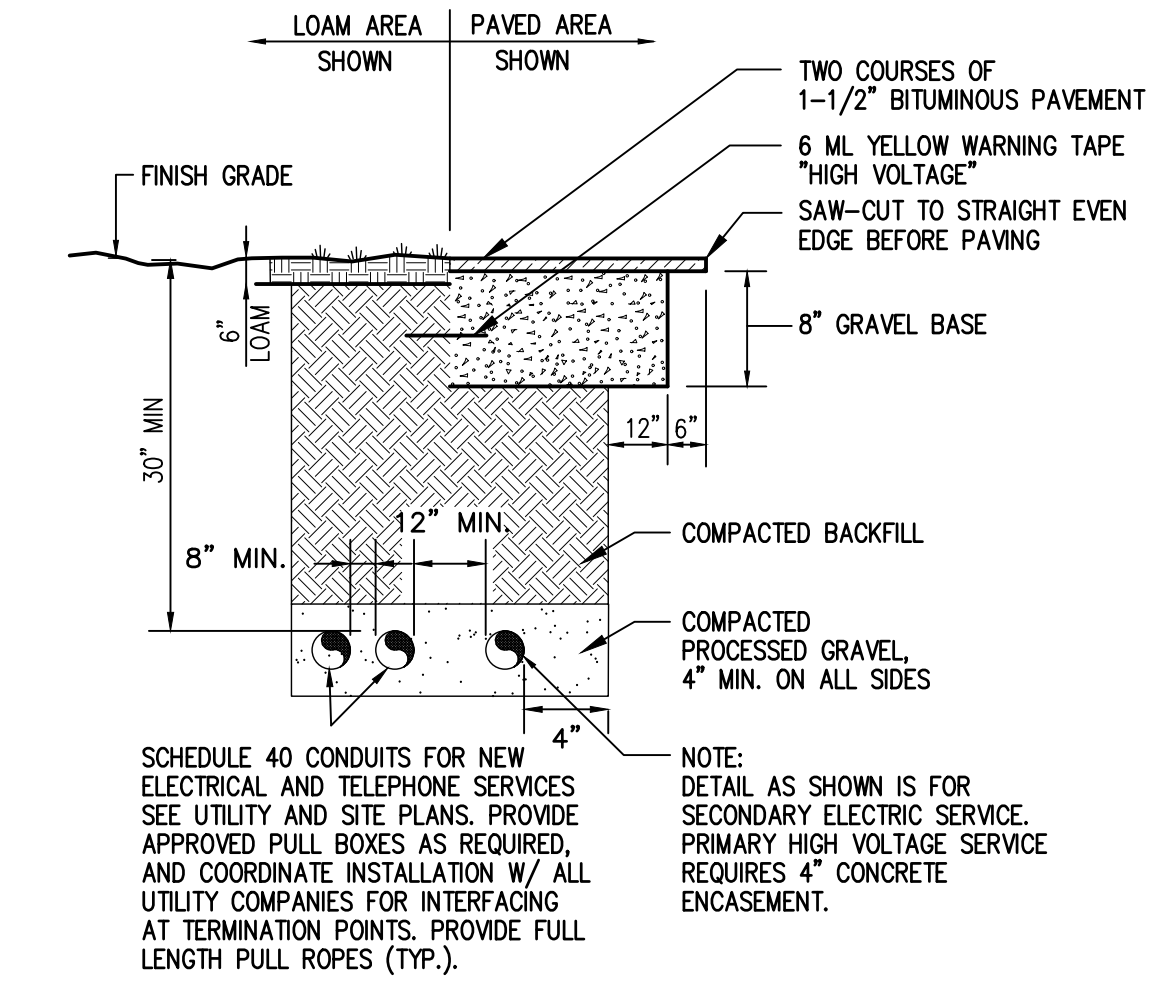
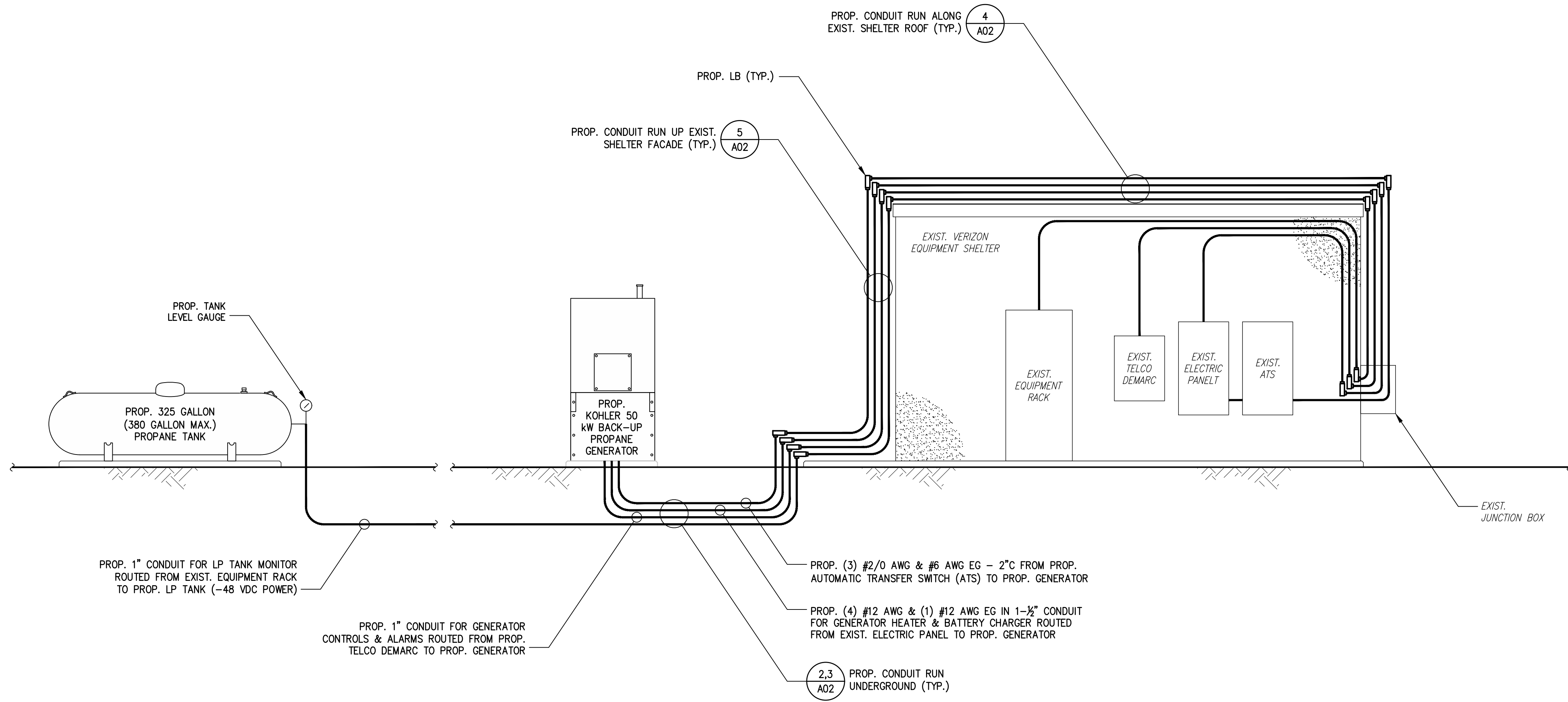
ELECTRICAL
SPECIFICATIONS &
NOTES

SHEET NUMBER

E01

SPECIAL CONSTRUCTION WORK NOTE (HAND DUG UTILITY TRENCH EXCAVATION REQUIRED):
 EXISTING UNDERGROUND UTILITY LOCATIONS ARE UNKNOWN. GENERAL CONTRACTOR SHALL HAND-EXCAVATE TO REQUIRED SUB-GRADE DEPTH SUFFICIENT TEST HOLES OR AS DIRECTED/REQUIRED BY SBA REGIONAL SITE MANAGER SHALL HAND-EXCAVATE ALL PROPOSED UNDERGROUND UTILITY TRENCHES. GENERAL CONTRACTOR RESPONSIBLE FOR ANY REQUIRED SPECIAL TEMPORARY PROTECTION OF EXISTING UNDERGROUND UTILITIES, PHYSICAL DAMAGE REPAIR, AND SERVICE RESTORATION.

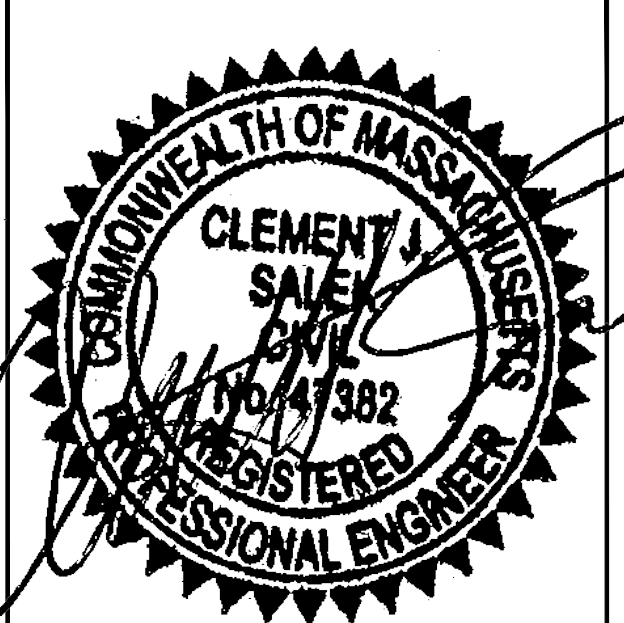
- CONDUIT NOTES:**
1. ALL CONDUITS SHALL BE ROUTED UNDERGROUND TO AVOID TRIP HAZARD, WHERE APPLICABLE.
 2. ALL UNDERGROUND CONDUITS SHALL BE PVC. ALL ABOVEGROUND CONDUITS SHALL BE RGS.
 3. CONDUITS TO BE RUN FROM JUNCTION BOX, UP SHELTER FACADE, ALONG ROOF, DOWN SHELTER FACADE, AND UNDERGROUND TO PROP. GENERATOR/PROPANE TANK.



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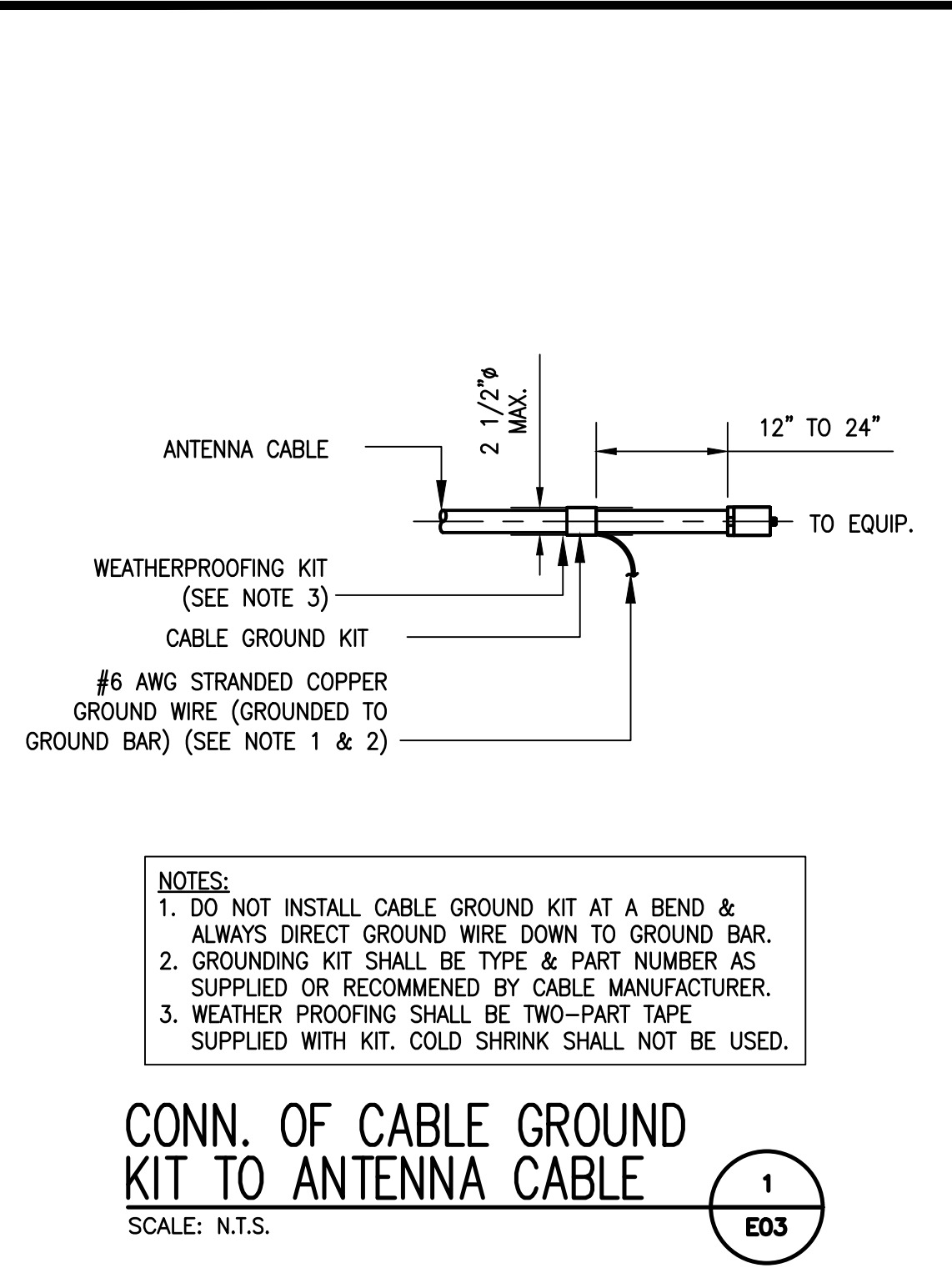
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SHEET TITLE
EQUIPMENT UTILITY DIAGRAM & DETAILS

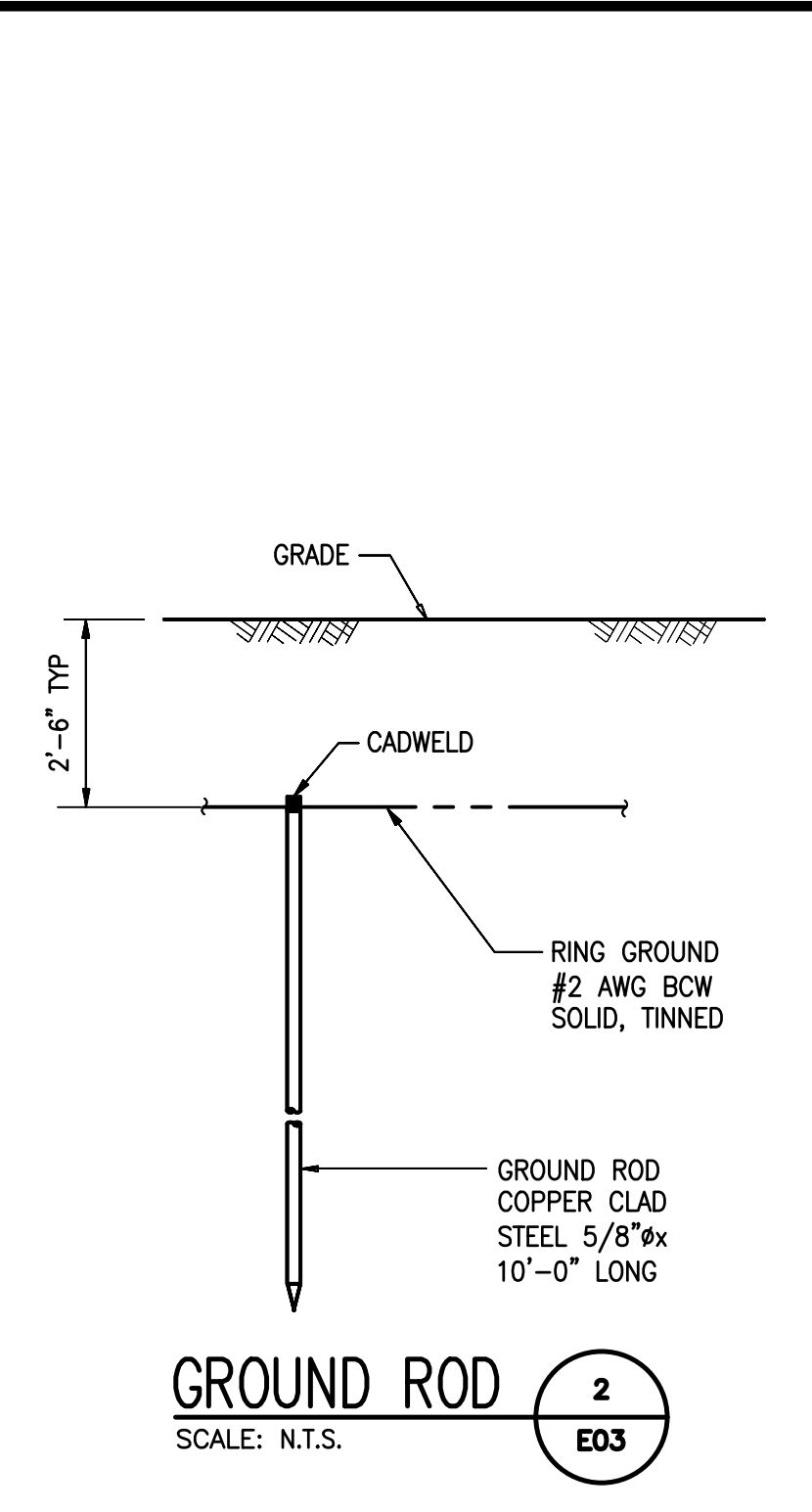
SHEET NUMBER
E02



NOTES:
 1. DO NOT INSTALL CABLE GROUND KIT AT A BEND & ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
 2. GROUNDING KIT SHALL BE TYPE & PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
 3. WEATHER PROOFING SHALL BE TWO-PART TAPE SUPPLIED WITH KIT. COLD SHRINK SHALL NOT BE USED.

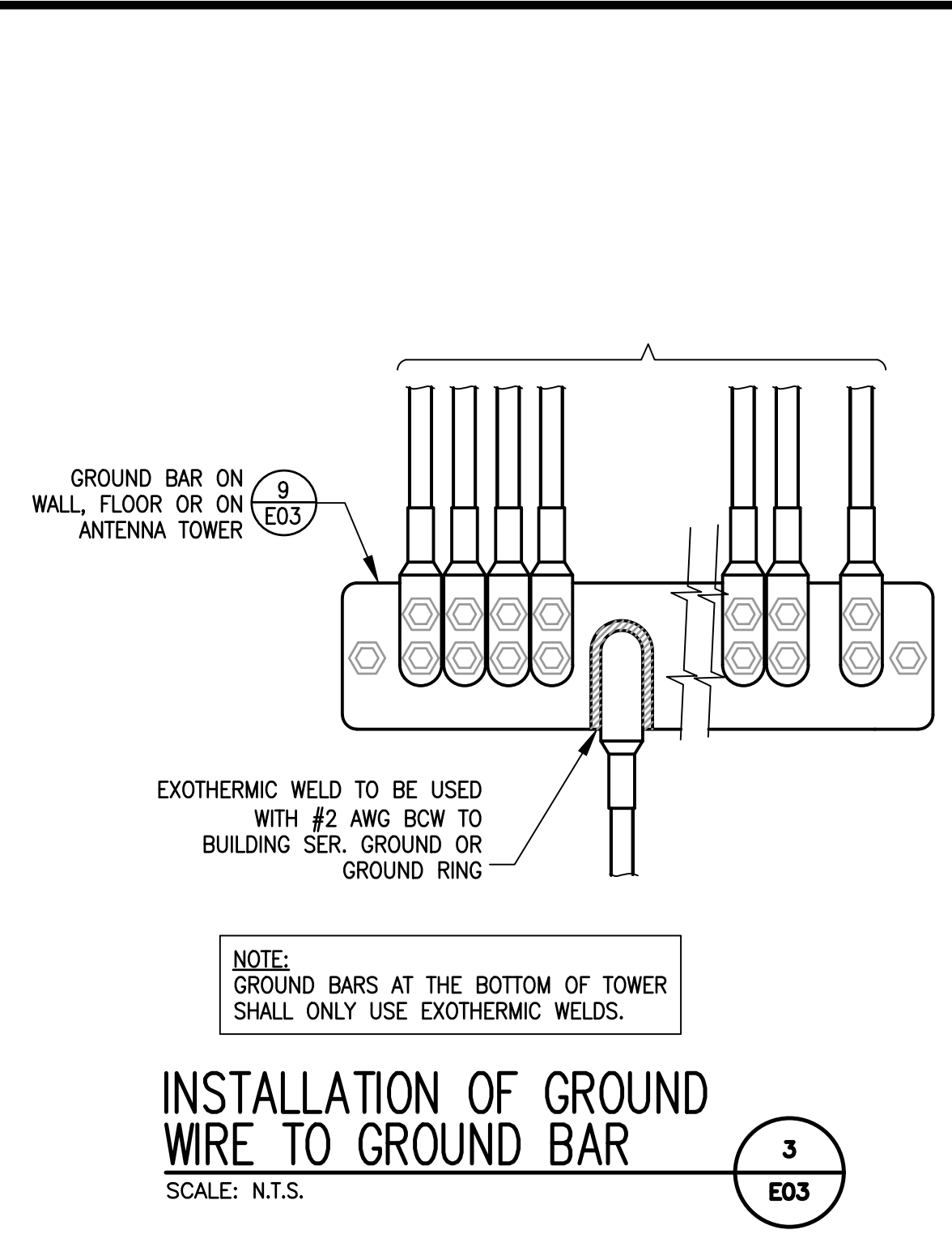
CONN. OF CABLE GROUND KIT TO ANTENNA CABLE
 SCALE: N.T.S.

1
E03



GROUND ROD
 SCALE: N.T.S.

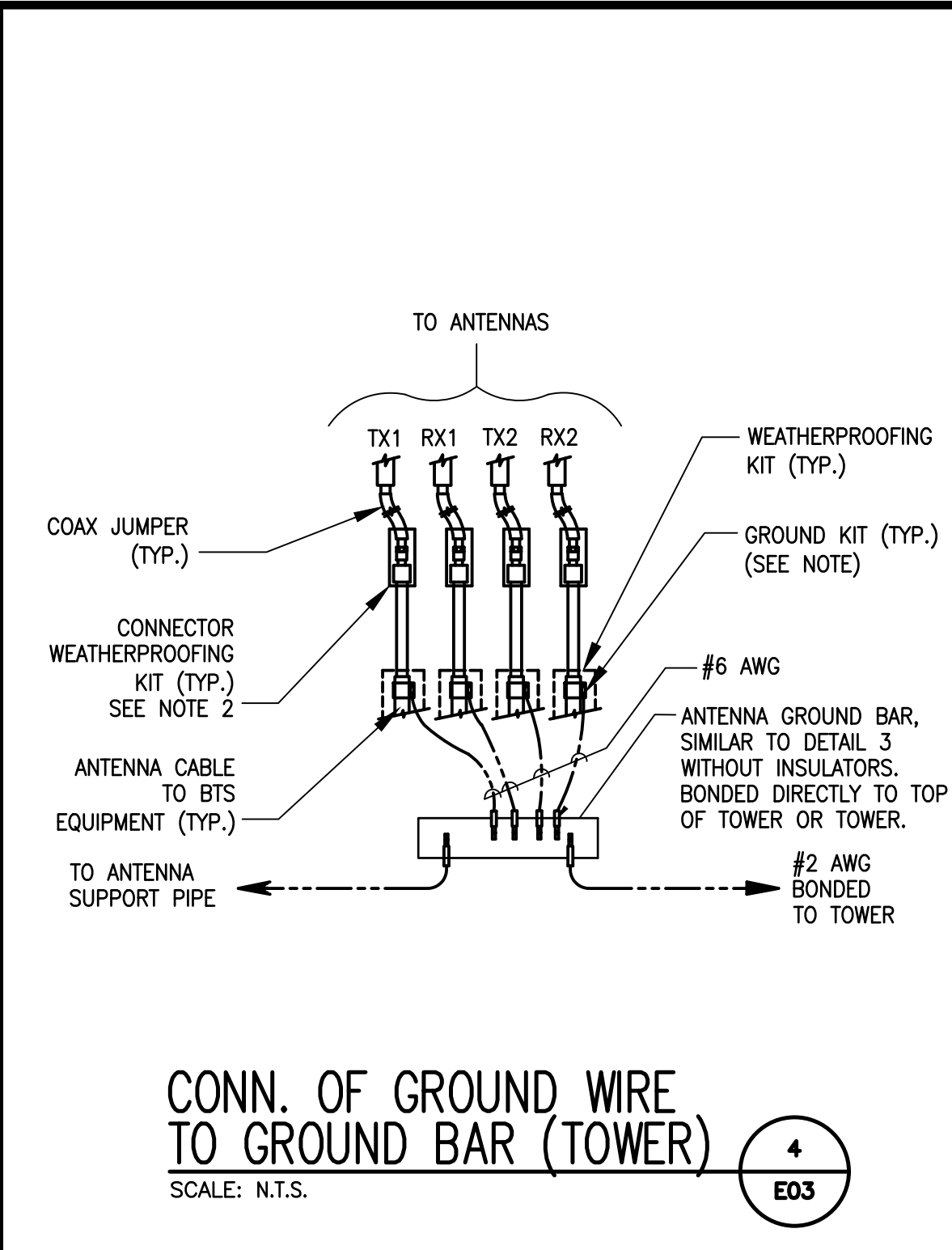
2
E03



NOTE:
 GROUND BARS AT THE BOTTOM OF TOWER SHALL ONLY USE EXOTHERMIC WELDS.

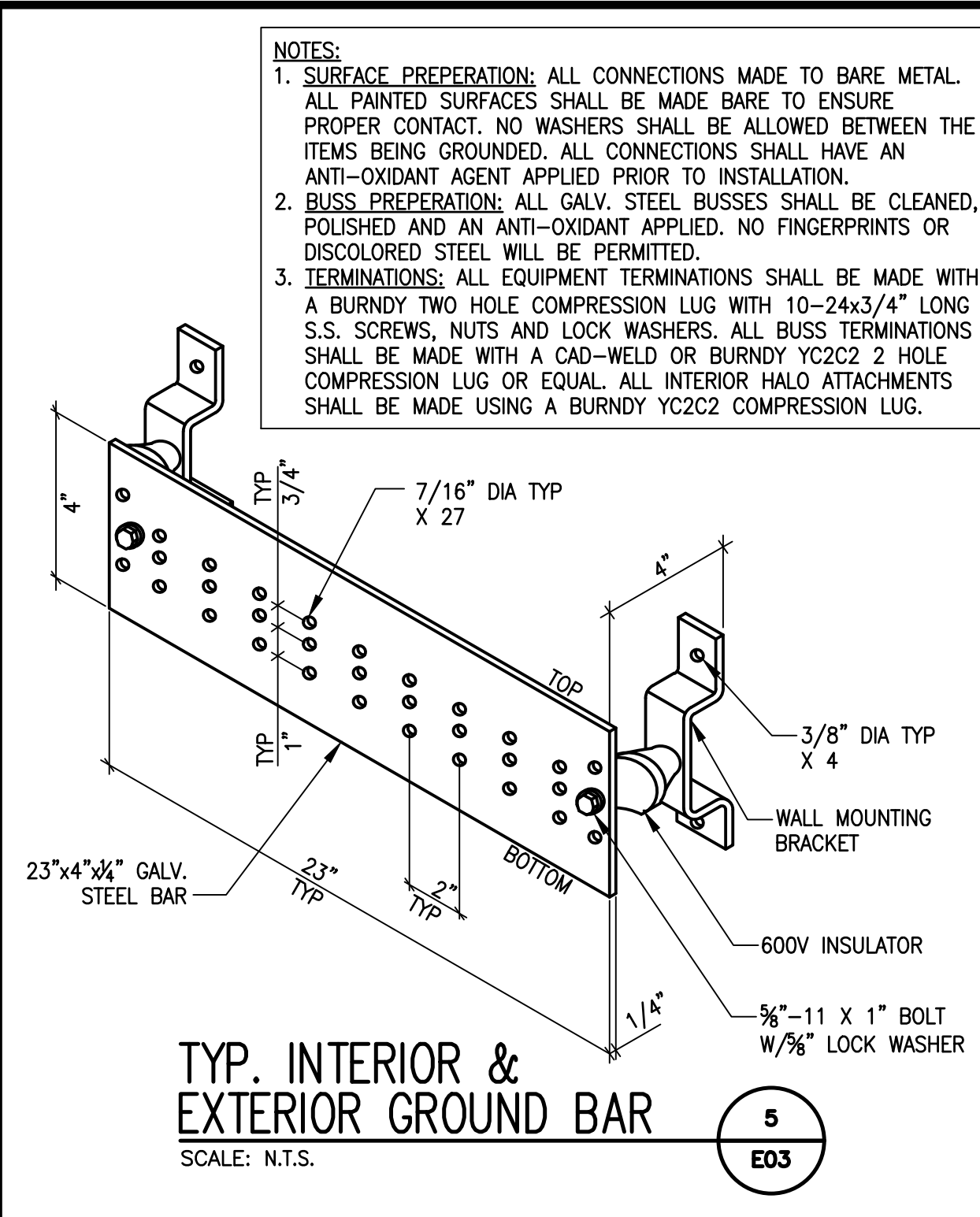
INSTALLATION OF GROUND WIRE TO GROUND BAR
 SCALE: N.T.S.

3
E03



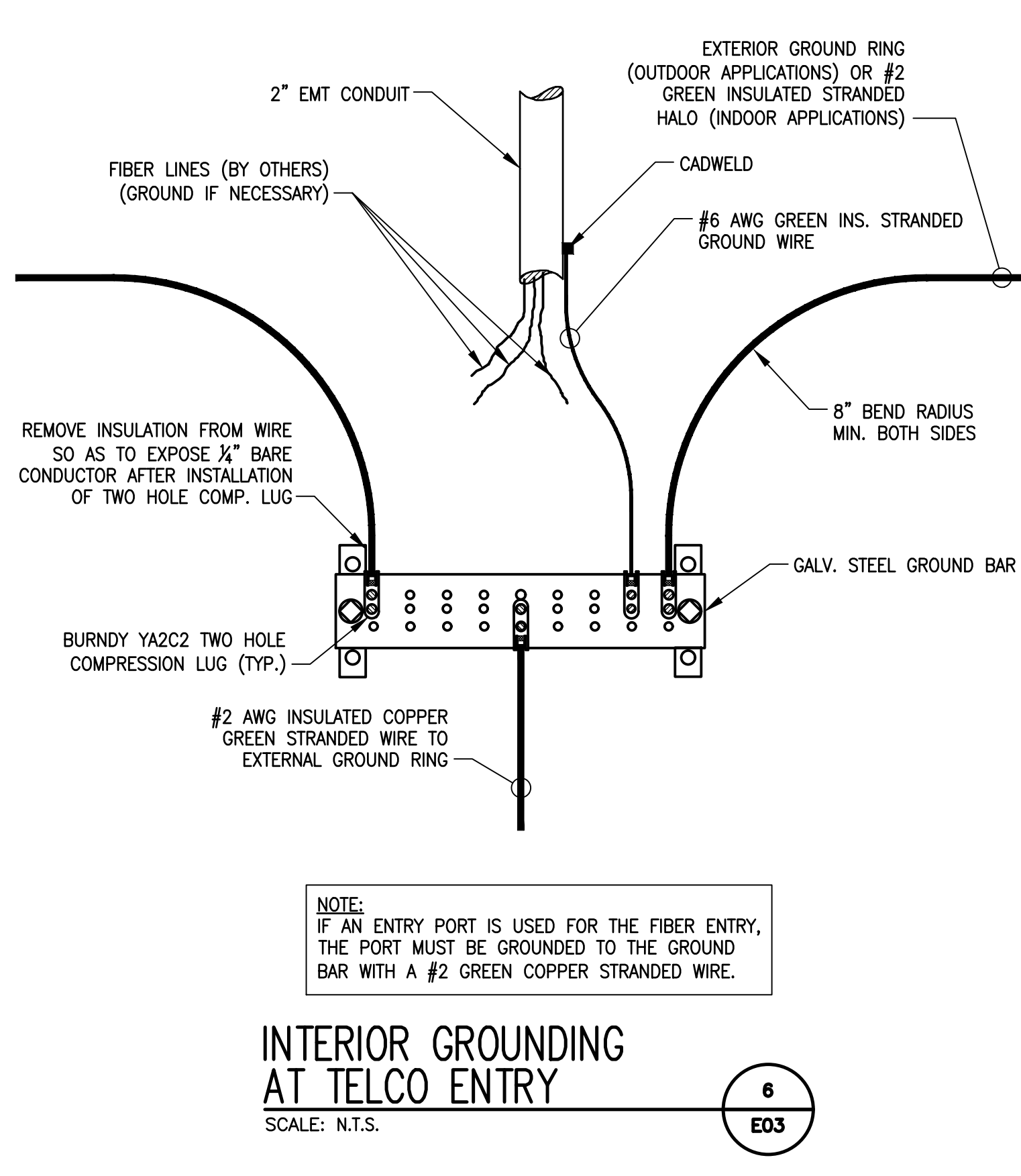
CONN. OF GROUND WIRE TO GROUND BAR (TOWER)
 SCALE: N.T.S.

4
E03



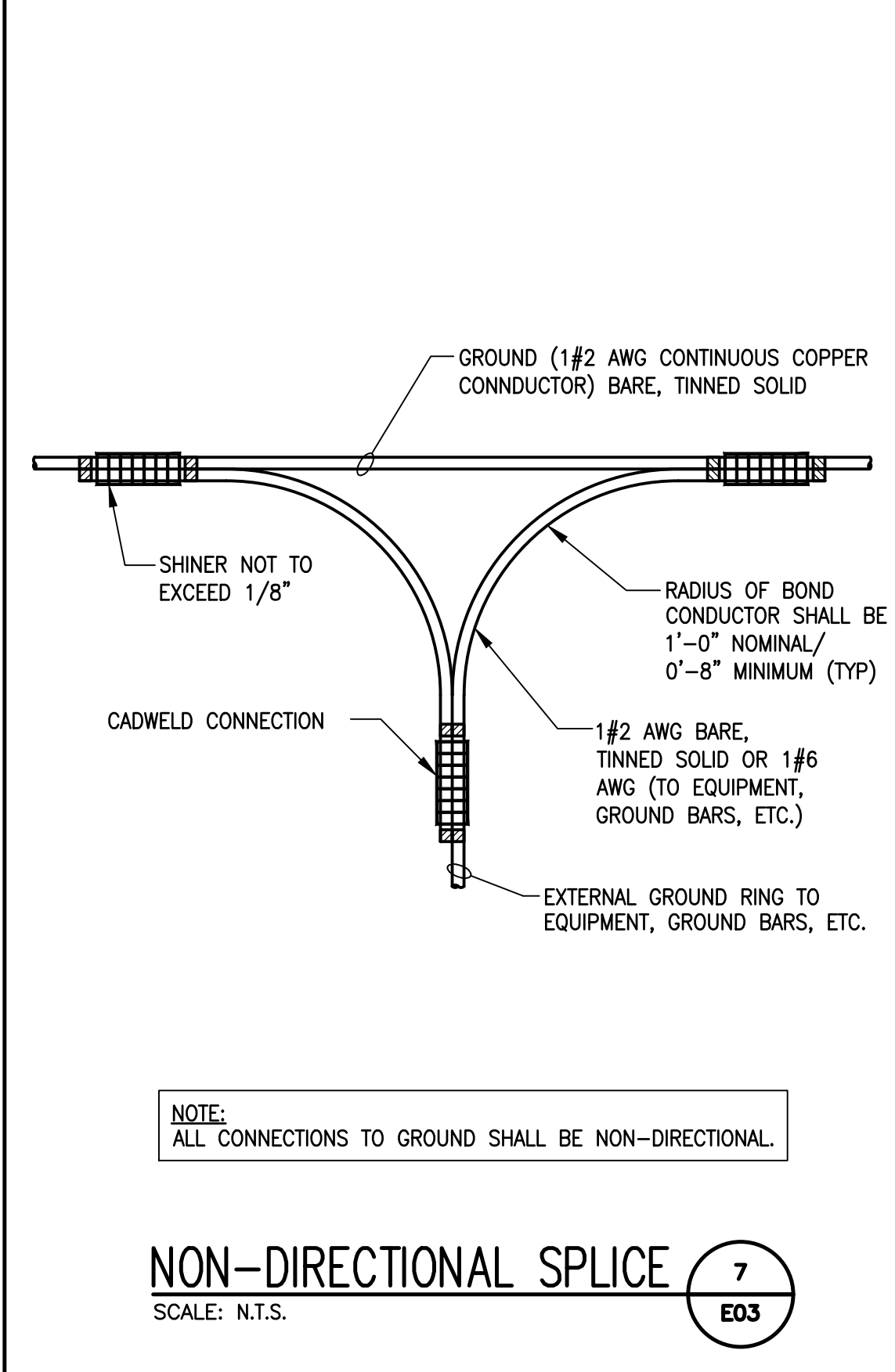
TYP. INTERIOR & EXTERIOR GROUND BAR
 SCALE: N.T.S.

5
E03



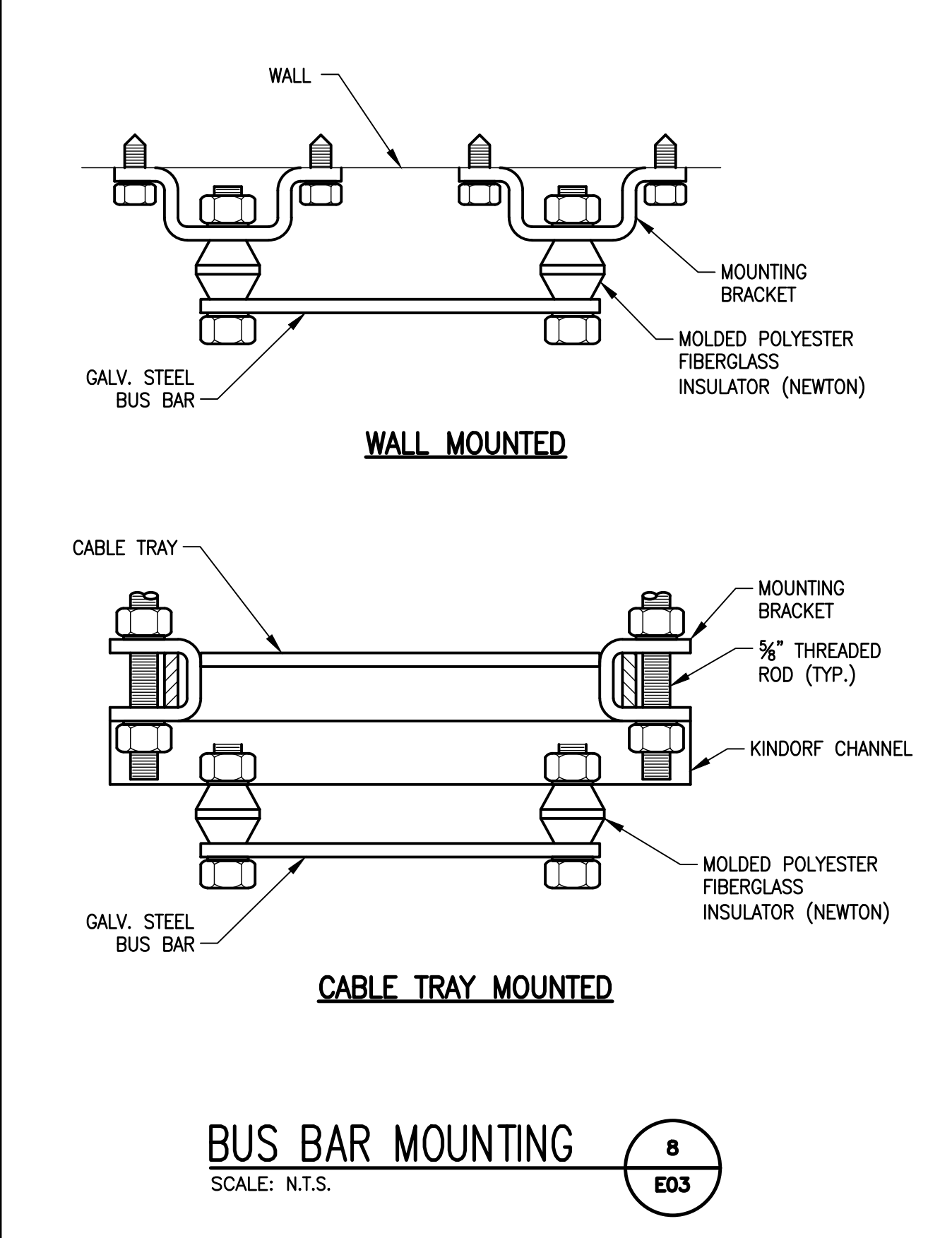
INTERIOR GROUNDING AT TELCO ENTRY
 SCALE: N.T.S.

6
E03



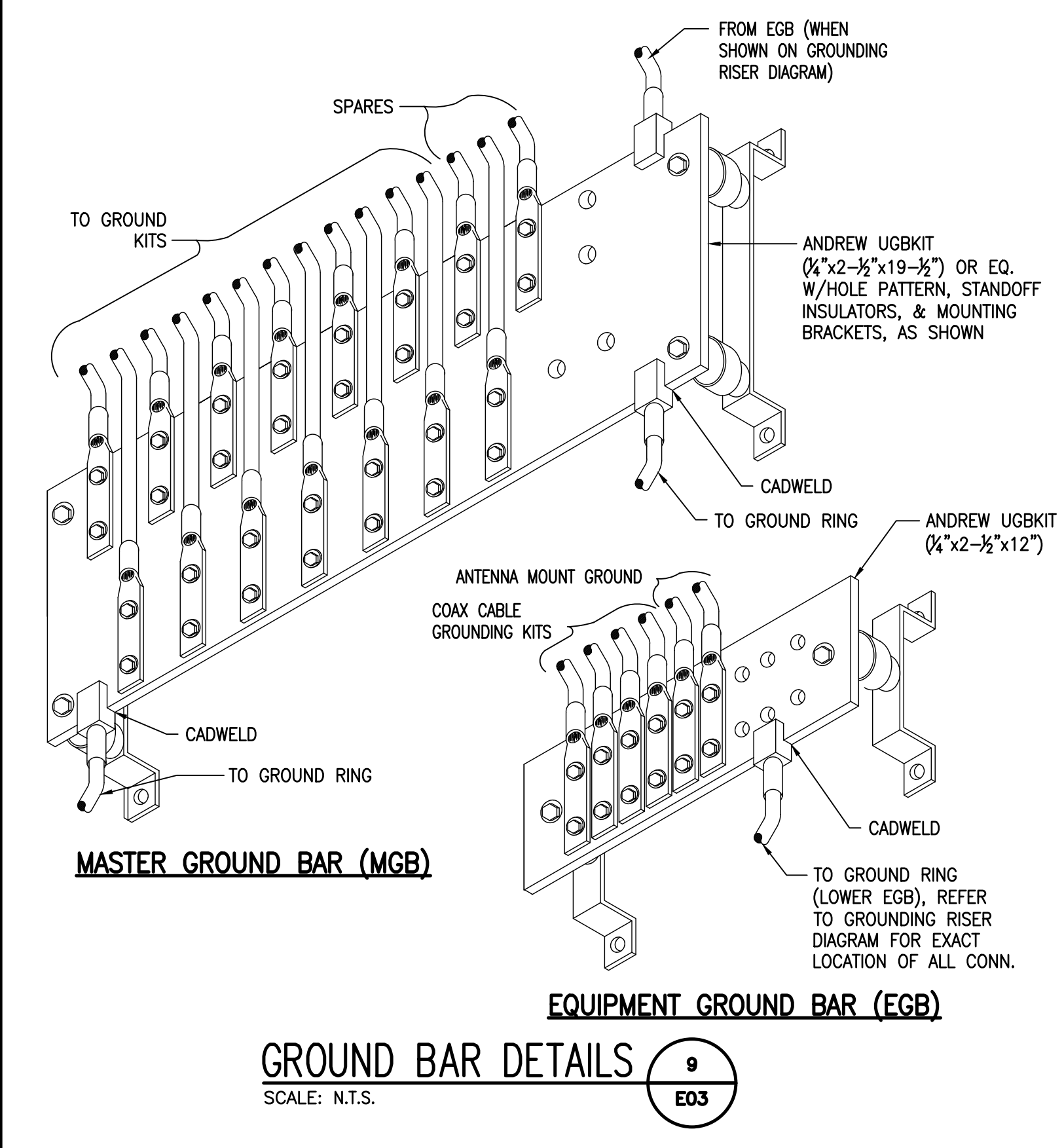
NON-DIRECTIONAL SPLICE
 SCALE: N.T.S.

7
E03



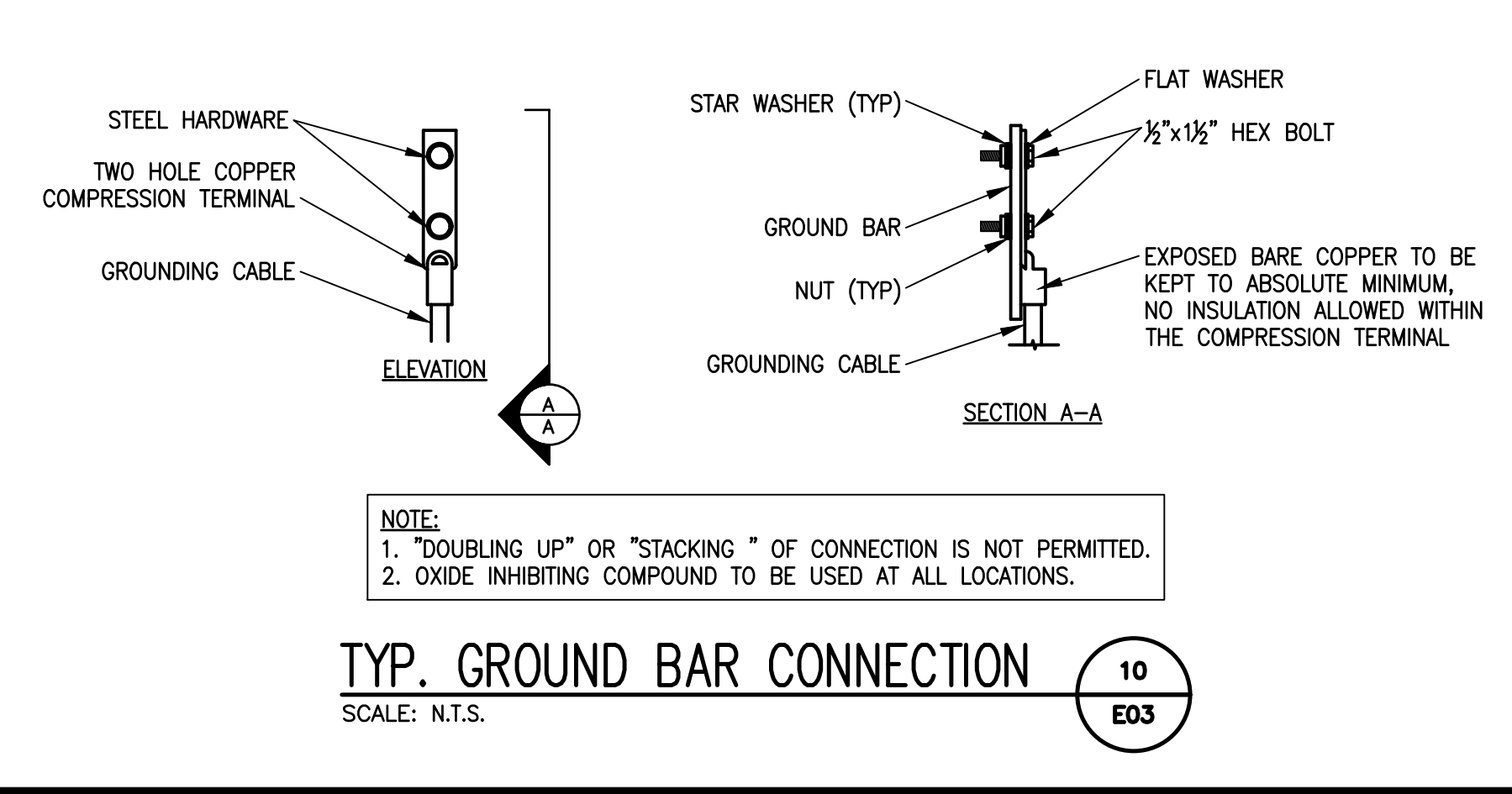
BUS BAR MOUNTING
 SCALE: N.T.S.

8
E03



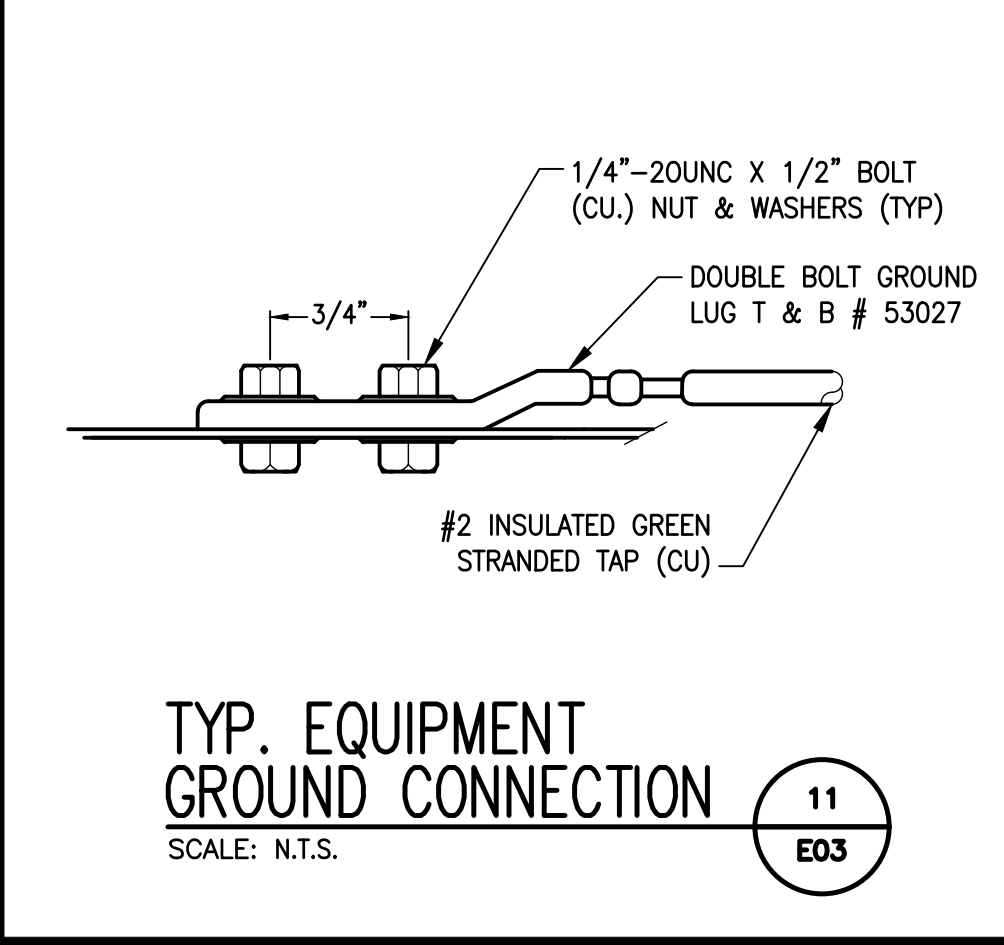
GROUND BAR DETAILS
 SCALE: N.T.S.

9
E03



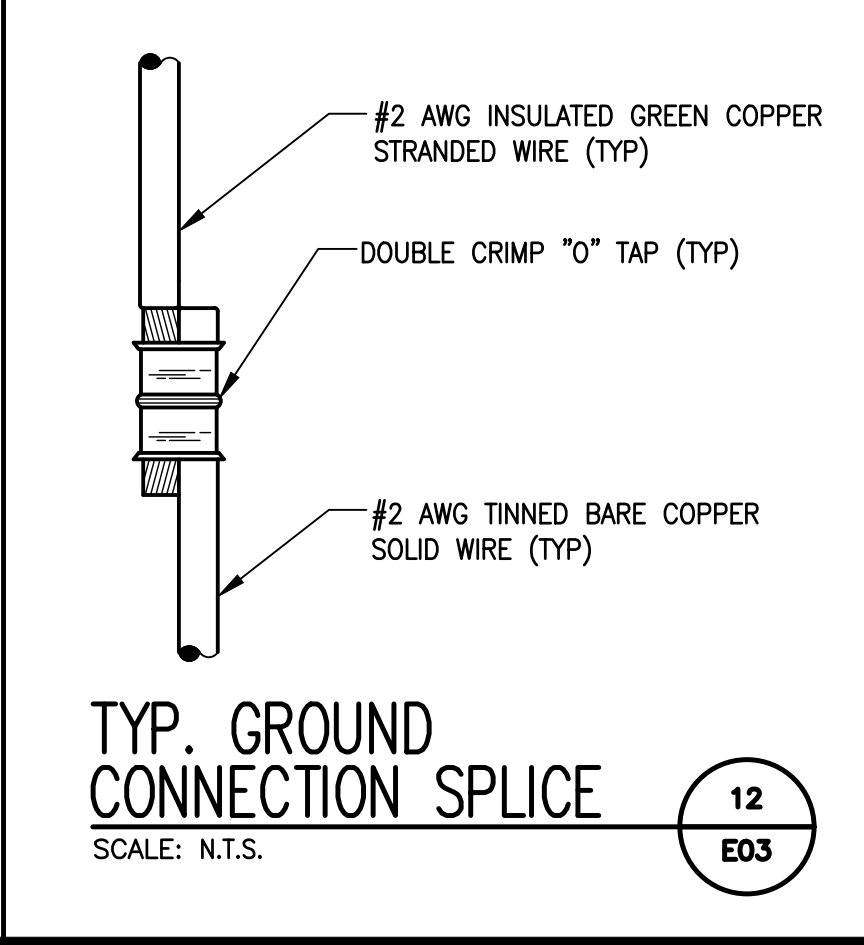
TYP. GROUND BAR CONNECTION
 SCALE: N.T.S.

10
E03



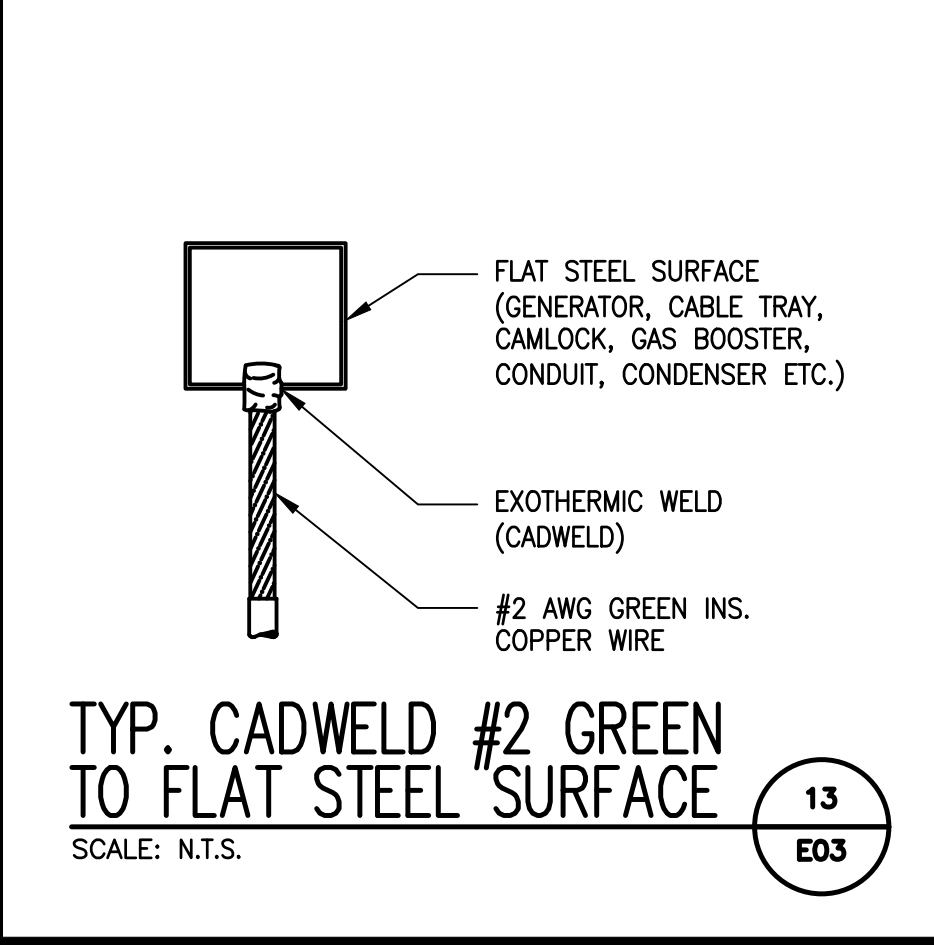
TYP. EQUIPMENT GROUND CONNECTION
 SCALE: N.T.S.

11
E03



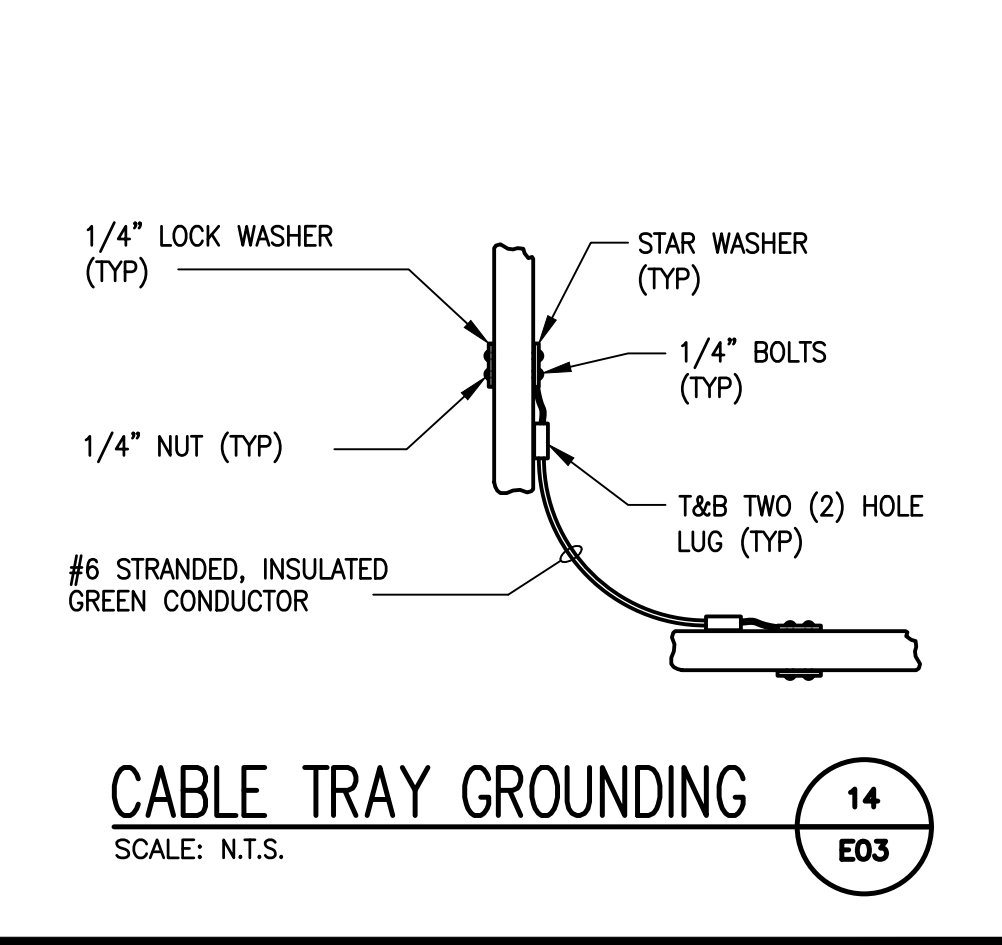
TYP. GROUND CONNECTION SPLICE
 SCALE: N.T.S.

12
E03



TYP. CADWELD #2 GREEN TO FLAT STEEL SURFACE
 SCALE: N.T.S.

13
E03



CABLE TRAY GROUNDING
 SCALE: N.T.S.

14
E03

20 ALEXANDER DRIVE, 2ND FLOOR
 WALLINGFORD, CT 06492
 (203) 741-7338

SBA COMMUNICATIONS CORP.
 134 FLANDERS ROAD, SUITE 125
 WESTBOROUGH, MA 01581
 (508) 251-0720

R.K. EXECUTIVE CENTRE
 201 BOSTON POST ROAD WEST, SUITE 101
 MARLBOROUGH, MA 01752
 (508) 481-7400
 www.chappellengineering.com

CHECKED BY: JMT
 APPROVED BY: JMT

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
2	02/28/24	CONSTRUCTION REVISED	CMC
1	07/07/23	ISSUED FOR CONSTRUCTION	CMC
0	06/16/23	ISSUED FOR REVIEW	CMC

PROJECT NAME & ADDRESS
HARWICH 2
 1151 FREEMANS WAY
 BREWSTER, MA 02631

VZW LOCATION CODE: 138531
 MDG LOCATION ID: 5000168489
 FUZE PROJECT ID: 17129898

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
E03

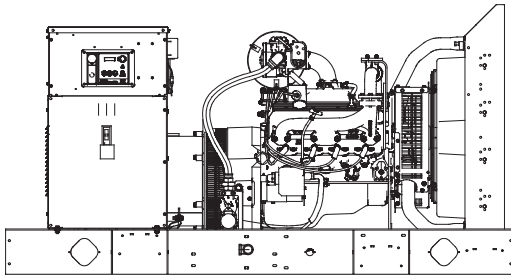


EPA-Certified for 60 Hz Stationary Emergency Applications

EPA certification not applicable at 50 Hz

Ratings Range

Standby:	kW kVA	60 Hz	50 Hz
		53 53-66	44 44-55



Standard Features

- Kohler Co. provides one-source responsibility for the generating system and accessories.
- The generator set and its components are prototype-tested, factory-built, and production-tested.
- The 60 Hz generator set offers a UL 2200 listing.
- The generator set accepts rated load in one step.
- The 60 Hz generator set meets NFPA 110, Level 1, when equipped with the necessary accessories and installed per NFPA standards.
- A one-year limited warranty covers all generator set systems and components. Two- and five-year extended limited warranties are also available.
- Alternator features:
 - The unique Fast-Response® X excitation system delivers excellent voltage response and short-circuit capability using a rare-earth, permanent magnet (PM)-excited alternator.
 - The brushless, rotating-field alternator has broadrange reconnectability.

Generator Set Ratings

Alternator	Voltage	Ph	Hz	Natural Gas 130°C Rise Standby Rating		LP Gas 130°C Rise Standby Rating	
				kW/kVA	Amps	kW/kVA	Amps
4P8X	120/208	3	60	53/66	184	53/66	184
	127/220	3	60	53/66	174	53/66	174
	120/240	3	60	53/66	159	53/66	159
	120/240	1	60	53/53	221	53/53	221
	139/240	3	60	53/66	159	53/66	159
	220/380	3	60	53/66	101	53/66	101
	277/480	3	60	53/66	80	53/66	80
	347/600	3	60	53/66	64	53/66	64
	110/190	3	50	44/55	168	44/55	168
	115/200	3	50	44/55	159	44/55	159
	120/208	3	50	44/55	153	44/55	153
	110/220	3	50	44/55	145	44/55	145
	110/220	1	50	44/44	200	44/44	200
	220/380	3	50	44/55	84	44/55	84
230/400	3	50	44/55	80	44/55	80	
240/415	3	50	44/55	77	44/55	77	
4P10X	120/208	3	60	53/66	184	53/66	184
	127/220	3	60	53/66	174	53/66	174
	120/240	3	60	53/66	159	53/66	159
	120/240	1	60	53/53	221	53/53	221
	139/240	3	60	53/66	159	53/66	159
	220/380	3	60	53/66	101	53/66	101
	277/480	3	60	53/66	80	53/66	80
	347/600	3	60	53/66	64	53/66	64
	110/190	3	50	44/55	168	44/55	168
	115/200	3	50	44/55	159	44/55	159
	120/208	3	50	44/55	153	44/55	153
	110/220	3	50	44/55	145	44/55	145
	110/220	1	50	44/44	200	44/44	200
	220/380	3	50	44/55	84	44/55	84
230/400	3	50	44/55	80	44/55	80	
240/415	3	50	44/55	77	44/55	77	
4Q8X	120/240	1	60	53/53	221	53/53	221
	110/220	1	50	44/44	200	44/44	200
4Q10X	120/240	1	60	53/53	221	53/53	221
	110/220	1	50	44/44	200	44/44	200

RATINGS: All three-phase units are rated at 0.8 power factor. All single-phase units are rated at 1.0 power factor. *Standby Ratings:* The standby rating is applicable to varying loads for the duration of a power outage. There is no overload capability for this rating. Ratings are in accordance with ISO-8528-1 and ISO-3046-1. For limited running time and continuous ratings, consult the factory. Obtain technical information bulletin (TIB-101) for ratings guidelines, complete ratings definitions, and site condition derates. The generator set manufacturer reserves the right to change the design or specifications without notice and without any obligation or liability whatsoever. For dual fuel engines, use the natural gas ratings for both the primary and secondary fuels.

Alternator Specifications

Specifications	Alternator
Manufacturer	Kohler
Type	4-Pole, Rotating-Field
Exciter type	Brushless, Rare-Earth Permanent Magnet
Leads: quantity, type	
4P8X, 4P10X	12, Reconnectable
4Q8X, 4Q10X	4, 110- 120/220- 240 V
Voltage regulator	Solid State, Volts/Hz
Insulation:	NEMA MG1
Material	Class H
Temperature rise	130°C, Standby
Bearing: quantity, type	1, Sealed
Coupling	Flexible Disc
Amortisseur windings	Full
Voltage regulation, no-load to full-load	Controller Dependent
One-step load acceptance	100% of Rating
Unbalanced load capability	100% of Rated Standby Current
Peak motor starting kVA:	(35% dip for voltages below)
480 V, 400 V 4P8X (12 lead)	255 (60 Hz), 215 (50 Hz)
480 V, 400 V 4P10X (12 lead)	275 (60 Hz), 220 (50 Hz)
240 V, 220 V 4Q8X (4 lead)	120 (60 Hz), 96 (50 Hz)
240 V, 220 V 4Q10X (4 lead)	144 (60 Hz), 121 (50 Hz)

- The unique Fast-Response® X excitation system delivers excellent voltage response and short-circuit capability using a rare-earth, permanent magnet (PM)-excited alternator.
- The brushless, rotating-field alternator has broadrange reconnectability.
- NEMA MG1, IEEE, and ANSI standards compliance for temperature rise and motor starting.
- Sustained short-circuit current of up to 300% of the rated current for up to 10 seconds.
- Sustained short-circuit current enabling downstream circuit breakers to trip without collapsing the alternator field.
- Self-ventilated and dripproof construction.

Application Data

Engine

Engine Specifications	60 Hz	50 Hz
Manufacturer	Kohler	
Engine: model, type	KG6208 6.2 L Natural Aspiration	
Cylinder arrangement	V-8	
Displacement, L (cu. in.)	6.2 (378)	
Bore and stroke, mm (in.)	101.6 x 95.25 (4.00 x 3.75)	
Compression ratio	10.5:1	
Rated rpm	1800	1500
Max. power at rated rpm, kW (HP)	77.0 (103)	64.3 (86)
Cylinder head material	Cast Aluminum	
Piston type and material	High Silicon Aluminum	
Crankshaft material	Cast Iron	
Valve (exhaust) material	Forged Steel	
Governor type	Electronic	
Frequency regulation, no-load to full-load	Isochronous	
Frequency regulation, steady state	±1.0%	
Frequency	Fixed	
Air cleaner type, all models	Dry	

Exhaust

Exhaust System	60 Hz	50 Hz
Exhaust manifold type	Dry	
Exhaust flow at rated kW, m ³ /min. (cfm)	11.7 (414)	9.8 (345)
Exhaust temperature at rated kW, dry exhaust, °C (°F)	677 (1250)	
Maximum allowable back pressure, kPa (in. Hg)	10.2 (3.0)	
Exhaust outlet size at engine hookup, mm (in.)	76 (3.0) OD	

Engine Electrical

Engine Electrical System	60 Hz	50 Hz
Ignition system	Electronic, Distributor	
Ignition system	Electronic	
Battery charging alternator:		
Ground (negative/positive)	Negative	
Volts (DC)	12	
Ampere rating	130	
Starter motor rated voltage (DC)	12	
Battery, recommended cold cranking amps (CCA):		
Qty., rating for - 18°C (0°F)	1, 630	
Battery voltage (DC)	12	

Fuel

Fuel System	60 Hz	50 Hz
Fuel type	Natural Gas, LP Gas, or Dual Fuel	
Fuel supply line inlet	1 NPTF	
Natural gas fuel supply pressure, kPa (in. H ₂ O)	1.74- 2.74 (7-11)	
LPG vapor withdrawal fuel supply pressure, kPa (in. H ₂ O)	1.24- 2.74 (5-11)	
Dual fuel engine, LPG vapor withdrawal fuel supply pressure, kPa (in. H ₂ O)	1.24 (5)	

Fuel Composition Limits *	Nat. Gas	LP Gas
Methane, % by volume	90 min.	—
Ethane, % by volume	4.0 max.	—
Propane, % by volume	1.0 max.	85 min.
Propene, % by volume	0.1 max.	5.0 max.
C ₄ and higher, % by volume	0.3 max.	2.5 max.
Sulfur, ppm mass	25 max.	
Lower heating value, MJ/m ³ (Btu/ft ³), min.	33.2 (890)	84.2 (2260)

* Fuels with other compositions may be acceptable. If your fuel is outside the listed specifications, contact your local distributor for further analysis and advice.

Lubrication

Lubricating System	60 Hz	50 Hz
Type	Full Pressure	
Oil pan capacity, L (qt.) §	5.7 (6.0)	
Oil pan capacity with filter, L (qt.) §	7.1 (7.5)	
Oil filter: quantity, type §	1, Cartridge	
§ Kohler recommends the use of Kohler Genuine oil and filters.		

Cooling

Radiator System	60 Hz	50 Hz
Ambient temperature, °C (°F) *	50 (122)	
Engine jacket water capacity, L (gal.)	7.3 (1.93)	
Radiator system capacity, including engine, L (gal.)	20.8 (5.5)	
Engine jacket water flow, Lpm (gpm)	129 (34.1)	108 (28.5)
Heat rejected to cooling water at rated kW, dry exhaust, kW (Btu/min.)	61.7 (3510)	53.3 (3030)
Water pump type	Centrifugal	
Fan diameter, including blades, mm (in.)	533 (21)	
Fan, kWm (HP)	2.2 (2.9)	1.3 (1.7)
Max. restriction of cooling air, intake and discharge side of radiator, kPa (in. H ₂ O)	0.125 (0.5)	

* Enclosure with enclosed silencer reduces ambient temperature capability by 5°C (9°F).

Operation Requirements

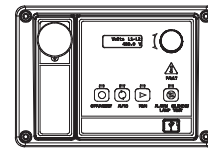
Air Requirements	60 Hz	50 Hz
Radiator-cooled cooling air, m ³ /min. (scfm) †	136 (4800)	113 (4000)
Combustion air, m ³ /min. (cfm)	4.6 (163)	3.9 (136)
Heat rejected to ambient air:		
Engine, kW (Btu/min.)	30.9 (1760)	26.5 (1510)
Alternator, kW (Btu/min.)	7.7 (440)	6.9 (390)
† Air density = 1.20 kg/m ³ (0.075 lbm/ft ³)		

Fuel Consumption ‡	60 Hz	50 Hz
Natural Gas, m³/hr. (cfh) at % load	Standby Ratings	
100%	24.9 (879)	20.4 (721)
75%	19.7 (696)	14.8 (524)
50%	13.9 (490)	9.8 (345)
25%	7.9 (277)	5.8 (204)
LP Gas, m³/hr. (cfh) at % load	Standby Ratings	
100%	9.5 (337)	8.5 (300)
75%	7.6 (267)	5.7 (199)
50%	5.1 (178)	4.2 (146)
25%	3.2 (113)	2.7 (96)

‡ Nominal fuel rating: Natural gas, 37 MJ/m³ (1000 Btu/ft.³)
LP vapor, 93 MJ/m³ (2500 Btu/ft.³)

LP vapor conversion factors:
8.58 ft.³ = 1 lb.
0.535 m³ = 1 kg.
36.39 ft.³ = 1 gal.

Controllers



APM402 Controller

Provides advanced control, system monitoring, and system diagnostics for optimum performance and compatibility.

- Digital display and menu control provide easy local data access
- Measurements are selectable in metric or English units
- Remote communication thru a PC via network or serial configuration
- Controller supports Modbus® protocol
- Integrated hybrid voltage regulator with ±0.5% regulation
- Built-in alternator thermal overload protection
- NFPA 110 Level 1 capability

Refer to G6-161 for additional controller features and accessories.

Standard Features

- Alternator Protection
- Battery Rack and Cables
- Electronic, Isochronous Governor
- Gas Fuel System (includes fuel mixer, electronic secondary gas regulator, gas solenoid valve, and flexible fuel line between the engine and the skid-mounted fuel system components)
- Integral Vibration Isolation
- Local Emergency Stop Switch
- Oil Drain Extension
- Operation and Installation Literature

Available Options

Approvals and Listings

- CSA Approval
- IBC Seismic Certification
- UL 2200 Listing
- Hurricane Rated Enclosure

Enclosed Unit

- Sound Enclosure (with enclosed critical silencer)
- Weather Enclosure (with enclosed critical silencer)

Open Unit

- Exhaust Silencer, Critical (kit: PA-352663)
- Flexible Exhaust Connector, Stainless Steel

Fuel System

- Dual Fuel NG/LPG (automatic changeover)
- Flexible Fuel Line (required when the generator set skid is spring mounted)
- Fuel Filter Kit

Controller

- Common Fault Relay
- Two Input/Five Output Module
- Remote Annunciator Panel
- Remote Emergency Stop
- Run Relay
- Manual Speed Adjust

Cooling System

- Block Heater, 1500 W, 110-120 V
Required for ambient temperatures below 10°C (50°F)
- Radiator Duct Flange

Electrical System

- Alternator Strip Heater
- Battery
- Battery Charger
- Battery Charger Temperature Compensation
- Battery Heater
- Line Circuit Breaker (NEMA1 enclosure)
- Line Circuit Breaker with Shunt Trip (NEMA1 enclosure)

Miscellaneous

- Air Cleaner Restrictor Indicator
- Certified Test Report
- Engine Fluids (oil and coolant) Added
- Rated Power Factor Testing
- Rodent Guards
- Open Unit Accessory Kit (stone guards, radiator duct flange, flexible exhaust)

Literature

- General Maintenance
- NFPA 110
- Overhaul
- Production

Warranty

- 2-Year Basic Limited Warranty
- 5-Year Basic Limited Warranty
- 5-Year Comprehensive Limited Warranty

Other Options

- _____
- _____
- _____
- _____
- _____
- _____
- _____
- _____

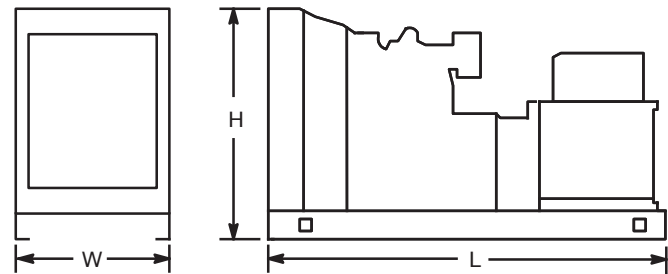
Dimensions and Weights

Overall Size, L x W x H, mm (in.):

Wide Skid 2200 x 1040 x 1170 (86.6 x 40.9 x 46.1)

Narrow Skid 2200 x 864 x 1170 (86.6 x 34.0 x 46.1)

Weight (radiator model), wet, kg (lb.): 862 (1900)



NOTE: This drawing is provided for reference only and should not be used for planning installation. Contact your local distributor for more detailed information.

DISTRIBUTED BY:



Town of Brewster
2198 Main Street
Brewster, MA 02631-1898
Phone: (508) 896-3701
www.brewster-ma.gov

Office of:
Select Board
Town Manager

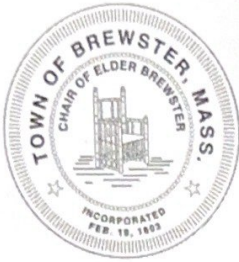
MEMORANDUM

To: Select Board
From: Erika Mawn, Executive Assistant
RE: Matt McDermott- Inn Holder License Application
Date: March 20, 2024

The Town Manager's office received an application for a new Inn Holder License for the property located at 618 Main Street. This property previously operated as Michael's Cottages, who held an Inn Holder's License since 2016. The new owner, Matt McDermott of McDermott Properties LLC, purchased the property in October 2023 and intends on operating the same type of business, short-term vacation rentals.

As part of the administrative process, the application has been shared with various Department Heads for their feedback and comment. Mr. McDermott has contacted the Building and Health Departments to verify there are no outstanding issues with the property. There are also no outstanding tax payments per the Tax Collector's Office. There is a scheduled inspection by the Fire Prevention Officer on March 28, 2024, the license is contingent on passing the inspection and being in compliance with Fire Code requirements.

If approved the Inn Holder's License will be valid from March 25, 2024, until December 31, 2024. The owner will need to renew this license each year in the month of November through the Town Manager's office.



Town of Brewster
2198 Main Street
Brewster, MA 02631
Phone: (508) 896-3701
Website: www.brewster-ma.gov

Office of:
Select Board
Town Manager

Application Fees: \$50

**APPLICATION FOR
INN HOLDER/LODGING HOUSE LICENSE**

Application must be submitted at least 4 weeks prior to the date of the event. Following submission of a completed application and payment, the request will be placed on a Select Board meeting agenda for review. Submit to Town Manager's office or licenses@brewster-ma.gov.

Section 1: Applicant Information

Applicant's Name: <u>MATHEW McDERMOTT</u>
Applicant's Address: <u>[REDACTED]</u>
Telephone # and Email Address: <u>[REDACTED] / [REDACTED]</u>

Section 2: Business Information

Name of Business and Federal ID #: <u>McDERMOTT PROPERTIES, 93-3590558</u>
Address of Business: <u>618 MAIN ST. BREWSTER MA 02664</u>
Description and Purpose of Building Use: <u>SHORT TERM VACATION RENTALS</u>
Number of Rooms: <u>7</u> Occupancy at Capacity: <u>14</u>

Please submit the following with your application:

- Copy of lease or deed
- Copy of floor plan
- Copy of Business Structure Documents (Articles of Organization, LLC Agreement, Partnership Agreement, Business Certificate)

Applicant Signature: Date: 1/8/24

N O T
A N
O F F I C I A L
C O P Y

N O T
A N
O F F I C I A L
C O P Y

N O T
{Space above this line reserved for Registry of Deeds use}

O F F I C I A L
C O P Y

O F F I C I A L
C O P Y

QUITCLAIM DEED

GLOUNLEA HOLDINGS, INC., a Massachusetts Corporation, having a principal place of business at 36 Edwards Road, Dennisport, MA 02639,

for consideration paid and full consideration of ONE MILLION TWO HUNDRED SEVENTY-SIX THOUSAND AND 00/100 (\$1,276,000.00) DOLLARS

grant to MCDERMOTT PROPERTIES, LLC and MICARAN PROPERTIES, LLC, New York limited liability companies duly filed in the Commonwealth of Massachusetts with a principal notice address of 618 Main Street, Brewster, Massachusetts 02631

with QUITCLAIM *covenants*

The land in Brewster, Barnstable County, Massachusetts, together with the house and cottages thereon, bounded and described as follows:

Parcel 2 as shown on plan of land entitled "Plan of Land in Brewster, Mass. for Norman E. Lindstrom et ux, Scale 1" = 30', Date: Oct 11, 1977, Richard J. O'Hearn, R.L.S. & R.S., 191 Main Street, West Dennis, Mass" which plan is recorded with the Barnstable Registry of Deeds in Plan Book 318, Page 9.

The premises are conveyed subject to and with the benefit of all easements, restrictions, rights of way, takings, reservations, exceptions and covenants of record, to the extent now in force and applicable, but not intending hereby to recreate or extend restrictions, reservations, exceptions and covenants previously terminated or expired.

This deed is given in the usual course of the Grantor's business and is not a conveyance of all or substantially all of the Grantor's assets in Massachusetts.

Meaning and intending to convey and hereby conveying the property conveyed to the Grantor by deed recorded with the Barnstable County Registry of Deeds as Book 29664, Page 247.

[SIGNATURE PAGE TO FOLLOW]

Property Address: 618 Main Street, Brewster, MA 02631

N O T
A N
O F F I C I A L
C O P Y

N O T
A N
O F F I C I A L
C O P Y

N O T
A N
Executed as a sealed instrument on the date annexed to our signatures.
O F F I C I A L
C O P Y

GLOUNLEA HOLDINGS, INC.

By:

Date: 10-17-2023 *Geraldine M. McCarthy*
GERALDINE M. MCCARTHY, PRESIDENT

Date: 10-17-2023 *Matthew J. Carney*
MATTHEW J. CARNEY, TREASURER

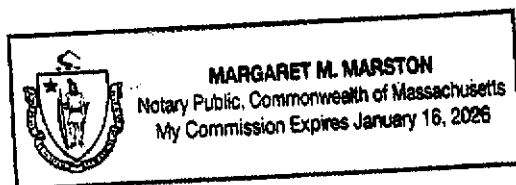
COMMONWEALTH OF MASSACHUSETTS

County of Barnstable

On this 17th day of October, 2023 before me, the undersigned notary public, personally appeared GERALDINE M. MCCARTHY, President, and MATTHEW J. CARNEY, Treasurer, as aforesaid,

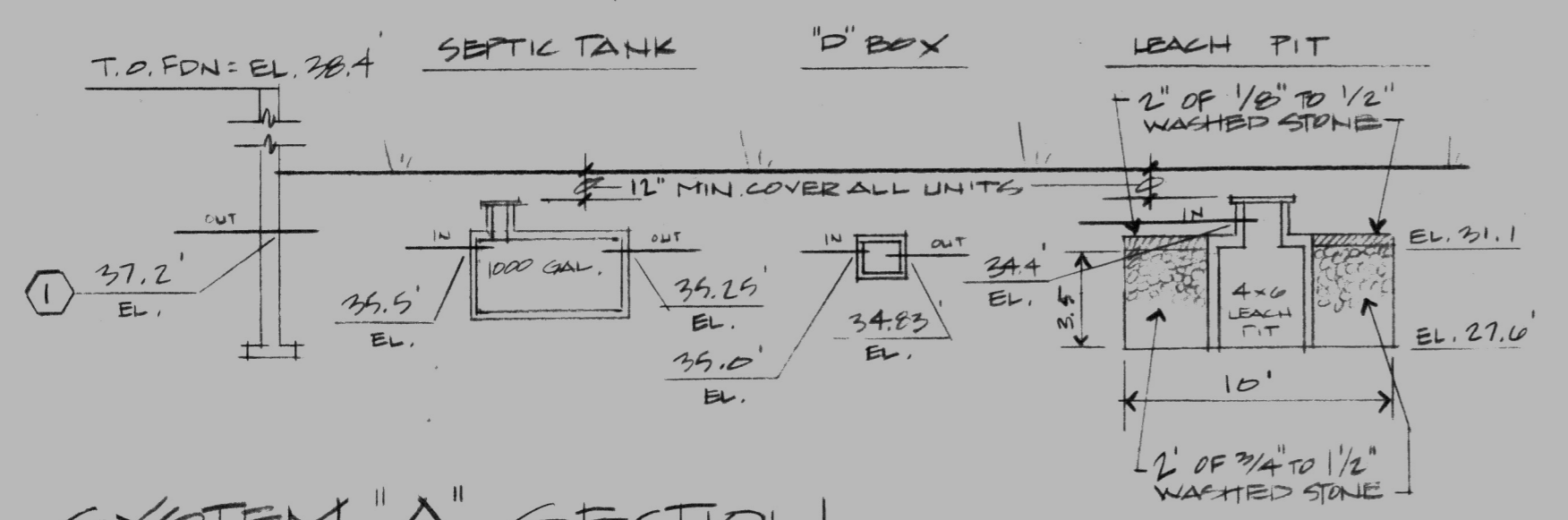
- personally known to me, or
- proved to me through satisfactory evidence of identification, which was
 - driver's license
 - (other:)

to be the persons whose name is signed on the preceding or attached document, and who swore or affirmed to me that the contents of the documents are truthful and accurate to the best of their knowledge and belief, and acknowledged the foregoing to be their free act and deed and signed it voluntarily for its stated purpose on behalf of GLOUNLEA HOLDINGS, INC.

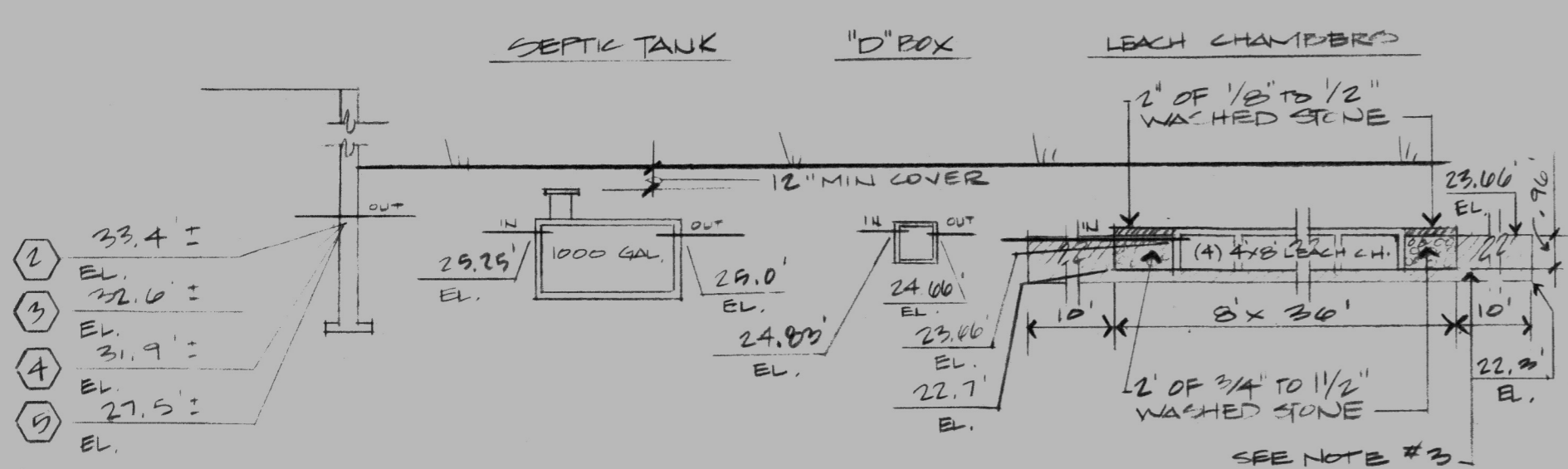


Margaret M. Marston
Notary Public
My Commission Expires: 01/16/26

184-91 M 22 L 35



SYSTEM "A" SECTION
NOT TO SCALE



SYSTEM "B" SECTION
NOT TO SCALE

- NOTES:
1. DATUM TAKEN FROM THE HARWICH QUADRANGLE MAP,
 2. DESIGN LOADING FOR ALL PRECAST UNITS: AASHC-H-10-44, H-20-44 WHERE VEHICLE LOADS ARE ANTICIPATED,
 3. ALL UNSUITABLE MATERIAL WITHIN 10' IN ALL DIRECTIONS OF THE LEACH FACILITY SHALL BE REMOVED & REPLACED W/ CLEAN MEDIUM SAND.
 4. CONSTRUCTION DETAILS SHALL BE IN ACCORDANCE W/ COMM. OF MASS, STATE ENVIRONMENTAL CODE TITLE 5.
 5. CONTRACTOR TO NOTIFY 'DIG-SAFE' PRIOR TO CONSTRUCTION (1-800-322-4941)

SYSTEM "A" DESIGN (3 BEDROOMS)

DAILY FLOW RATE: $110 \text{ G/D} \times 3 = 330 \text{ G/D}$

SEPTIC TANK DESIGN: $330 \text{ G/D} \times 1.5 = 495 \text{ G/D}$
(USE 1000 GALLON SEPTIC TANK)

LEACH FACILITY

SIDEWALL: $\pi (10) (2.5) = 110 \# (2.5) = 275 \text{ G/D}$

BOTTOM: $\pi (5)^2 = 78 \# (1.0) = 78 \text{ G/D}$

TOTAL: $= 188 \# \text{ T} = 353 \text{ G/D}$

USE (1) 4x6 LEACH PIT W/ 2.0' OF 3/4" TO 1/2" WASHED STONE.

SYSTEM "B" DESIGN (4 BEDROOMS)

DAILY FLOW RATE: $110 \text{ G/D} \times 4 = 440 \text{ G/D}$

SEPTIC TANK DESIGN: $440 \text{ G/D} \times 1.5 = 660 \text{ G/D}$
(USE 1000 GALLON SEPTIC TANK)

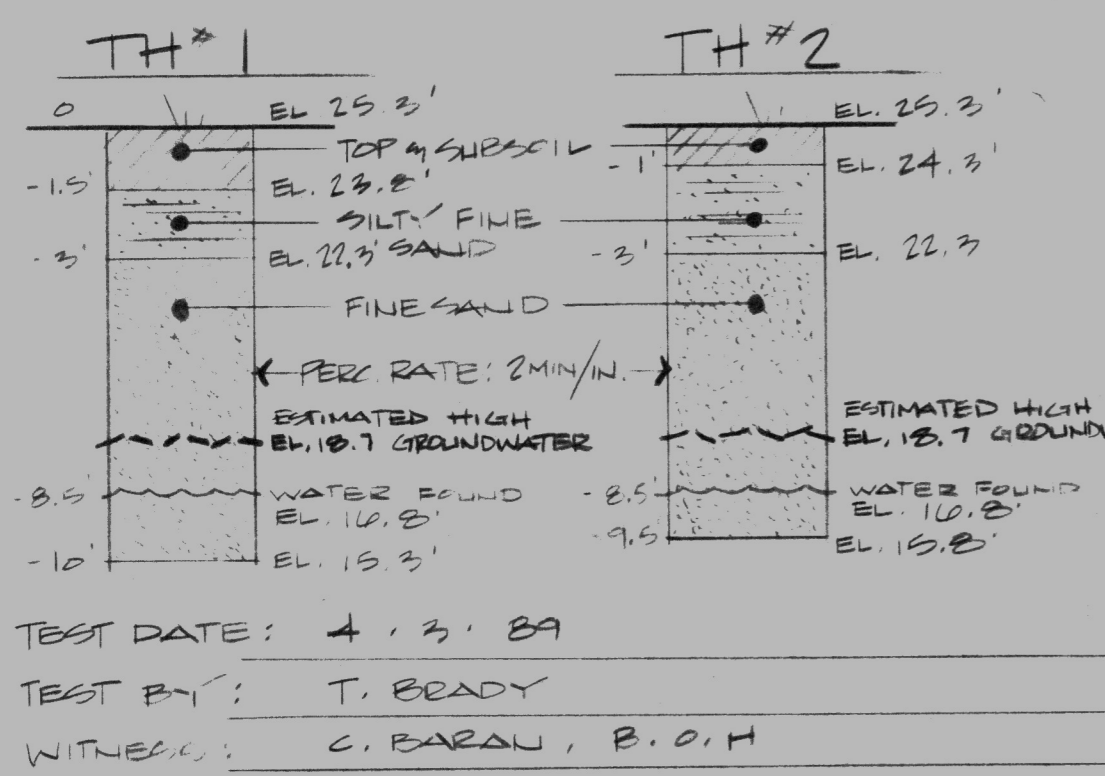
LEACH FACILITY

SIDEWALL: $2 (8 \times 3/4) (1.9) = 24 \# (2.5) = 211 \text{ G/D}$

BOTTOM: $(8 \times 36) = 288 \# (1.0) = 288 \text{ G/D}$

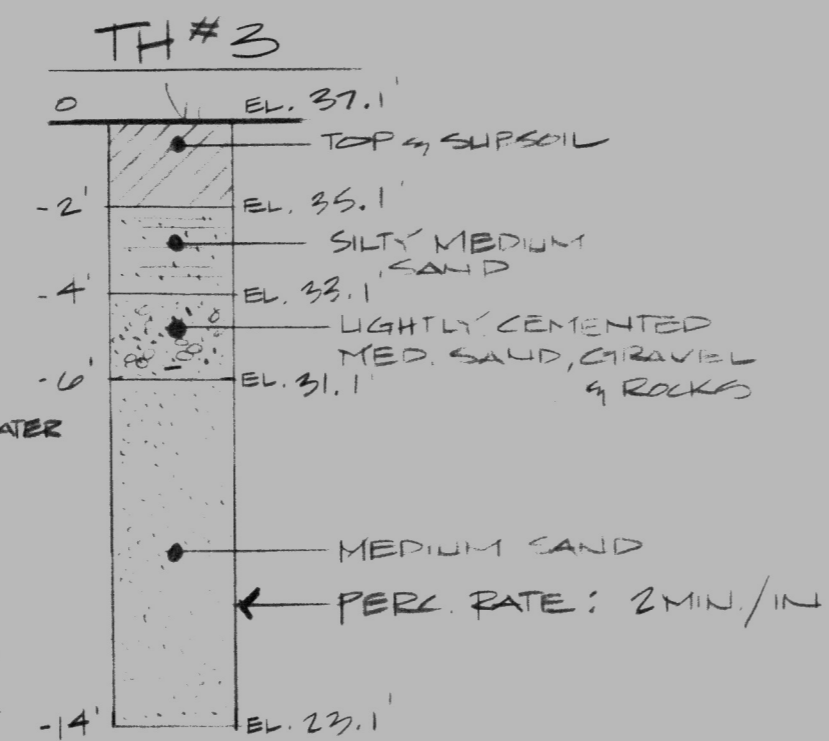
TOTAL: $= 372 \# \text{ T} = 499 \text{ G/D}$

USE (4) 4x8 LEACH CHAMBERS W/ 2' OF WASHED STONE - ALL SIDES.

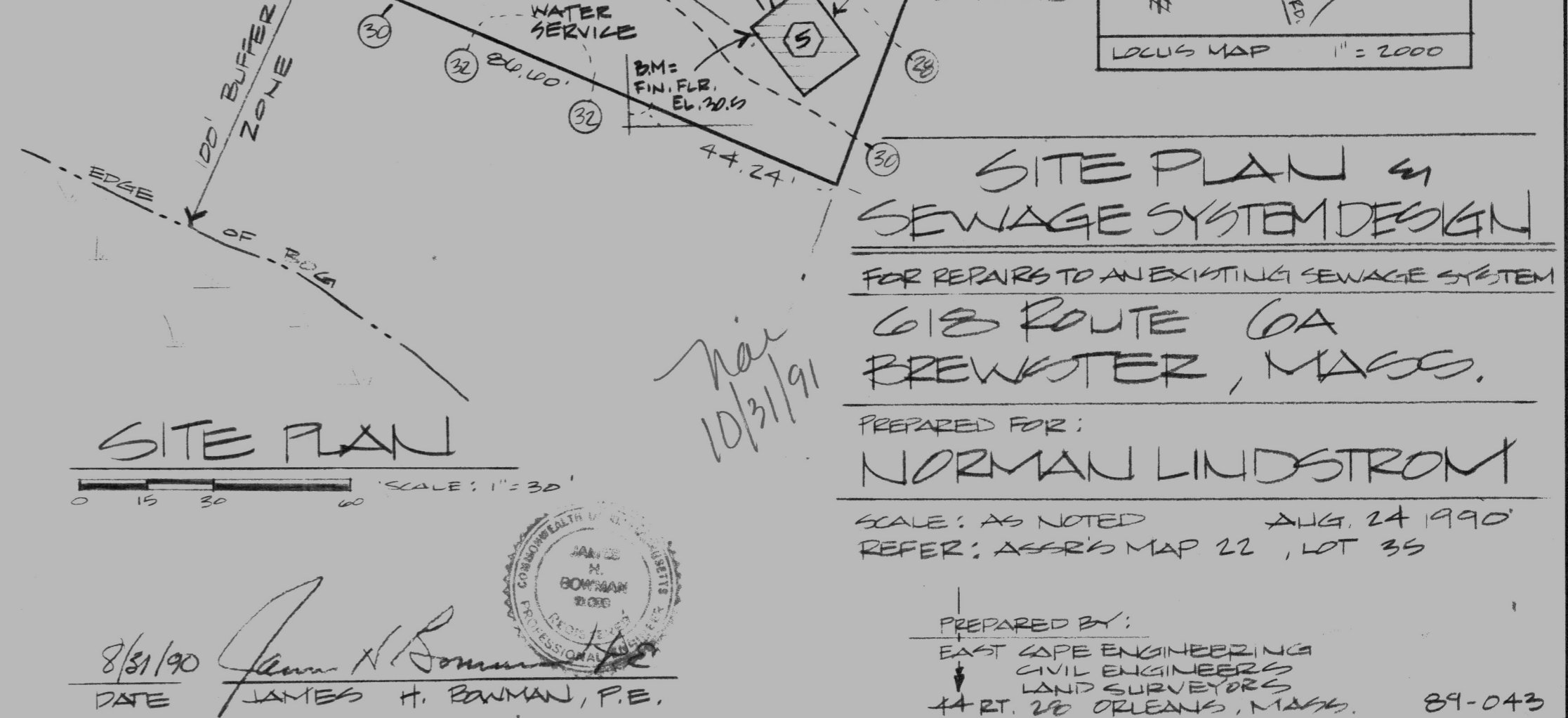


TEST DATE: 4.3.89
TEST BY: T. BRADY
WITNESSED: C. BARAN, B.O.H.

TEST HOLE LOGS
NOT TO SCALE



- NOTE:
- EXISTING WATER LINES TO BE RELOCATED AS NECESSARY.
 - SEWAGE LINES WITHIN 10' OF, OR CROSSING WATER SUPPLY LINES TO COMPLY WITH 310 CMR 15.03(7) DISTANCES & BREWSTER BOARD OF HEALTH REGULATIONS.



SITE PLAN

SCALE: 1" = 30'

8/31/90
DATE
JAMES H. BOWMAN, P.E.



SITE PLAN & SEWAGE SYSTEM DESIGN

FOR REPAIRS TO AN EXISTING SEWAGE SYSTEM
618 ROUTE 6A
BREWSTER, MASS.

PREPARED FOR:
NORMAN LINDSTROM

SCALE: AS NOTED
REFER: ASSR'S MAP 22, LOT 35

PREPARED BY:
EAST COPE ENGINEERING
CIVIL ENGINEERS
LAND SURVEYORS
14 RT. 26 ORLEANS, MASS. 01943

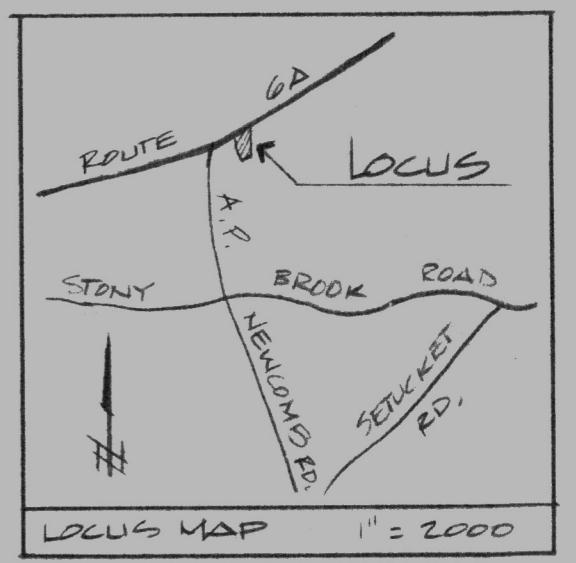
REV: 10.29.91 PROPOSED WATER SERVICE & NOTE
REV: 10.31.91 SYSTEM "B" LEACH CHAMBER LOCATION

ROUTE 6A - STATE HIGHWAY
(50' WIDE)

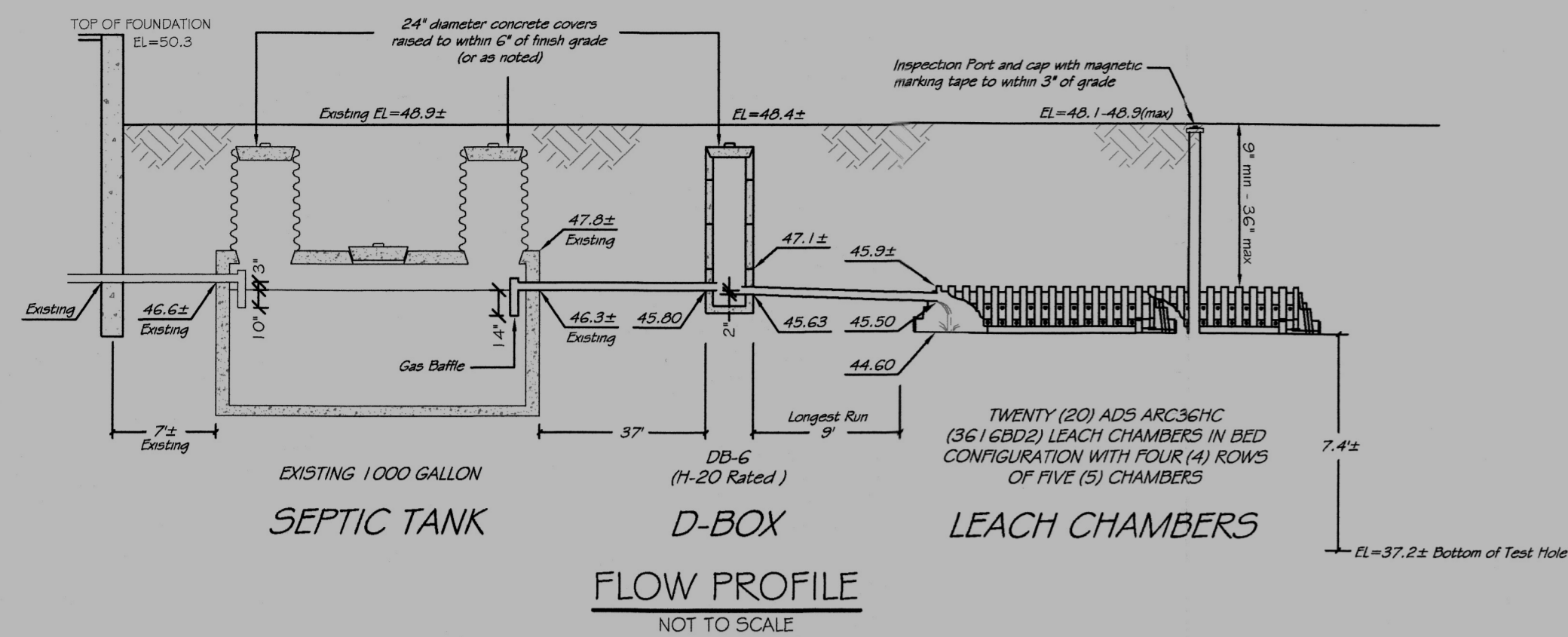
PARCEL 2
48,023 S.F. ±

NOTE:
WATER SERVICE CROSSING OR WITHIN 10' OF SEWAGE SYSTEM PIPING TO BE SLEEVED WITH A 2" PIPE SEALED AT BOTH ENDS.

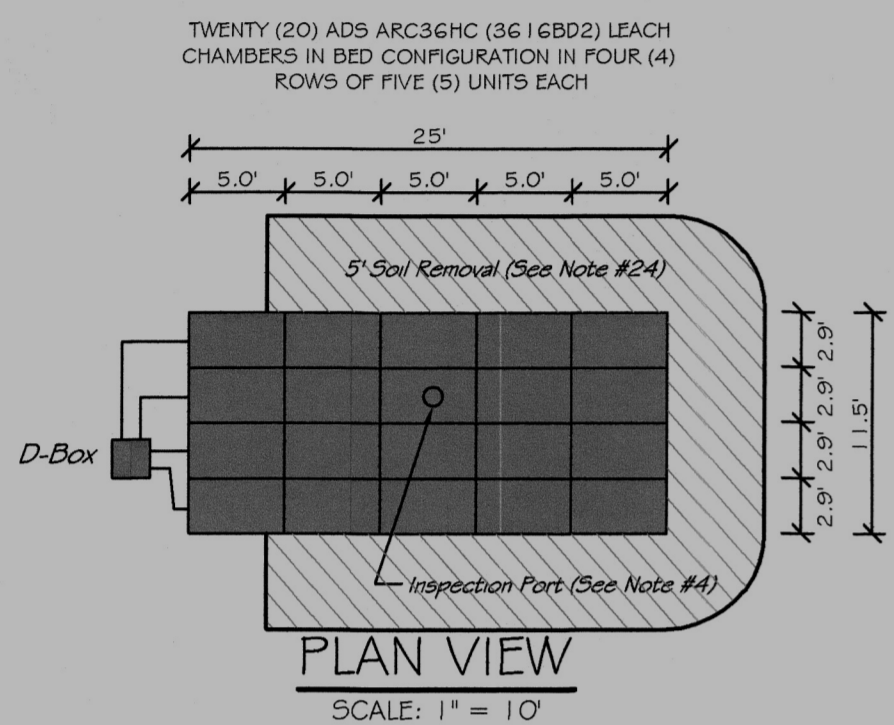
NOTE: 10.30.91 UNSUITABLE SOILS FOUND @ EAST END OF SYSTEM "B" LEACH AREA. SOIL CONDITIONS @ WEST END OF REVISED LOCATION VERIFIED THE SAME AS TH #1 & #2



LOCUS MAP 1" = 2000'



FLOW PROFILE
NOT TO SCALE



PLAN VIEW
SCALE: 1" = 10'

CONSTRUCTION NOTES

- 1.) ALL WORK SHALL CONFORM TO THE STATE ENVIRONMENTAL CODE, TITLE 5 (310 CMR 15.000) STANDARD REQUIREMENTS FOR THE Siting, CONSTRUCTION, INSPECTION, UPGRADE, AND EXPANSION OF ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS AND FOR THE TRANSPORT AND DISPOSAL OF SEPTAGE, AND THE LOCAL BOARD OF HEALTH REGULATIONS.
- 2.) ANY SEPTIC SYSTEM COMPONENT INSTALLED IN A LOCATION WHERE THERE IS POTENTIAL FOR VEHICLES OR HEAVY EQUIPMENT TO PASS OVER IT SHALL BE DESIGNED TO WITHSTAND AN H-20 LOADING. IF UNDER AN IMPERVIOUS SURFACE, SYSTEM SHALL BE VENTED TO THE ATMOSPHERE.
- 3.) TO MINIMIZE UNEVEN SETTLING, SEPTIC TANKS SHALL BE INSTALLED ON A STABLE MECHANICALLY-COMPACTED BASE ON SIX INCHES OF CRUSHED STONE.
- 4.) COVERS OVER THE INLET AND OUTLET TEES OF THE SEPTIC TANK, THE DISTRIBUTION BOX, AND THE SOIL ABSORPTION SYSTEM SHALL BE RAISED TO WITHIN 6" OF FINAL GRADE. LEACHING FIELDS, TRENCHES, AND OTHER SOIL ABSORPTION SYSTEMS WITHOUT ACCESS MANHOLES SHALL HAVE AT LEAST ONE (1) INSPECTION PORT CONSISTING OF PERFORATED 4" PVC PIPE PLACED VERTICALLY TO THE BOTTOM OF THE SOIL ABSORPTION SYSTEM WITH A CAP, TIED WITH MAGNETIC MARKING TAPE, ACCESSIBLE TO WITHIN 3" OF FINAL GRADE.
- 5.) PIPING SHALL CONSIST OF 4" SCHEDULE 40 PVC OR EQUIVALENT. PIPE SHALL BE LAID ON A MINIMUM CONTINUOUS GRADE OF NOT LESS THAN 2% FROM THE BUILDING TO THE SEPTIC TANK, AND NOT LESS THAN 1% OTHERWISE.
- 6.) DISTRIBUTION LINES FOR THE SOIL ABSORPTION SYSTEM SHALL BE 4" DIAMETER SCHEDULE 40 PVC (OR EQUIVALENT) LAID AT 0.005 FT/FT, UNLESS OTHERWISE NOTED. LINES SHALL BE CAPPED AT END OR AS NOTED.
- 7.) LINES FROM THE DISTRIBUTION BOX TO BE LEVEL FOR THE FIRST TWO (2) FEET BEFORE FITTING TO THE SOIL ABSORPTION SYSTEM. DISTRIBUTION BOX SHALL BE WATER TESTED TO ASSURE EVEN DISTRIBUTION.
- 8.) GROUT TO BE USED AT ALL POINTS WHERE PIPES ENTER OR LEAVE ALL CONCRETE STRUCTURES IN ORDER TO PROVIDE A WATER TIGHT SEAL.
- 9.) HEAVY EQUIPMENT SHALL NOT BE ALLOWED TO OPERATE OVER THE LIMITS OF THE SEWAGE DISPOSAL FIELD DURING THE COURSE OF CONSTRUCTION OF THE SYSTEM.
- 10.) IN ACCORDANCE WITH 310 CMR 15.221, ALL SYSTEM COMPONENTS SHALL BE MARKED WITH MAGNETIC MARKING TAPE.
- 11.) THERE ARE NO KNOWN WELLS WITHIN 100' OF THE PROPOSED SOIL ABSORPTION SYSTEM.
- 12.) FROM THE DATE OF THE INSTALLATION OF THE SOIL ABSORPTION SYSTEM UNTIL RECEIPT OF THE CERTIFICATE OF COMPLIANCE, THE PERIMETER SHALL BE STAKED AND FLAGGED TO PREVENT USE OF THE AREA THAT MAY CAUSE DAMAGE TO THE SYSTEM.
- 13.) THE DESIGNER WILL NOT BE RESPONSIBLE FOR THE SYSTEM AS DESCRIBED IN WRITING BY THE DESIGNER.
- 14.) THE BOARD OF HEALTH REQUIRES INSPECTION OF ALL CONSTRUCTION BY AN AGENT OF THE BOARD OF HEALTH AND THE DESIGNER. THE DESIGNER SHALL CERTIFY IN WRITING THAT THE SEWAGE DISPOSAL SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE TERMS OF THE PERMIT AND THE APPROVED PLANS. 48 HOURS ADVANCE NOTICE IS REQUESTED.
- 15.) LOCATION OF UTILITIES IS APPROXIMATE AND CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, REQUESTS TO DISAPPE, ANY PRIVATE UTILITY COMPANIES, AND THE LOCAL WATER DEPARTMENT.
- 16.) CONTRACTOR SHALL VERIFY THAT ALL WASTEWELLS ARE CONNECTED BY WATER TESTING WITHIN THE DWELLING PRIOR TO INSTALLATION OF ANY SEPTIC COMPONENTS.
- 17.) CONTRACTOR SHALL VERIFY EXISTING INVERT ELEVATIONS PRIOR TO INSTALLATION OF ANY SEPTIC SYSTEM COMPONENTS.
- 18.) INSTRUMENT SURVEY CONDUCTED FOR PROPOSED WORK ONLY. SITE PLAN SHALL NOT BE USED FOR STAKING, OR ANY OTHER PURPOSES.
- 19.) THIS PLAN DOES NOT CERTIFY, GUARANTEE OR WARRANTY COMPLIANCE WITH DEEDED OR ZONING BYLAWS, SPECIFICALLY, BUT NOT LIMITED TO, SIDELINE SETBACKS AND BUILDING HEIGHT RESTRICTIONS. OWNER IS RESPONSIBLE FOR OBTAINING SUCH A DETERMINATION FROM THE APPROPRIATE AUTHORITY.
- 20.) IF SOILS DIFFER FROM THOSE SHOWN IN THE SOILS LOGS, DESIGN ENGINEER IS TO INSPECT THE SOILS PRIOR TO PROCEEDING WITH INSTALLATION.
- 21.) EXISTING 1000 GALLON SEPTIC TANK TO BE UTILIZED. PVC TEES TO BE INSTALLED ON INLET AND OUTLET PIPES IF NECESSARY, AND A GAS Baffle INSTALLED IN THE OUTLET TEE.
- 22.) EXISTING SEPTIC COMPONENTS TO BE LOCATED, PLUMPED DRY, FILLED WITH CLEAN SAND AND ABANDONED IN PLACE. AREA TO BE COMPACTED TO MINIMIZE SETTLING.
- 23.) EXISTING SEPTIC COMPONENTS TO BE REMOVED. ANY CONTAMINATED SOIL SHALL BE REMOVED FOR A DISTANCE OF FIVE (5) FEET LATERALLY FROM THE SOIL ABSORPTION SYSTEM AND REPLACED WITH CLEAN SAND. AREA TO BE COMPACTED TO MINIMIZE SETTLING.
- 24.) SOIL REMOVAL: ALL TOPSOIL (A+ LAYER) AND SUBSOIL (B+ LAYER) SHALL BE REMOVED FOR A DISTANCE OF FIVE (5) FEET LATERALLY FROM THE SOIL ABSORPTION SYSTEM DOWN TO THE CLEAN SAND LAYER (EL Varies). AREA TO BE BACKFILLED WITH CLEAN SAND AND COMPACTED TO MINIMIZE SETTLING.

SYSTEM DESIGN CALCULATIONS

SEWAGE DESIGN FLOW REQUIRED: 3 BEDROOM DWELLING @ 110 GPD / BEDROOM = 330 GPD REQUIRED

SEWAGE DESIGN FLOW PROVIDED: TWENTY (20) ADS UNITS IN BED CONFIGURATION IN FOUR (4) ROWS OF FIVE (5) UNITS EACH

$$V = (330 / 0.74) / (4.0 \text{ FT}^2 \text{ FT}) / 5.0 \text{ LF} = 19 \text{ ADS UNITS REQUIRED (20 PROVIDED)}$$

355 GPD PROVIDED > 330 GPD REQUIRED

SEPTIC TANK CAPACITY REQUIRED: 330 GPD X 200% = 660 GPD REQUIRED

SEPTIC TANK CAPACITY PROVIDED: EXISTING 1000 GALLON SEPTIC TANK

A GARBAGE DISPOSAL IS NOT PERMITTED WITH THIS DESIGN FLOW

TEST HOLE LOGS

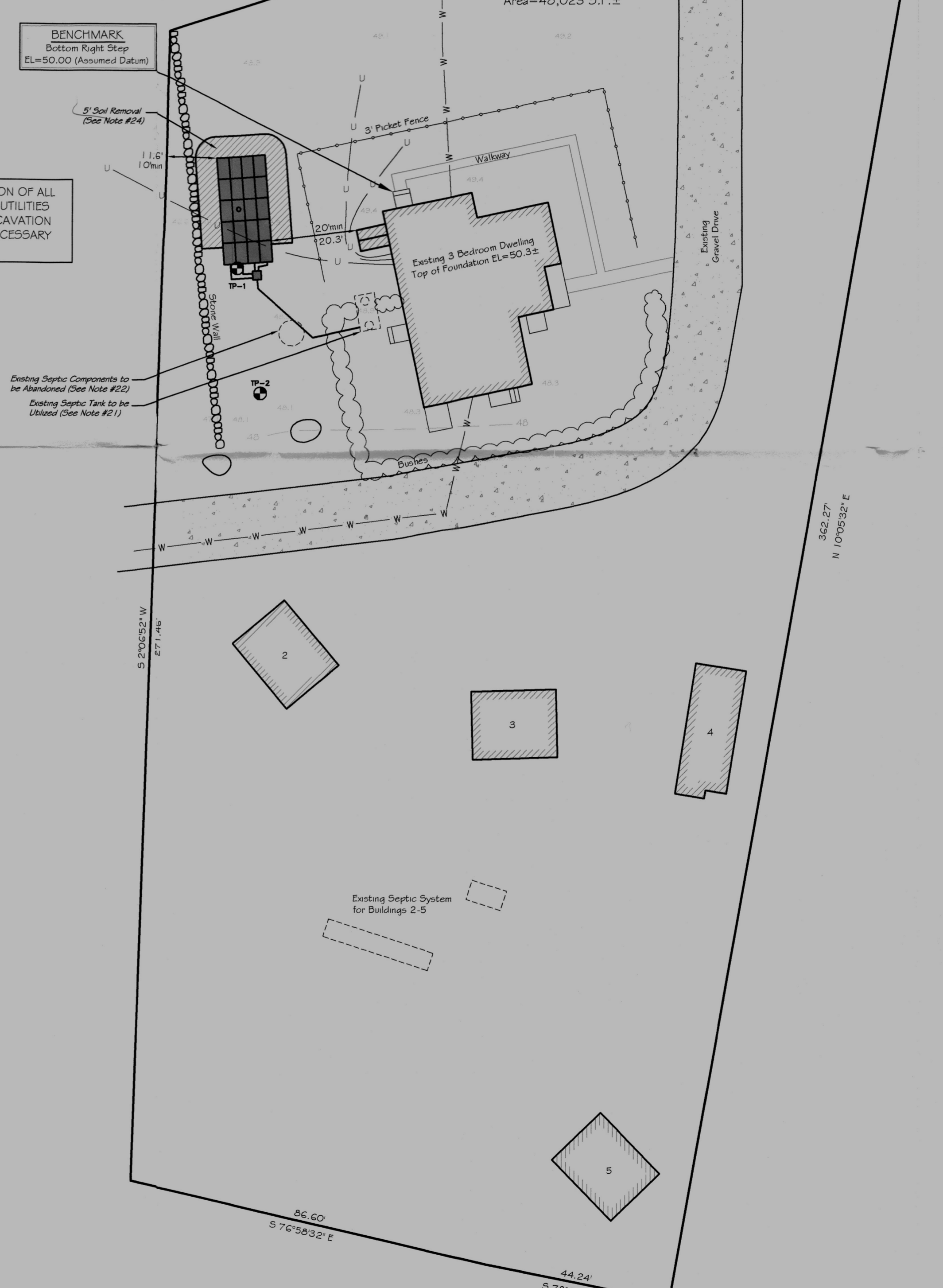
Test Hole #1 (EL=48.5±)				
Depth	Layer	Soil Class	Soil Color	Comments
0'-22"	A	Fine-Medium Sandy Loam	10YR 3/3	
22'-36"	B	Fine-Sandy Loam	10YR 6/4	20% Gravel
36'-112"	C1	Medium Sand	10YR 6/4	
112'-132"	C2	Fine Sand	10YR 6/6	30% Boulders

Test Hole #2 (EL=48.2±)				
Depth	Layer	Soil Class	Soil Color	Comments
0'-33"	Fill			
33'-58"	C1	Medium Loamy Sand	10YR 6/4	
58'-122"	C2	Fine Sand	10YR 6/6	Perc @ 57"

DATE OF TESTING: 04/08/14
 SOIL EVALUATOR: LINDA J. PINTO, P.E., OCEANSIDE SEPTIC, INC.
 BOARD OF HEALTH AGENT: SHERRY McCULLOUGH, BREWSTER HEALTH DEPARTMENT
 PERCOLATION RATE: LESS THAN 2 MIN/INCH IN "C" LAYER

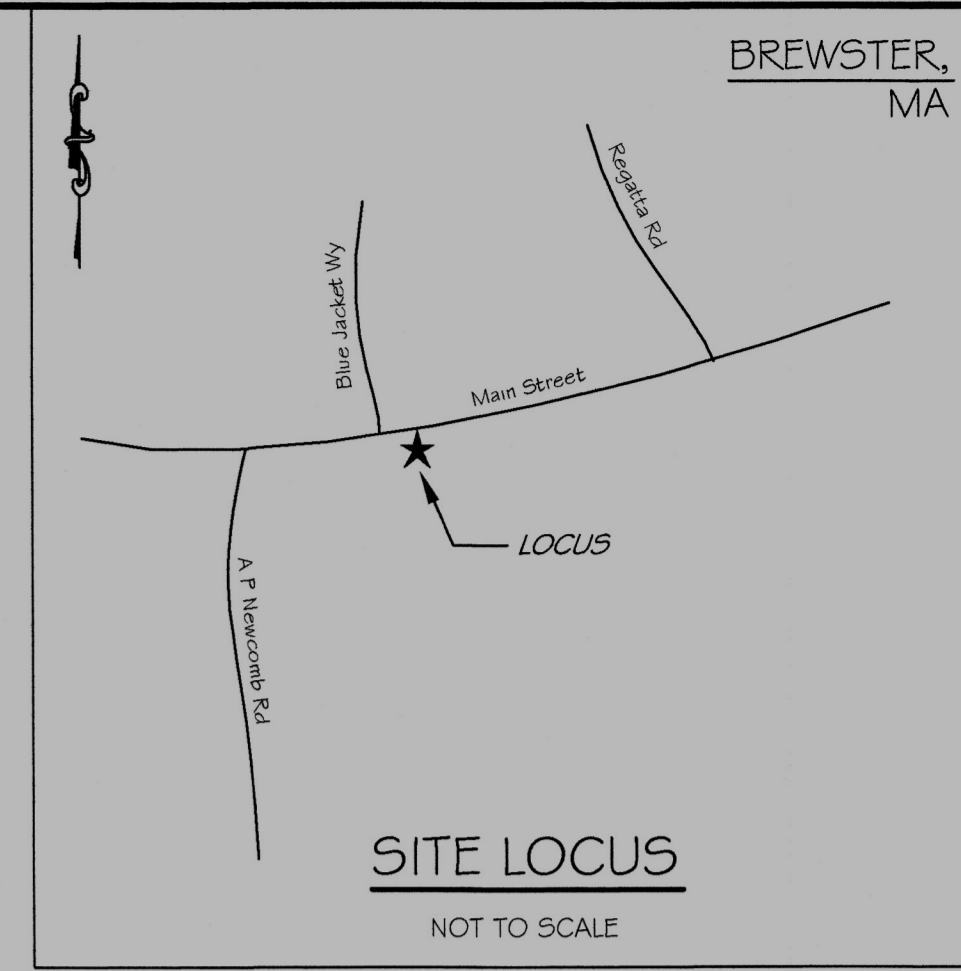
NO GROUNDWATER ENCOUNTERED

INSPECTION NOTE:
 PRIOR TO FINAL INSPECTION BY THE ENGINEER, SYSTEM NEEDS TO BE COMPLETE INCLUDING BUILDUP FOR COVERS.



SITE PLAN

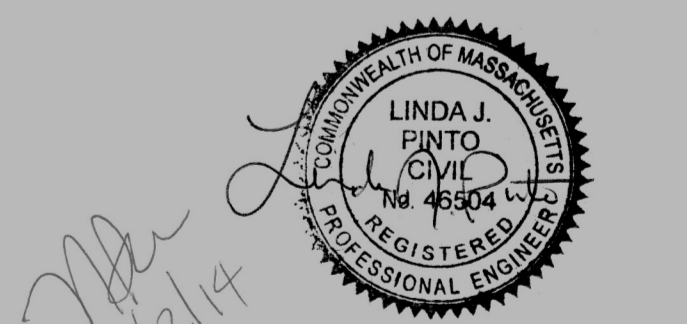
SCALE: 1" = 20'



- 1.) Assessor's Map 26 Parcel G7
- 2.) Deed Book 22430 Page 236
- 3.) Plan Book 318 Page 9
- 4.) This property is not in a Zone II of a Public Water Supply
- 5.) Flood Zone: C

LEGEND

- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- WATER SERVICE LINE
- OVERHEAD UTILITY LINES
- UNDERGROUND UTILITY LINES
- GAS SERVICE LINE
- TOP OF BANK
- LIMIT OF WORK
- EDGE OF CLEARING
- FENCE
- TEST HOLE LOCATION
- SEPTIC TANK
- DISTRIBUTION BOX
- SOIL ABSORPTION SYSTEM
- RESERVED FOR FUTURE USE
- UTILITY POLE
- CATCH BASIN
- FIRE HYDRANT
- DRINKING WATER WELL
- CONCRETE BOUND

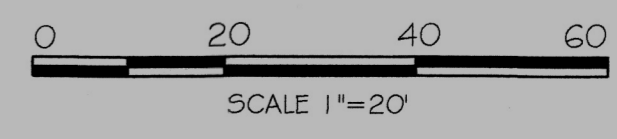


REVISION 06/05/14: Moved SAS 3' South; Added Soil Removal and Note # 22.

Prepared for:
 Michael Dvito
 618 Main Street, Brewster, MA 02631

Proposed Sewage Disposal System
 618 Main Street, Brewster, MA 02631

Prepared by:
OCEANSIDE SEPTIC
 ENGINEERING DIVISION
 P.O. Box 201, Brewster, MA 02631 Phone: (508) 896-1513





TOWN OF BREWSTER
 2198 MAIN STREET
 BREWSTER, MA 02631
 PHONE: (508) 896-3701 EXT 1120
 FAX: (508) 896-4535
 GR:HEALTH@BREWSTER-MA.GOV

OFFICE OF
 HEALTH DEPARTMENT

ADDENDUM TO SEPTIC INSPECTION REPORT

Inspection Location: 618 Main St 6A HOUSE Map & Parcel: 26 67

1. Residential Property

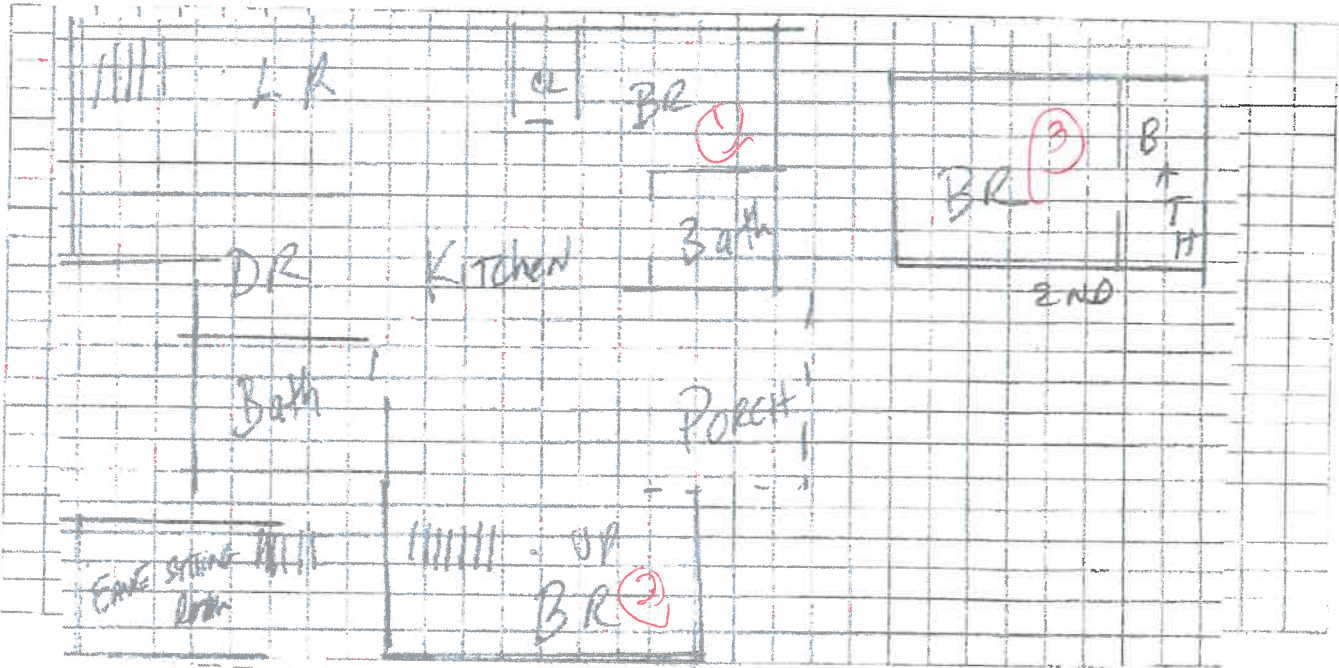
# of rooms	10
Bedrooms	3
Family Rooms	0
Living Rooms	1
Bathrooms	3
Dining Rooms	1
Kitchens	1
Other: <u>Sitting room/leaves</u>	1
Total:	10

Commercial Property

Employees
 Toilets
 Rooms with bath
 Square Feet

APV ✓

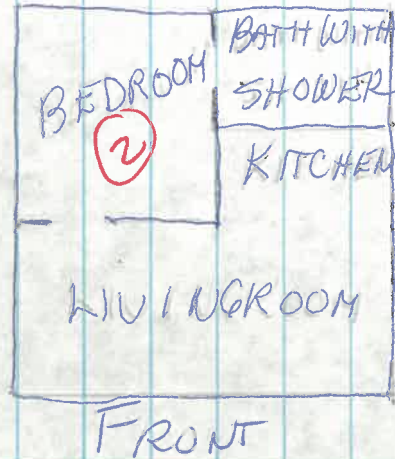
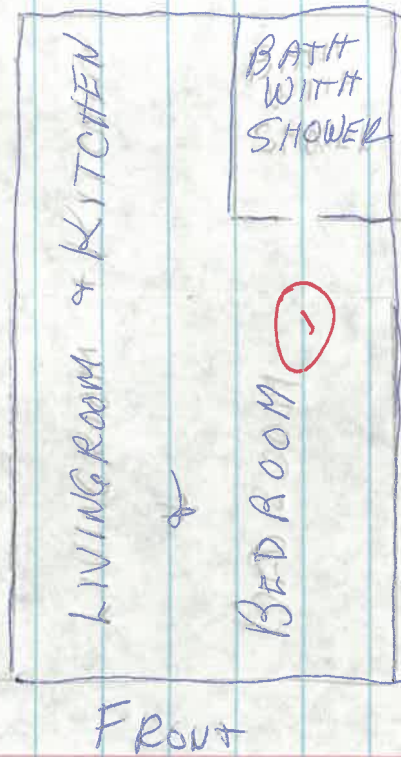
2. Floor Plan: Show all floors including basement:



3. Is the septic system, as inspected, in full compliance with either the 1978 () or 1995 Title 3 Code? Yes No

4. Is the system in the Zone II (Wellhead Protection Area) Yes ___ No
 Lot size: 47,916

LINDSTROM COTTAGES
618 MAIN ST
BREWSTER, MA



NEW YORK STATE DEPARTMENT OF STATE
DIVISION OF CORPORATIONS, STATE RECORDS AND UNIFORM COMMERCIAL CODE
FILING RECEIPT

ENTITY NAME : MCDERMOTT PROPERTIES, LLC
DOCUMENT TYPE : ARTICLES OF ORGANIZATION
ENTITY TYPE : DOMESTIC LIMITED LIABILITY COMPANY

DOS ID : 7083723
FILE DATE : 09/19/2023
FILE NUMBER : 230919003801
TRANSACTION NUMBER : 202309190003894-2447557
EXISTENCE DATE : 09/19/2023
DURATION/DISSOLUTION : PERPETUAL
COUNTY : DUTCHESS



SERVICE OF PROCESS ADDRESS : INC AUTHORITY RA
42 BROADWAY, FL. 12-200,
NEW YORK, NY, 10004, USA

**ELECTRONIC SERVICE OF PROCESS
EMAIL ADDRESS :** MATTHEWMCDERMOTT70@GMAIL.COM

REGISTERED AGENT : INC AUTHORITY RA
42 BROADWAY, FL. 12-200,
NEW YORK, NY, 10004, USA

FILER : MATTHEW MCDERMOTT
4 HIGH POINT DR.,
POUGHKEEPSIE, NY, 12603, USA

You may verify this document online at : <http://ecorp.dos.ny.gov>

AUTHENTICATION NUMBER : 100004334254

TOTAL FEES:	\$210.00	TOTAL PAYMENTS RECEIVED:	\$210.00
FILING FEE:	\$200.00	CASH:	\$0.00
CERTIFICATE OF STATUS:	\$0.00	CHECK/MONEY ORDER:	\$0.00
CERTIFIED COPY:	\$10.00	CREDIT CARD:	\$210.00
COPY REQUEST:	\$0.00	DRAWDOWN ACCOUNT:	\$0.00
EXPEDITED HANDLING:	\$0.00	REFUND DUE:	\$0.00

STATE OF NEW YORK
DEPARTMENT OF STATE

I hereby certify that the annexed copy for MCDERMOTT PROPERTIES, LLC, File Number 230919003801 has been compared with the original document in the custody of the Secretary of State and that the same is true copy of said original.

WITNESS my hand and official seal of the
Department of State, at the City of Albany,
on September 19, 2023.



Brendan C. Hughes

Brendan C. Hughes
Executive Deputy Secretary of State

**ARTICLES OF ORGANIZATION
OF
MCDERMOTT PROPERTIES, LLC
Under Section 203 of the Limited Liability Company Law**

THE UNDERSIGNED, being a natural person of at least eighteen (18) years of age, and acting as the organizer of the limited liability company hereby being formed under Section 203 of the Limited Liability Company Law of the State of New York certifies that:

- FIRST: The Name of the limited liability company is: **MCDERMOTT PROPERTIES, LLC**
- SECOND: The county, within this state, in which the office of the limited liability company is to be located is **DUTCHESS**
- THIRD: The Secretary of State is designated as agent of the limited liability company upon whom process against the limited liability company may be served. The post office address to which the Secretary of State shall mail a copy of any process against the limited liability company served upon the Secretary of State by personal delivery is:
**INC AUTHORITY RA
42 BROADWAY, FL. 12-200
NEW YORK, NY 10004**
The email address to which the Secretary of State shall email a notice of the fact that process against the limited liability company has been served electronically upon the Secretary of State is:
MATTHEWMCDERMOTT70@GMAIL.COM
- FOURTH: The limited liability company designates the following as its registered agent upon whom process against it may be served within the State of New York is:
**INC AUTHORITY RA
42 BROADWAY, FL. 12-200
NEW YORK, NY 10004**
- FIFTH: The limited liability company is to be managed by: **One or more managers**
- SIXTH: The existence of the limited liability company shall begin **upon filing of these Articles of Organization with the Department of State.**
- SEVENTH: The limited liability company shall have a perpetual existence.

I certify that I have read the above statements, I am authorized to sign these Articles of Organization, that the above statements are true and correct to the best of my knowledge and belief and that my signature typed below constitutes my signature.

MATTHEW MCDERMOTT (Signature)

MATTHEW MCDERMOTT, ORGANIZER
4 HIGH POINT DR.
POUGHKEEPSIE, NY 12603

Filed by:

MATTHEW MCDERMOTT
4 HIGH POINT DR.
POUGHKEEPSIE, NY 12603



Town of Brewster
2198 Main Street
Brewster, MA 02631-1898
Phone: (508) 896-3701
www.brewster-ma.gov

Office of:
Select Board
Town Manager

MEMORANDUM

To: Select Board
From: Erika Mawn, Executive Assistant
RE: Renewal of Seasonal Liquor Licenses
Date: March 19, 2024

Each year in March, the Alcoholic Beverages Control Commission (ABCC) requires the Town of Brewster to complete the Seasonal Liquor License renewal process. This is a two-step process that first requires the current licensees to sign their retail license renewal for 2024 and submit their liquor liability insurance certificate and payment. Then the Local Licensing Authority holds a public hearing to review and approve the renewals which are contingent on compliance with all other local permitting and regulations.

There are a total of five establishments that have completed the requirements:

Seasonal General On-Premises Wines and Malt Beverages License

- 2740 Main Street Holdings LLC d/b/a the Beach House Spa

Seasonal General On-Premises All Alcoholic Beverages License

- Cape Cod National Golf Club LLC

Seasonal Restaurant All Alcohol Beverages License

- Roberts Inc., d/b/a Cobies
- Fishack Corp. d/b/a J.T.s Seafood Restaurant
- Brewster Pico LLC, d/b/a Pico's Taco Shack

Breakwater Lobster and Fish Market has not renewed their Seasonal Liquor License for 2024. The property sold in October 2023, the new owners have been in touch with the Town Manager's office and will submit a new Seasonal Liquor License in the coming months.

As part of the application process, the Town Manager's office placed an advertisement in the local paper and requested Department Heads to provide their feedback and comments about the renewals. The Police Department has no issues and there have been no complaints regarding any of the above-listed business relative to the service of alcohol. There are no outstanding tax payments with any of the businesses and the Building Department along with the Fire Prevention Officer have completed all inspections.

For those licenses that are approved by the Local Licensing Authority, the renewal applications and supporting documentation will be submitted to the ABCC no later than April 15, 2024. Seasonal Liquor Licenses will be issued to the manager of record and will be valid from April 1, 2024, through December 31, 2024.



**Commonwealth Of Massachusetts
Alcoholic Beverages Control Commission**

Jean M. Lorizio, Esq.
Commission Chairman

**2024
Retail License Renewal**

License Number: 07778-RS-0134	Municipality: BREWSTER
License Name : Brewster Pico LLC	License Class: Seasonal
DBA : Pico'S Taco Shack	License Type: Restaurant
Premise Address: 239 Underpass Road Brewster, MA 02631	License Category: All Alcoholic Beverages
Manager: Bernardo P. Macedo	

I hereby certify and swear under penalties of perjury that:

1. I am authorized to sign this renewal pursuant to M.G.L. Chapter 138;
2. The renewed license is of the same class, type, category as listed above;
3. The licensee has complied with all laws of the Commonwealth relating to taxes; and
4. The premises are now open for business (if not, explain below).

Signature

Bernardo Macedo

Printed Name

03/5/2024

Date

Manager

Title

Additional Information:

Please sign this form only in the month of March and return to your Local Licensing Authority.





Commonwealth Of Massachusetts
Alcoholic Beverages Control Commission

Jean M. Lorizio, Esq.
Commission Chairman

2024
Retail License Renewal

License Number: 00034-GP-0134

Municipality: BREWSTER

License Name : Cape Cod National Golf Club LLC

License Class: Seasonal

DBA : Cape Cod National Golf Club

License Type: General On-Premises

Premise Address: 174 South Orleans Road Brewster, MA
02631

License Category: All Alcoholic Beverages

Manager: Michael S. Walker

I hereby certify and swear under penalties of perjury that:

1. I am authorized to sign this renewal pursuant to M.G.L. Chapter 138;
2. The renewed license is of the same class, type, category as listed above;
3. The licensee has complied with all laws of the Commonwealth relating to taxes; and
4. The premises are now open for business (if not, explain below).

Michael Walker

Signature

3/4/24

Date

Michael Walker

Printed Name

President + General Manager

Title

Additional Information:

Please sign this form only in the month of March and return to your Local Licensing Authority.





Commonwealth Of Massachusetts
Alcoholic Beverages Control Commission

Jean M. Lorizio, Esq.
Commission Chairman

2024
Retail License Renewal

License Number: 00037-RS-0134

Municipality: BREWSTER

License Name : Fishack Corp

License Class: Seasonal

DBA : J Ts Seafood Restaurant

License Type: Restaurant

Premise Address: 2689 Main Street Brewster, MA 02631

License Category: All Alcoholic Beverages

Manager: George S Noyes

I hereby certify and swear under penalties of perjury that:

1. I am authorized to sign this renewal pursuant to M.G.L. Chapter 138;
2. The renewed license is of the same class, type, category as listed above;
3. The licensee has complied with all laws of the Commonwealth relating to taxes; and
4. The premises are now open for business (if not, explain below).



Signature

3-07-2024

Date

George S. Noyes

Printed Name

President

Title

Additional Information:

Opens in April for the 2024 season.

Please sign this form only in the month of March and return to your Local Licensing Authority.





Commonwealth Of Massachusetts
Alcoholic Beverages Control Commission

Jean M. Lorizio, Esq.
Commission Chairman

2024
Retail License Renewal

License Number: 03311-GP-0134

Municipality: BREWSTER

License Name : 2740 Main Street Holdings LLC

License Class: Seasonal

DBA : Beach House Spa

License Type: General On-Premises

Premise Address: 2740 Main Street Brewster, MA 02631

License Category: Wines and Malt

Manager: Bryan Douglas Webb

I hereby certify and swear under penalties of perjury that:

1. I am authorized to sign this renewal pursuant to M.G.L. Chapter 138;
2. The renewed license is of the same class, type, category as listed above;
3. The licensee has complied with all laws of the Commonwealth relating to taxes; and
4. The premises are now open for business (if not, explain below).

Bryan Webb

Signature

Bryan Webb

Printed Name

3/5/2024

Date

Hotel Manager

Title

Additional Information:

Please sign this form only in the month of March and return to your Local Licensing Authority.





Commonwealth Of Massachusetts
Alcoholic Beverages Control Commission

Jean M. Lorizio, Esq.
Commission Chairman

2024
Retail License Renewal

License Number: 05623-RS-0134

Municipality: BREWSTER

License Name : ROBERTS INC

License Class: Seasonal

DBA : Cobies

License Type: Restaurant

Premise Address: 3256-3260 Main St Brewster, MA 02631

License Category: All Alcoholic Beverages

Manager: Robert A. Slavin

I hereby certify and swear under penalties of perjury that:

1. I am authorized to sign this renewal pursuant to M.G.L. Chapter 138;
2. The renewed license is of the same class, type, category as listed above;
3. The licensee has complied with all laws of the Commonwealth relating to taxes; and
4. The premises are now open for business (if not, explain below).

R. A. Slavin

Signature

R. A. SLAVIN

Printed Name

March 1, 2024

Date

March 1, 2024

Title

OWNER

Additional Information:

Please sign this form only in the month of March and return to your Local Licensing Authority.



Account Number:	669892
Customer Name:	Brewster Board Of Selectmen/Legals
Customer Address:	Brewster Board Of Selectmen/Legals 2198 Main ST Town of Brewster Brewster MA 02631-1852
Contact Name:	Andreana Sideris
Contact Phone:	
Contact Email:	
PO Number:	

Date:	02/27/2024
Order Number:	9896657
Prepayment Amount:	\$ 0.00

Column Count:	1.0000
Line Count:	90.0000
Height in Inches:	0.0000

Print

Product	#Insertions	Start - End	Category
NEO CAP Cape Codder	2	03/15/2024 - 03/22/2024	Govt Public Notices
NEO wickedlocal.com	2	03/15/2024 - 03/22/2024	Govt Public Notices

As an incentive for customers, we provide a discount off the total order cost equal to the 3.99% service fee if you pay with Cash/Check/ACH. Pay by Cash/Check/ACH and save!

Total Cash Order Confirmation Amount Due	\$46.80
Service Fee 3.99%	\$1.87
Cash/Check/ACH Discount	-\$1.87
Payment Amount by Cash/Check/ACH	\$46.80
Payment Amount by Credit Card	\$48.67

Order Confirmation Amount	\$46.80
----------------------------------	----------------

Ad Preview

2024 SEASONAL LIQUOR
LICENSE RENEWAL
HEARING

LEGAL NOTICE
TOWN OF BREWSTER
2024 Seasonal Liquor License
Renewal Hearing

In accordance with MGL Chapter 138, Sections 4 – 17C, the Brewster Select Board will hold a public hearing on Monday, March 25, 2024, at 6:15p.m. to review and vote on the 2024 renewals for seasonal liquor licenses. All interested parties are invited to attend.

This hearing will be conducted in person at 2198 Main Street, Brewster MA 02631. As a courtesy only, access to the hearing is being provided via remote means in accordance with applicable law. Please note that while an option for remote attendance and/or participation is being provided as a courtesy to the public, the hearing will not be suspended or terminated if technological problems interrupt the virtual broadcast or affect remote attendance or participation, unless otherwise required by law.

Members of the public who wish to access the hearing may do so in the following manner:

Phone: Call (312) 626 6799 or (301) 715-8592. Webinar ID: 890 9291 0526 Passcode: 509224

To request to speak: Press *9 and wait to be recognized.

Zoom Webinar:
<https://us02web.zoom.us/j/89092910526?pwd=WHM2V3hrVkIhSTIwWhVUOjRkanUzQT09>
Passcode: 509224

To request to speak: Tap Zoom "Raise Hand", then wait to be recognized.

Seasonal General On-Premises Wines and Mal Beverages

2740 Main Street Holdings
LLC d/b/a Beach House Spa

Seasonal Restaurant Wines & Mal Beverages

Breckwater Lobster & Fish
Market

Seasonal General On-Premises All Alcoholic Beverages

Cape Cod National Golf Club
LLC

Seasonal Restaurant All Alcoholic Beverages

Roberts Inc., d/b/a Cobies
Fishack Corp d/b/a J.T.s
Seafood Restaurant
Brewster Pico LLC d/b/a
Pico's Taco Shack

#9896657
Cape Codder 3/15, 3/22/24



CAPE COD

Regional Technical High School



FY25

Operating Budget

Cape Cod Tech

Finance Committee

Anthony Tullio – Wellfleet (chair)

Norman Michaud - Yarmouth

Stefan Galazzi – Orleans

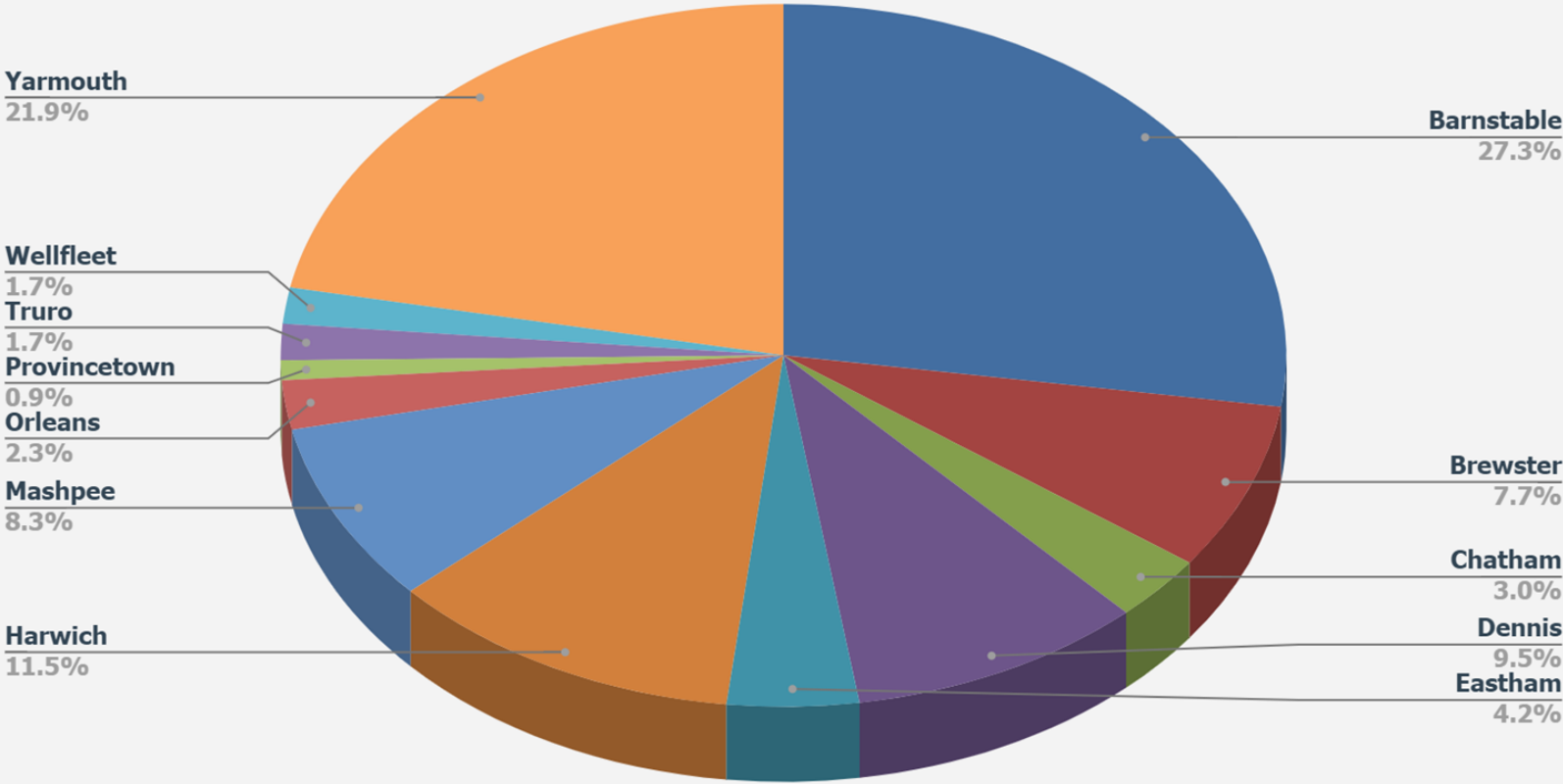


FY25 Enrollment by Town

Enrollments	Students FY25	Students FY24	Change
Barnstable	181	193	-12
Brewster	51	53	-2
Chatham	20	13	7
Dennis	63	68	-5
Eastham	28	22	6
Harwich	76	69	7
Mashpee	55	50	5
Orleans	15	14	1
Provincetown	6	9	-3
Truro	11	11	0
Wellfleet	11	13	-2
Yarmouth	<u>145</u>	<u>149</u>	<u>-4</u>
Total	662	664	-2



FY25 Enrollment



Student Enrollment Trend

	FY20	%	FY21	%	FY22	%	FY23	%	FY24	%	FY25	%
Barnstable	176	30.9%	194	31.5%	169	27.0%	186	28.5%	193	29.1%	181	27.3%
Brewster	36	6.1%	29	4.7%	41	6.5%	59	9.0%	53	8.0%	51	7.7%
Chatham	8	1.4%	10	1.6%	15	2.4%	12	1.8%	13	2.0%	20	3.0%
Dennis	68	11.6%	73	11.9%	73	11.7%	72	11.0%	68	10.2%	63	9.5%
Eastham	22	3.7%	22	3.6%	23	3.7%	18	2.8%	22	3.3%	28	4.2%
Harwich	67	11.4%	58	9.4%	51	8.1%	71	10.9%	69	10.4%	76	11.5%
Mashpee	45	7.7%	48	7.8%	44	7.0%	48	7.3%	50	7.5%	55	8.3%
Orleans	9	1.5%	12	1.9%	13	2.1%	11	1.7%	14	2.1%	15	2.3%
Provincetown	11	1.9%	14	2.3%	11	1.8%	7	1.1%	9	1.4%	6	0.9%
Truro	6	1.0%	6	1.0%	11	1.8%	9	1.4%	11	1.7%	11	1.7%
Wellfleet	12	2.0%	13	2.1%	16	2.6%	12	1.8%	13	2.0%	11	1.7%
Yarmouth	110	18.7%	137	22.2%	159	25.4%	148	22.6%	149	22.3%	145	21.9%
	570		616		626		653		664		662	

The FY25 Budget

4.38%



\$17,484,000

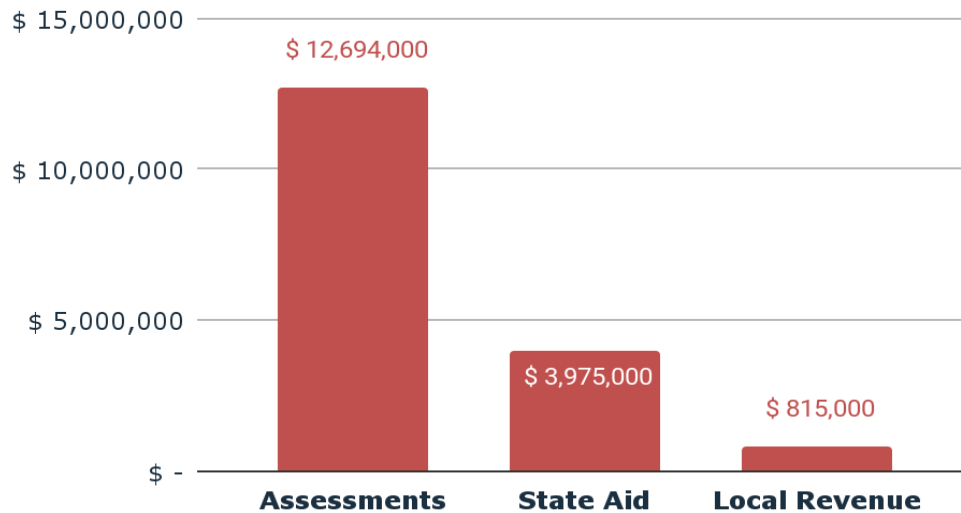
An increase of \$734,000
over the FY24 Budget

Six Year History

Fiscal Year	Budget
FY19	1.44 %
FY20	0.96 %
FY21	2.76%/1.34 %
FY22	1.99%
FY23	1.99%
FY24	3.86%

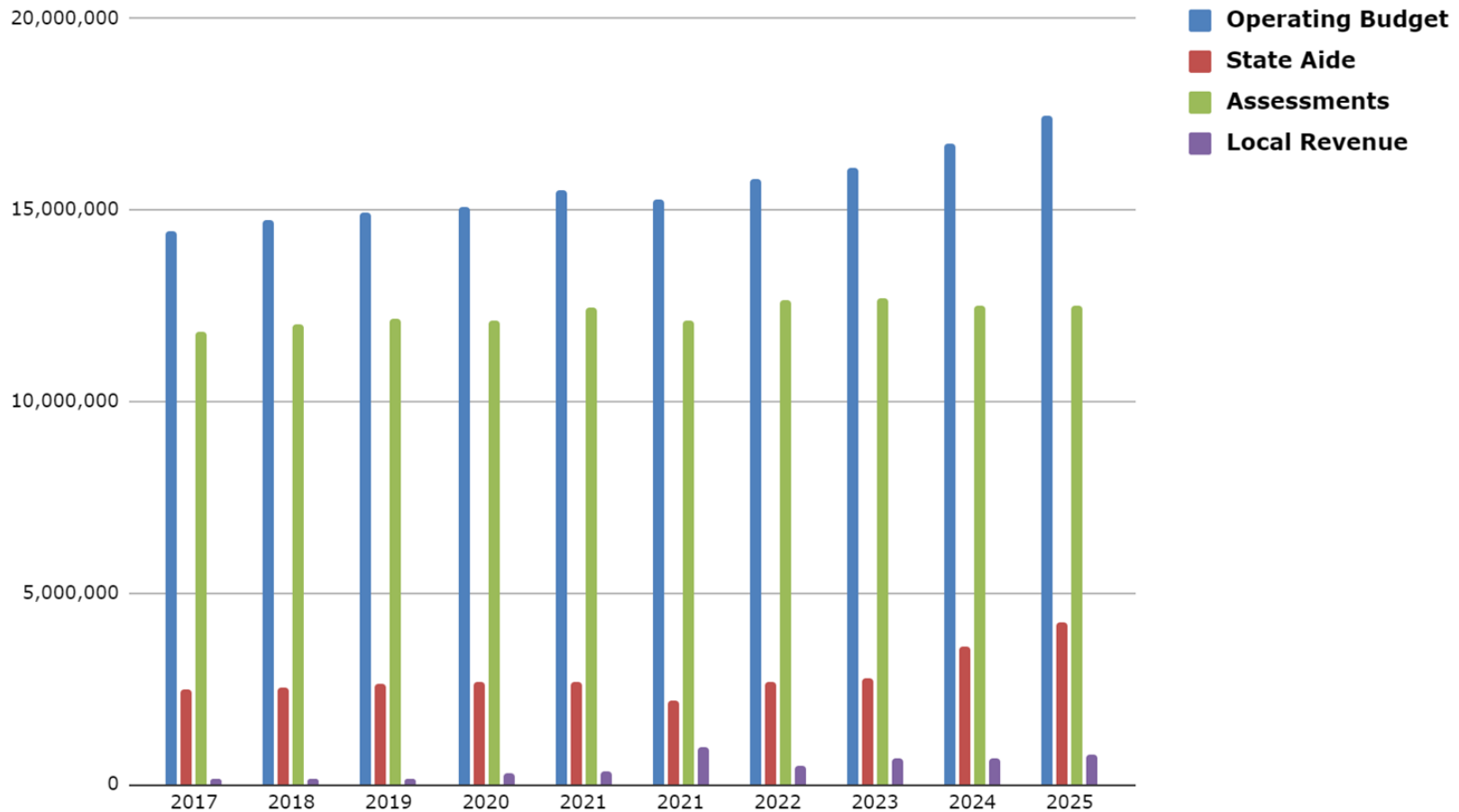


Where Does the Money Come From?



FY25 Revenue Sources	
Assessments	\$ 12,694,000
State Aid	\$ 3,975,000
Local Revenue	\$ 815,000

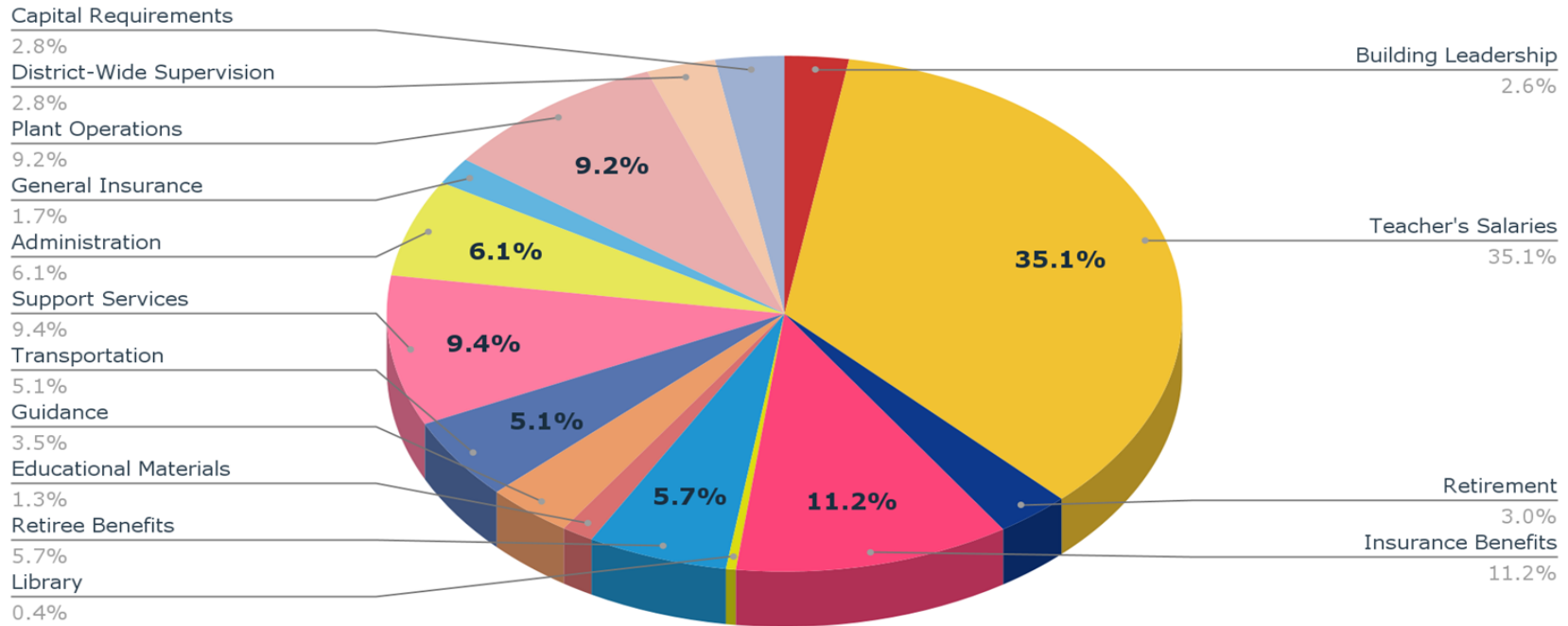
Revenue Source vs. The Operating Budget



Revenue Source vs. The Operating Budget

Fiscal Year	Operating Budget	State Aide	Assessments	Local Revenue
2017	14,459,000	2,466,487	11,844,513	148,000
2018	14,732,000	2,538,847	12,043,153	150,000
2019	14,944,000	2,634,067	12,159,933	150,000
2020	15,087,000	2,659,133	12,137,867	290,000
2021	15,504,000	2,699,147	12,464,853	340,000
2021	15,289,584	2,193,718	12,137,867	958,000
2022	15,812,000	2,699,147	12,647,853	465,000
2023	16,127,000	2,753,137	12,708,963	665,000
2024	16,750,000	3,593,921	12,491,079	665,000
2025	17,484,000	3,975,000	12,694,000	815,000

What is the Money Used For?



WHAT IS THE MONEY FOR?

Building Leadership	\$447,301	2.6%
Teachers Salaries	\$6,143,401	35.1%
Retirement	\$516,839	3.0%
Insurance Benefits	\$1,962,239	11.2%
Library	\$67,954	0.4%
Retiree Benefits	\$1,005,107	5.7%
Educational Materials	\$227,750	1.3%
Guidance	\$605,315	3.5%
Transportation	\$895,000	5.1%
Support Services	\$1,637,675	9.4%
Administration	\$1,066,938	6.1%
General Insurance	\$305,126	1.7%
Plant Operations	\$1,613,157	9.2%
District-Wide Supervision	\$495,196	2.8%
Capital Requirements	\$495,000	2.8%
	\$17,484,000	



Capital Debt

	Principal	Interest	Total P&I
2020	2,935,000	4,682,300	7,617,300
2021	3,320,000	2,940,700	6,260,700
2022	3,485,000	2,770,575	6,255,575
2023	3,485,000	2,596,325	6,081,325
2024	3,485,000	2,422,075	5,907,075
2025	3,485,000	2,247,825	5,732,825
2026	3,485,000	2,073,575	5,558,575
2027	3,485,000	1,899,325	5,384,325
2028	3,485,000	1,725,075	5,210,075
2029	3,485,000	1,550,825	5,035,825
2030	3,485,000	1,376,575	4,861,575
2031	3,485,000	1,202,325	4,687,325
2032	3,485,000	1,045,500	4,530,500
2033	3,485,000	906,100	4,391,100
2034	3,485,000	766,700	4,251,700
2035	3,485,000	627,300	4,112,300
2036	3,485,000	487,900	3,972,900
2037	3,485,000	348,500	3,833,500
2038	3,485,000	209,100	3,694,100
2039	3,485,000	69,700	3,554,700
	\$68,985,000	\$31,948,300	\$100,933,300

**In FY19
Cape Tech issued a
Bond in the amount of
\$68,985,000 at 3.32% for
20 Years Fixed Principal**

FY25 Capital Debt Assessment

Town of Barnstable	\$1,567,434
Town of Brewster	\$441,653
Town of Chatham	\$173,197
Town of Dennis	\$545,571
Town of Eastham	\$242,476
Town of Harwich	\$658,149
Town of Mashpee	\$476,292
Town of Orleans	\$129,898
Town of Provincetown	\$51,959
Town of Truro	\$95,258
Town of Wellfleet	\$95,258
Town of Yarmouth	<u>\$1,255,679</u>
	\$5,732,825

FY25 Operating Assessment (estimated)

Town of Barnstable	\$3,224,845
Town of Brewster	\$1,025,821
Town of Chatham	\$402,282
Town of Dennis	\$1,267,190
Town of Eastham	\$563,196
Town of Harwich	\$1,546,671
Town of Mashpee	\$1,142,273
Town of Orleans	\$301,712
Town of Provincetown	\$120,685
Town of Truro	\$221,255
Town of Wellfleet	\$221,255
Town of Yarmouth	\$2,656,815
	\$12,694,000

FY25 Total Assessments (estimated)

Town	Capital Assessment	Operating Assessment	Total
Barnstable	\$1,567,434	\$3,224,845	\$4,792,279
Brewster	\$441,653	\$1,025,821	\$1,467,474
Chatham	\$173,197	\$402,282	\$575,479
Dennis	\$545,571	\$1,267,190	\$1,812,761
Eastham	\$242,476	\$563,196	\$805,672
Harwich	\$658,149	\$1,546,671	\$2,204,820
Mashpee	\$476,292	\$1,142,273	\$1,618,565
Orleans	\$129,898	\$301,712	\$431,610
Provincetown	\$51,959	\$120,685	\$172,644
Truro	\$95,258	\$221,255	\$316,513
Wellfleet	\$95,258	\$221,255	\$316,513
Yarmouth	\$1,255,679	\$2,656,815	\$3,912,494
	\$5,732,825	\$12,694,000	\$18,426,825

Other Post Employment Benefits (OPEB)

In 2015, Cape Cod Tech joined the Plymouth County OPEB Trust, an IRC Section 115 multiple-employer, irrevocable trust program. The District has established a funding plan and is currently ahead of the funding schedule.

Actuarial Accrued Liability (2023 GASB Audit)

\$15,879,972

Balance of OPEB Reserve

\$2,278,387

Proposed FY25 Funding

\$300,000

Net Position - Funding to Liability

14.35%

THANK YOU!

Cape Cod Regional Technical High School

FY25 Budget - Revenue

Revenue	FY21 Actual	FY22 Actual	FY23 Actual	FY24 Budget	FY25 Proposed
Assessments from Member Towns <i>FY24 Assessment % Increase</i>	\$ 12,464,854	\$ 12,647,853	\$ 12,708,864	\$ 12,491,067	\$ 12,694,000 1.62%
State Aid					
¹ Chapter 70 State Aid	\$ 2,144,195	\$ 2,183,727	\$ 2,942,321	\$ 2,955,921	\$ 3,325,000
² Chapter 71 Transportation Aid	\$ 647,910	\$ 733,011	\$ 710,407	\$ 638,012	\$ 650,000
Total State Aid	\$ 2,792,105	\$ 2,916,738	\$ 3,652,728	\$ 3,593,933	\$ 3,975,000
Local Revenue					
Interest Income	\$ 9,972	\$ 3,811	\$ 58,803	\$ 15,000	\$ 15,000
Facility Rental	\$ 7,500	\$ 38,365	\$ 66,983	\$ 50,000	\$ 50,000
Excess and Deficiency	\$ 775,000	\$ 400,000	\$ 600,000	\$ 600,000	\$ 750,000
Transportation Stabilization					
Mass Medicaid Reimbursement					
Unanticipated Revenue	\$ 120,971	\$ 82,984	\$ 19,622		
Total Local Revenue	\$ 913,443	\$ 525,160	\$ 745,408	\$ 665,000	\$ 815,000
Total Revenue	\$ 16,170,402	\$ 16,089,751	\$ 17,107,000	\$ 16,750,000	\$ 17,484,000

Cape Cod Regional Technical High School

FY25 Budget - Proposed

	Description	FY21 Actual	FY22 Actual	FY23 Actual	FY24 Budget	FY25 Proposed	Expected Grant Funds
1	Severance Pay	\$80,000	\$30,000	\$25,000	\$20,000	\$20,000	
2	Longevity	\$66,492	\$61,841	\$56,906	\$69,257	\$88,144	
3	Retirement Annuity Incentive	\$31,275	\$29,275	\$22,150	\$11,250	\$11,250	
4	Reserve for Unanticipated Expenses	\$0	\$0	\$0	\$19,000	\$19,000	
5	Provision for Contract Negotiations	\$0	\$0	\$0	\$62,454	\$96,305	
6	School Committee Supplies	\$1,500	\$1,050	\$1,186	\$1,200	\$1,200	
7	Dues & Subscriptions	\$12,682	\$20,553	\$14,983	\$18,000	\$18,000	
8	Total District Expenses	\$191,949	\$142,719	\$120,225	\$201,161	\$253,899	
9							
10	Superintendent-Director (1)	\$172,552	\$183,133	\$184,451	\$209,419	\$210,419	
11	Secretary-Supt.-Director (1)	\$78,538	\$80,193	\$82,472	\$85,857	\$85,857	
12	Advertising	\$6,430	\$10,409	\$31,805	\$16,000	\$16,000	
13	Supt/Business Office Supplies	\$9,908	\$13,878	\$12,908	\$10,000	\$10,000	
14	Public Relations	\$15,969	\$43,363	\$17,518	\$30,000	\$21,000	
15	General Expense	\$1,530	\$2,923	\$1,207	\$3,000	\$3,000	
16	District Dues/Subscriptions	\$2,829	\$2,879	\$3,132	\$5,000	\$5,000	
17	Postage	\$2,373	\$15,276	\$15,813	\$15,000	\$15,000	
18	Total District Administration	\$290,129	\$352,054	\$349,307	\$374,276	\$366,276	
19							
20	Treasurer (1)	\$17,741	\$18,000	\$18,450	\$20,130	\$20,130	
21	Business Administrator (1)	\$134,397	\$137,399	\$146,166	\$145,702	\$145,702	
22	Business Office Staff (2)	\$124,941	\$130,728	\$136,334	\$143,352	\$143,352	
23	Audit	\$42,350	\$41,700	\$23,000	\$40,000	\$40,000	
24	Bookkeeper (1)	\$72,264	\$75,874	\$79,521	\$77,581	\$77,581	
25	Negotiations	\$0	\$0	\$0	\$2,000	\$2,000	
26	Legal Services	\$7,652	\$22,490	\$20,567	\$12,000	\$15,000	
27	Total Finance and Administrative Services	\$399,345	\$426,191	\$424,038	\$440,765	\$443,765	
28							
29	Director of Special Needs (1)	\$128,463	\$131,354	\$136,137	\$140,850	\$140,850	
30	Director of Technical Studies (1)	\$117,885	\$120,520	\$118,000	\$122,880	\$122,880	
31	Secretary to Tech Studies/Academic Coord.	\$21,606	\$56,213	\$61,437	\$61,564	\$61,564	

Cape Cod Regional Technical High School

FY25 Budget - Proposed

	Description	FY21 Actual	FY22 Actual	FY23 Actual	FY24 Budget	FY25 Proposed	Expected Grant Funds
32	Director of Curriculum (1)	\$132,622	\$127,204	\$131,115	\$134,902	\$134,902	
33	Coop Coordinator (1)	\$30,259	\$28,301	\$27,875	\$32,000	\$32,000	
34	Technical Studies Supplies	\$767	\$500	\$394	\$2,000	\$2,000	
35	Curriculum Supplies & Software	\$1,225	\$20	\$526	\$1,000	\$1,000	
36	Special Needs Director Travel	\$200	\$0	\$0	\$0	\$0	
37	Total District-wide Academic/Vocational	\$433,027	\$464,113	\$475,484	\$495,196	\$495,196	
38							
39	Principal(1)	\$137,117	\$140,174	\$143,647	\$148,631	\$148,631	
40	Assistant Principal (1)	\$118,575	\$110,000	\$112,750	\$116,696	\$116,696	
41	Secretary to Principal(1)	\$54,574	\$68,034	\$71,701	\$74,657	\$74,657	
42	Attendance Clerk (.71)	\$35,330	\$35,058	\$35,063	\$36,570	\$36,570	
43	Assistant Principal Secretary (.85)	\$53,164	\$50,427	\$51,695	\$52,747	\$52,747	
44	Agenda Books	\$0	\$4,253	\$0	\$3,500	\$0	
45	Accreditation	\$0	\$0	\$15,960	\$10,000	\$0	
46	Principal's Supplies	\$2,573	\$2,967	\$3,818	\$4,000	\$3,000	
47	MCAS Supplies	\$0	\$1,063	\$2,047	\$500	\$0	
48	Assistant Principal Supplies	\$1,424	\$1,726	\$2,078	\$1,500	\$1,500	
49	Graduation Expense	\$8,502	\$10,155	\$7,212	\$8,000	\$8,000	
50	Prin./AP Dues & Subscriptions	\$3,039	\$2,500	\$284	\$1,000	\$1,000	
51	Principal/AP Travel	\$0	\$0	\$0	\$0	\$0	
52	Recognition Awards	\$2,765	\$8,782	\$4,602	\$5,000	\$4,500	
53	Total School Building Leadership	\$417,063	\$435,138	\$450,857	\$462,801	\$447,301	
54							
55	Network Engineer (1)	\$89,695	\$91,713	\$94,006	\$97,296	\$97,296	
56	Technology Systems and Data Assistant (1)	\$84,786	\$86,694	\$88,861	\$91,971	\$91,971	
57	Technology Contracted Services	\$2,302	\$3,160	\$0	\$1,500	\$1,500	
58	Technology Supplies	\$362	\$12,719	\$10,920	\$10,000	\$10,000	
59	Total Building Technology	\$177,145	\$194,286	\$193,787	\$200,767	\$200,767	
60							

Cape Cod Regional Technical High School

FY25 Budget - Proposed

	Description	FY21 Actual	FY22 Actual	FY23 Actual	FY24 Budget	FY25 Proposed	Expected Grant Funds
61	Auto Collision Instructors (2)	\$154,191	\$160,473	\$169,916	\$175,272	\$179,598	
62	Auto Technology Instructors (2)	\$159,147	\$165,604	\$172,976	\$181,472	\$188,131	
63	Carpentry Staff (2)	\$144,748	\$150,842	\$160,094	\$193,539	\$198,324	
64	Cosmetology Instructors (2)	\$159,588	\$166,606	\$179,305	\$187,160	\$195,077	
65	Culinary Arts Staff (3)	\$179,314	\$182,898	\$180,941	\$257,643	\$254,156	
66	Dental Assist. Instructor (2)	\$158,882	\$172,290	\$174,662	\$149,322	\$158,591	
67	Electrical Instructors (2)	\$153,232	\$159,857	\$170,167	\$163,362	\$174,459	
68	Graphic Arts Instructors (2)	\$172,117	\$178,363	\$186,769	\$192,764	\$200,850	
69	Health Technology Instructors (3)	\$149,371	\$178,271	\$251,658	\$263,697	\$280,283	
70	Horticulture Instructors (2)	\$165,792	\$128,187	\$158,888	\$164,172	\$175,116	
71	HVAC Staff (2)	\$186,900	\$212,099	\$252,869	\$176,359	\$184,160	
72	Information Technology Instructors (2)	\$140,694	\$133,672	\$129,990	\$143,037	\$163,254	
73	Marine Instructor (2)	\$162,942	\$169,400	\$148,302	\$161,708	\$169,144	
74	Plumbing Instructor (2)	\$160,478	\$166,871	\$175,951	\$190,540	\$198,595	
76	Art Teacher (1)	\$58,787	\$65,423	\$72,683	\$75,538	\$84,481	
77	21st Century Skills (2)	\$169,804	\$176,077	\$170,550	\$179,736	\$184,148	
78	English Instructors (6)	\$482,196	\$468,916	\$483,664	\$469,808	\$495,035	
79	Health Instructor (1)	\$49,378	\$53,565	\$0	\$0	\$0	
80	Math Instructors (6)	\$519,436	\$509,948	\$469,775	\$550,458	\$567,424	
81	Phys. Ed. Instructors (2)	\$155,083	\$161,213	\$144,851	\$152,617	\$162,574	
82	Science Instructor (5)	\$364,544	\$361,626	\$356,874	\$358,869	\$455,219	
83	Social Studies Instructor (4)	\$346,031	\$397,473	\$334,642	\$338,290	\$349,908	
84	Spanish Instructor (1)	\$86,673	\$88,391	\$90,145	\$92,827	\$95,129	
85	Engineering Technology Instructors (2)	\$184,450	\$187,352	\$153,830	\$186,176	\$194,093	
86	Special Needs Instructor (7)	\$494,143	\$521,198	\$515,931	\$535,230	\$553,374	\$100,056.00
87	Special Needs Inclusion Specialist (1)	\$88,600	\$90,963	\$92,179	\$98,260	\$100,634	
88	Technology Int. Specialist (1)	\$87,542	\$91,122	\$92,669	\$98,567	\$101,012	
89	Literacy Coach (1)	\$89,350	\$82,306	\$87,084	\$78,260	\$80,634	\$20,000
90	Total Instruction and Teaching Services	\$5,423,413	\$5,581,005	\$5,577,365	\$5,814,683	\$6,143,401	\$120,056
91							

Cape Cod Regional Technical High School

FY25 Budget - Proposed

	Description	FY21 Actual	FY22 Actual	FY23 Actual	FY24 Budget	FY25 Proposed	Expected Grant Funds
92	Speech & Language Specialist (1)	\$0	\$0	\$47,282	\$93,593		
93	Special Needs Cont. Service	\$82,598	\$76,439	\$76,441	\$65,000	\$160,000	
94	Total Medical Therapeutic Services	\$82,598	\$76,439	\$123,723	\$158,593	\$160,000	
95							
96	Vocational Substitutes	\$46,186	\$76,439	\$35,225	\$65,000	\$65,000	
97	Academic Substitutes	\$53,913	\$117,317	\$70,099	\$65,000	\$65,000	
98	Total Substitutes	\$100,099	\$193,756	\$105,324	\$130,000	\$130,000	
99							
100	Auto Tech Aide (1)	\$38,446	\$38,783	\$39,890	\$41,027	\$41,027	
101	Graphic Arts Aide (1)	\$40,600	\$44,987	\$44,872	\$37,628	\$37,628	
102	Information Technology Aide (1)	\$35,114	\$36,321	\$45,927	\$39,229	\$39,229	
103	Physical Education Aide (1)	\$38,469	\$36,258	\$36,532	\$37,628	\$37,628	
104	Special Needs Aides (6)	\$64,092	\$52,297	\$109,717	\$120,327	\$112,327	\$120,000
105	Total Paraprofessionals Instructional Asst.	\$216,721	\$208,645	\$276,938	\$275,840	\$267,840	\$120,000
106							
107	Librarian (.84)	\$79,146	\$56,499	\$57,599	\$59,509	\$60,954	
108	Total Library	\$79,146	\$56,499	\$57,599	\$59,509	\$60,954	
109							
110	Professional Development	\$35,795	\$44,941	\$65,648	\$45,000	\$53,000	
111	Course Reimbursement	\$23,339	\$18,745	\$18,812	\$25,000	\$20,000	
112	Curriculum Development	\$355	\$9,347	\$4,084	\$4,000	\$4,000	
113	State Mandated Mentoring	\$8,000	\$9,250	\$8,875	\$8,000	\$8,000	
114	Total Professional Development	\$67,489	\$82,283	\$97,419	\$82,000	\$85,000	
115							
116	Auto Body Text & Subscriptions	\$0	\$0	\$0	\$0	\$0	
117	Auto Technology Text & Subscriptions	\$1,993	\$4,412	\$3,441	\$2,000	\$2,000	
118	Carpentry Texts & Subscriptions	\$0	\$1,750	\$2,114	\$0	\$0	
119	Cosmetology Texts & Subscriptions	\$299	\$0	\$349	\$300	\$500	
120	Culinary Arts Texts & Subscriptions	\$2,389	\$1,582	\$5,017	\$2,000	\$2,000	
121	Dental Assistant Texts & Subscriptions	\$4,294	\$1,628	\$0	\$1,500	\$1,500	

Cape Cod Regional Technical High School

FY25 Budget - Proposed

	Description	FY21 Actual	FY22 Actual	FY23 Actual	FY24 Budget	FY25 Proposed	Expected Grant Funds
122	Electrical Texts & Subscriptions	\$0	\$7,167	\$0	\$500	\$500	
123	Graphic Arts Texts & Subscriptions	\$9	\$757	\$3,177	\$0	\$0	
124	Health Technology Texts & Subscriptions	\$14,856	\$5,954	\$5,100	\$5,000	\$5,000	
125	Horticulture Texts & Subscriptions	\$1,200	\$3,318	\$1,000	\$1,000	\$1,000	
126	HVAC Texts & Subscriptions	\$60	\$0	\$250	\$0	\$0	
127	Information Technology Texts & Subscriptions	\$902	\$4,568	\$2,263	\$1,500	\$1,500	
128	Marine Mechanics Texts & Subscriptions	\$1,523	\$609	\$195	\$500	\$500	
129	Plumbing Texts & Subscriptions	\$0	\$0	\$0	\$500	\$500	
130	Engineering Texts & Subscriptions	\$847	\$190	\$1,941	\$1,000	\$500	
131	Special Needs Texts & Subscriptions	\$3,198	\$5,744	\$4,709	\$2,500	\$2,500	
132	English Texts & Subscriptions	\$0	\$2,548	\$4,723	\$2,500	\$2,500	
133	Math Texts & Subscriptions	\$0	\$100	\$0	\$0	\$0	
134	Science Texts & Subscriptions	\$0	\$7,100	\$0	\$1,000	\$1,000	
135	Social Studies Texts & Subscriptions	\$0	\$15,745	\$0	\$2,000	\$500	
136	Spanish Texts & Subscriptions	\$0	\$4,493	\$0	\$0	\$0	
137	Special Needs Dues	\$100	\$375	\$100	\$250	\$250	
138	Library Books	\$1,524	\$3,520	\$4,547	\$3,500	\$3,500	
139	Library Subscriptions	\$2,428	\$866	\$3,900	\$2,500	\$2,500	
140	Total Textbooks & Subscriptions	\$35,622	\$72,425	\$42,826	\$30,050	\$28,250	
141							
142	School Paper Bid	\$5,000	\$2,936	\$9,700	\$3,500	\$5,000	
143	Auto Body Supplies	\$11,951	\$6,267	\$1,002	\$7,000	\$6,000	
144	Auto Technology Supplies	\$3,636	\$4,462	\$3,076	\$4,000	\$4,000	
145	Carpentry Supplies	\$12,237	\$7,237	\$7,979	\$8,000	\$8,000	
146	Cosmetology Supplies	\$1,958	\$3,267	\$11,594	\$3,200	\$4,000	
147	Culinary Arts Supplies	\$44,734	\$46,625	\$69,406	\$25,000	\$30,000	
148	Dental Assistant Supplies	\$2,024	\$968	\$2,826	\$1,500	\$1,500	
149	Electrical Supplies	\$5,612	\$16,321	\$13,481	\$8,000	\$10,000	
150	Graphic Arts Supplies	\$8,871	\$14,983	\$5,651	\$9,000	\$8,000	
151	Health Technology Supplies	\$2,844	\$4,247	\$4,612	\$3,500	\$4,500	

Cape Cod Regional Technical High School

FY25 Budget - Proposed

	Description	FY21 Actual	FY22 Actual	FY23 Actual	FY24 Budget	FY25 Proposed	Expected Grant Funds
152	Horticulture Supplies	\$19,333	\$13,695	\$25,702	\$14,000	\$15,000	
153	HVAC Supplies	\$29,986	\$34,722	\$25,923	\$25,000	\$25,000	
154	Information Technology Supplies	\$454	\$3,553	\$6,518	\$2,000	\$4,000	
155	Marine Mechanics Supplies	\$9,136	\$19,196	\$12,346	\$15,000	\$13,000	
156	Plumbing Supplies	\$20,744	\$20,089	\$27,286	\$20,000	\$20,000	
157	Exploratory Supplies	\$5,017	\$9,236	\$14,007	\$9,000	\$9,000	
158	Engineering Supplies	\$10,582	\$8,190	\$9,239	\$10,000	\$10,000	
159	Safety Supplies / OSHA Training	\$5,868	\$14,929	\$13,513	\$8,000	\$10,000	
160	Special Needs Supplies	\$765	\$1,188	\$1,773	\$2,500	\$2,500	
161	21st Century Skills Supplies	\$0	\$0	\$0	\$200	\$200	
162	English Supplies	\$2,558	\$2,793	\$2,974	\$2,800	\$2,800	
163	Health Education Supplies	\$107	\$2,567	\$0	\$0	\$0	
164	Math Supplies	\$859	\$2,443	\$689	\$1,500	\$1,000	
165	Phys. Ed. Supplies	\$0	\$0	\$362	\$1,000	\$500	
166	Science Supplies	\$9,474	\$5,598	\$12,319	\$4,500	\$6,000	
167	Social Studies Supplies	\$0	\$123	\$96	\$500	\$500	
168	Spanish Supplies	\$200	\$0	\$0	\$0	\$0	
169	Art Supplies	\$4,327	\$5,415	\$5,028	\$4,500	\$5,000	
170	Library Supplies	\$138	\$987	\$519	\$1,000	\$1,000	
171	Total Educational Supplies	\$218,415	\$252,035	\$287,621	\$194,200	\$206,500	
172							
173	Field Trips-Competitions	\$16,163	\$46,891	\$71,484	\$45,000	\$48,000	
174	Senior Project	\$0	\$33	\$0	\$0	\$0	
175	Summer School	\$4,584	\$0	\$0	\$0	\$0	
176	Tutoring & Credit Recovery	\$990	\$910	\$4,862	\$3,000	\$3,000	
177	Total Other Instructional Services	\$21,737	\$47,834	\$76,346	\$48,000	\$51,000	
178							
179	Guidance Counselors (4)	\$318,099	\$334,047	\$357,972	\$357,205	\$371,375	
180	At Risk Counselor (1)	\$88,892	\$93,856	\$95,718	\$98,567	\$101,012	
181	Guidance Secretaries (2)	\$108,366	\$110,534	\$111,040	\$116,128	\$116,128	

Cape Cod Regional Technical High School

FY25 Budget - Proposed

	Description	FY21 Actual	FY22 Actual	FY23 Actual	FY24 Budget	FY25 Proposed	Expected Grant Funds
182	Guidance Supplies	\$2,603	\$4,235	\$7,470	\$4,000	\$5,000	
183	Guidance Public Relations	\$656	\$8,285	\$11,187	\$8,000	\$7,000	
184	Dues & Subscriptions	\$2,351	\$1,166	\$3,656	\$2,300	\$2,300	
185	ELL Testing & Services	\$1,611	\$3,593	\$2,720	\$2,000	\$2,500	
186	Total Guidance and Counseling Services	\$522,578	\$555,716	\$589,763	\$588,200	\$605,315	
187							
188	Psychological Services	\$55,005	\$51,665	\$52,390	\$55,000	\$55,000	
189	Total Psychological Services	\$55,005	\$51,665	\$52,390	\$55,000	\$55,000	
190							
191	Nurse (2)	\$86,598	\$76,318	\$83,694	\$84,268	\$170,300	
192	Assistant to Nurse (1)	\$5,948	\$0	\$0	\$0	\$0	
193	Medical Services	\$0	\$3,500	\$3,500	\$3,500	\$3,500	
194	Nurse's Supplies	\$2,038	\$7,017	\$5,477	\$3,500	\$4,000	
195	Total Health Services	\$94,584	\$86,834	\$92,671	\$91,268	\$177,800	
196							
197	Basic Transportation	\$805,530	\$820,154	\$739,147	\$800,000	\$800,000	
198	Late Transportation	\$21,840	\$76,062	\$93,860	\$85,000	\$95,000	
199	Special Needs Transportation	\$0	\$25,717	\$0	\$0	\$0	
200	Homeless Transportation	\$11,348	\$0	\$0	\$0	\$0	
201	Total Student Transportation	\$838,718	\$921,933	\$833,007	\$885,000	\$895,000	
202							
203	Transfer to School Lunch	\$26,000	\$0	\$0	\$0	\$0	
204	Total Food Services	\$26,000	\$0	\$0	\$0	\$0	
205							
206	Coaches	\$109,800	\$151,854	\$152,995	\$156,000	\$156,000	
207	Sports Clinics/Trainer	\$504	\$37,521	\$58,800	\$63,288	\$68,136	
208	Officials	\$7,565	\$22,979	\$36,577	\$24,000	\$28,000	
209	Activity Staff	\$1,380	\$6,415	\$3,329	\$7,000	\$7,000	
210	Ice Time	\$6,723	\$4,879	\$5,882	\$7,000	\$6,000	
211	Game Transportation	\$15,823	\$42,040	\$55,509	\$46,000	\$50,000	

Cape Cod Regional Technical High School

FY25 Budget - Proposed

	Description	FY21 Actual	FY22 Actual	FY23 Actual	FY24 Budget	FY25 Proposed	Expected Grant Funds
212	Athletic Supplies	\$12,009	\$36,560	\$45,976	\$35,000	\$40,000	
213	Equipment Reconditioning	\$788	\$3,364	\$4,609	\$4,000	\$4,000	
214	Athletic Dues & Subscriptions	\$3,255	\$5,978	\$10,743	\$6,500	\$6,500	
215	Total Athletic Services	\$157,847	\$311,589	\$374,420	\$348,788	\$365,636	
216							
217	Advisors	\$34,554	\$69,236	\$61,447	\$81,633	\$81,633	
218	Student Activities	\$6,240	\$34,492	\$16,262	\$28,000	\$28,000	
219	Total Other Student Activities	\$40,794	\$103,728	\$77,709	\$109,633	\$109,633	
220							
221	Police Liason Officer	\$20,000	\$20,000	\$20,000	\$20,000	\$20,000	
222	After School Supervision	\$0	\$15,107	\$21,239	\$11,000	\$15,000	
223	Security	\$224	\$208	\$0	\$0	\$0	
224	Total School Security	\$20,224	\$35,315	\$41,239	\$31,000	\$35,000	
225							
226	Custodians (6)	\$256,658	\$249,729	\$246,095	\$315,910	\$323,274	
227	Contracted Services	\$0	\$250	\$364	\$1,000	\$1,000	
228	Custodial Supplies	\$42,108	\$38,844	\$42,559	\$38,000	\$40,000	
229	Custodial Clothing Allowance	\$8,618	\$7,638	\$8,573	\$6,000	\$6,000	
230	Total Custodial Services	\$307,384	\$296,461	\$297,591	\$360,910	\$370,274	
231							
232	Heat for Building - Gas	\$137,690	\$114,189	\$130,015	\$155,000	\$160,000	
233	Heat for Building - Oil	\$0	\$0	\$0	\$0	\$0	
234	Total Heat of Building	\$137,690	\$114,189	\$130,015	\$155,000	\$160,000	
235							
236	Telephone	\$27,970	\$27,078	\$26,388	\$28,000	\$28,000	
237	Water	\$8,042	\$15,424	\$11,016	\$9,000	\$9,000	
238	Electricity	\$219,803	\$311,480	\$316,986	\$349,000	\$349,000	
239	Gasoline	\$5,832	\$16,078	\$13,842	\$14,000	\$14,000	
240	Refuse Removal	\$30,079	\$25,610	\$24,865	\$25,000	\$25,000	
241	Total Utility Services	\$291,726	\$395,669	\$393,097	\$425,000	\$425,000	

Cape Cod Regional Technical High School

FY25 Budget - Proposed

	Description	FY21 Actual	FY22 Actual	FY23 Actual	FY24 Budget	FY25 Proposed	Expected Grant Funds
242							
243	Student Wages	\$0	\$384	\$5,548	\$4,500	\$4,500	
244	Groundskeeper (1)	\$51,657	\$56,355	\$55,484	\$59,550	\$59,550	
245	Snow Removal	\$22,050	\$20,100	\$9,600	\$25,000	\$25,000	
246	Grounds Supplies	\$31,505	\$23,765	\$42,018	\$28,000	\$32,000	
247	Total Maintenance of Grounds	\$105,212	\$100,604	\$112,650	\$117,050	\$121,050	
248							
249	Building & Grounds Supervisor (1)	\$101,719	\$84,080	\$89,770	\$97,486	\$97,486	
250	Maintenance Employees (2.3)	\$125,657	\$143,866	\$115,749	\$150,347	\$150,347	
251	Maint. of Building Supplies	\$33,109	\$42,570	\$56,728	\$45,000	\$45,000	
252	Electrical Contracted Service	\$1,557	\$2,095	\$1,800	\$8,000	\$5,000	
253	Emergency Services	\$49,399	\$50,322	\$12,716	\$50,000	\$45,000	
254	Mechanical Contracted Services	\$0	\$17,427	\$9,066	\$15,000	\$12,000	
255	Air Conditioning Cont. Serv.	\$0	\$13,239	\$20,135	\$12,000	\$14,000	
256	Building Contracted Services	\$39,904	\$84,612	\$93,215	\$80,000	\$80,000	
257	Total Maintenance of Building	\$351,345	\$438,210	\$399,179	\$457,833	\$448,833	
258							
259	Maint. Equipment - Administration	\$60,482	\$61,063	\$52,696	\$40,000	\$45,000	
260	Maint. Equipment - Vocational	\$27,586	\$13,722	\$22,566	\$16,000	\$16,000	
261	Maint. Equipment - Academic	\$4,025	\$0	\$0	\$3,000	\$3,000	
262	Maint. Equipment - Maintenance	\$13,449	\$12,390	\$4,557	\$13,000	\$12,000	
263	Maintenance of Vehicles	\$4,607	\$14,888	\$11,804	\$16,000	\$12,000	
264	Total Maintenance of Equipment	\$110,149	\$102,062	\$91,623	\$88,000	\$88,000	
265							
266	Barnstable County Retirement Assessment	\$541,453	\$449,201	\$469,805	\$537,343	\$516,839	
267	Total Employee Retirement	\$541,453	\$449,201	\$469,805	\$537,343	\$516,839	
268							
269	Employee Health Insurance	\$1,270,601	\$1,447,061	\$1,301,244	\$1,517,636	\$1,572,749	\$15,000
270	Employee Dental Insurance	\$107,144	\$118,859	\$106,935	\$98,001	\$94,791	
271	Employee Long Term Disability Ins.	\$18,555	\$23,819	\$15,344	\$23,400	\$20,280	

Cape Cod Regional Technical High School

FY25 Budget - Proposed

	Description	FY21 Actual	FY22 Actual	FY23 Actual	FY24 Budget	FY25 Proposed	Expected Grant Funds
272	Employee Life Insurance	\$15,142	\$17,574	\$16,009	\$24,735	\$28,713	
273	Medicare Tax	\$126,964	\$141,370	\$143,322	\$143,420	\$150,000	
274	Unemployment Insurance	\$28,318	\$26,262	\$13,393	\$32,000	\$20,000	
275	Workers' Comp. Insurance	\$68,717	\$70,786	\$71,636	\$71,097	\$75,706	
276	Retirees Health Insurance	\$644,937	\$639,737	\$622,901	\$631,854	\$702,607	
277	Retiree Section 18 Penalty	\$1,013	\$2,830	\$1,701	\$2,500	\$2,500	
278	OPEB Obligation	\$550,000	\$200,000	\$250,000	\$275,000	\$300,000	
279	Property & Liability Ins.	\$188,350	\$261,325	\$250,724	\$263,779	\$274,212	
280	Excess Liability Insurance	\$11,198	\$14,571	\$17,444	\$20,119	\$20,119	
281	Student Insurance	\$15,385	\$9,704	\$12,687	\$10,245	\$10,444	
282	Treasurer's Bond	\$246	\$350	\$350	\$350	\$350	
283	Total Insurances	\$3,046,570	\$2,974,249	\$2,823,690	\$3,114,137	\$3,272,472	\$15,000
284							
285	Postage Meter	\$2,984	\$3,023	\$3,043	\$2,998	\$2,998	
286	Total Fixed Lease Charges	\$2,984	\$2,998	\$2,998	\$2,998	\$2,998	
287							
288	Building Improvement	\$69,372	\$68,078	\$216,055	\$150,000	\$200,000	
289	New Equipment	\$50,463	\$60,857	\$95,331	\$80,000	\$100,000	
290	Technology Equip/Software	\$223,433	\$84,587	\$75,465	\$95,000	\$95,000	
291	Replacement Equipment	\$84,060	\$67,557	\$88,358	\$90,000	\$100,000	
292	Total Fixed Assets	\$427,328	\$281,079	\$475,209	\$415,000	\$495,000	
293	Capital Improvement Stabilization Fund	\$ 245,000		\$ 40,000.00			
294	Total Operating and Capital Budget	\$15,476,489	\$15,806,925	\$15,955,915	\$16,750,000	\$17,484,000	\$255,056
295	Capital Debt Expense - Principal	\$ 3,320,000	\$ 3,485,000	\$ 3,485,000	\$ 3,485,000	\$ 3,485,000	
296	Capital Debt Expense - Interest	\$ 2,940,700	\$ 2,770,575	\$ 2,596,325	\$ 2,422,075	\$ 2,247,825	
297	Total Budget	\$21,737,189	\$22,062,500	\$22,037,240	\$22,657,075	\$23,216,825	

Archived: Wednesday, March 20, 2024 2:45:25 PM

From: [POCCA CAPE COD](#)

Mail received time: Wed, 20 Mar 2024 18:38:25

Sent: Wed, 20 Mar 2024 14:37:17

To: [Peter Lombardi](#) [Donna Kalinick](#) [Erika Mawn](#)

Subject: Pesticide Reduction, Home Rule Petition

Importance: Normal

Sensitivity: None

Attachments:

[Home Rule Petition article.pdf](#) [Res-23-12-Support-Orleans-Pesticide-Article-Adopted.pdf](#) [FAQ's.pdf](#) [C-Cape-Pesticides-HRP-2024-02-20 copy.pdf](#)

Dear Brewster Select Board Members ~

Please allow this on your next agenda, on March 25th at Select Board meeting, for a vote on the Pesticide Reduction HRP to be on the Brewster town Warrant for your town citizens to have the opportunity to vote on this important issue.

Attached are support letters from:

The Barnstable County Assembly of Delegates

The Sierra Club

And new information to share with the Brewster Select Board members, Both Wellfleet and Eastham have put this Pesticide HRP onto their Warrants for town citizens to vote on it. Also Harwich as well. And Tuesday night Dennis Select Board will vote on this also.

At the Orleans Fall Town Meeting, residents voted 68% in favor of a [Pesticide Reduction Home Rule Petition](#). Then the Barnstable County Assembly of Delegates adopted the foregoing Resolution No. 12 at its regular meeting on October 18, 2023 by a roll call vote with delegates representing 100.00% of the population of Barnstable County voting in the affirmative.

For more information, please see the attached handout, also to the Orleans Town website, search "pesticide reduction" and click on numerous documents on the landing page that contains: the warrant article, support letters, news articles, studies, database, FAQ's, presentations, etc.

<https://www.town.orleans.ma.us/1335/Pesticide-Home-Rule-Petition-2023>

I respectfully request The Brewster Select Board support its Cape Cod neighbor Orleans's by bringing this Pesticide Reduction Home Rule Petition warrant article to the Brewster Annual Town Meeting in 2024 and championing pesticide reduction to town residents.

Thank you for taking this into high consideration. The more Cape Cod towns involved will send a strong message to the State Legislature that these reductions are necessary to help protect the health and integrity of our surrounding waters, environment and ultimately ourselves.

I gave a presentation about this to NRAC and they voted unanimously to allow this onto your town warrant.

May this be on your next agenda, on March 25th at Select Board meeting, for a vote on the Pesticide Reduction HRP to be on the Brewster town Warrant for your town citizens to have the opportunity to vote on this important issue?

Thank you very much,
Laura Kelley
North Eastham, MA

--

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Laura Kelley

774.353.6511

POCCA Cape Cod ~ Protect Our Cape Cod Aquifer ~

Helping to protect our quality of life on Cape Cod

President: [Protect Our Cape Cod Aquifer \(POCCA\)](#)

Facebook: [POCCA Cape Cod](#)



Archived: Monday, March 18, 2024 3:24:45 PM

From: [POCCA CAPE COD](#)

Mail received time: Thu, 7 Dec 2023 03:07:50

Sent: Wednesday, December 6, 2023 10:07:51 PM

To: [Donna Kalinick](#) [Peter Lombardi](#)

Cc: [POCCA CAPE COD](#)

Subject: Request to present to your Select Board in Brewster

Importance: Normal

Sensitivity: None

Attachments:

[Orleans Pesticide Reduction Handout qrs.pdf](#) [Home Rule Petition article.pdf](#) [FAQ's.pdf](#) [Res-23-12-Support-Orleans-Pesticide-Article-Adopted.pdf](#) [Town of Brewster Select Board request Dec 2023.docx](#)

Town of Brewster
Select Board Members
Brewster, Massachusetts

December 6, 2023

Dear Brewster Select Board Members,

May I give a presentation to your Select Board Members on a Home Rule Petition for Pesticide Reduction?

Recently at the Orleans Fall Town Meeting, residents voted 68% in favor of a Pesticide Reduction Home Rule Petition. Then the Barnstable County Assembly of Delegates adopted the foregoing Resolution No. 12 at its regular meeting on October 18, 2023 by a roll call vote with delegates representing 100.00% of the population of Barnstable County voting in the affirmative.

For more information, please see the attached handout, also to the Orleans Town website, search "pesticide reduction" and click on numerous documents on the landing page that contains: the warrant article, support letters, news articles, studies, database, FAQ's, presentations, etc.

<https://www.town.orleans.ma.us/1335/Pesticide-Home-Rule-Petition-2023>

I respectfully request The Brewster Select Board support its Cape Cod neighbor Orleans's by bringing this Pesticide Reduction Home Rule Petition warrant article to the Brewster Annual Town Meeting in 2024 and championing pesticide reduction to town residents.

Thank you for taking this into high consideration. The more Cape Cod towns involved will send a strong message to the State Legislature that these reductions are necessary to help protect the health and integrity of our surrounding waters, environment and ultimately ourselves.

Let me know if you have any questions. I look forward to hearing back from you soon with a date we can present to your board openly.

Thank you very much,
Laura Kelley
North Eastham, MA

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Laura Kelley

774.353.6511

POCCA Cape Cod ~ Protect Our Cape Cod Aquifer ~

Helping to protect our quality of life on Cape Cod

President: [Protect Our Cape Cod Aquifer \(POCCA\)](#)

Facebook: [POCCA Cape Cod](#)





Town of Brewster
Select Board Members
Brewster, Massachusetts

December 6, 2023

Dear Brewster Select Board Members,

At the Orleans Fall Town Meeting, residents voted 68% in favor of a Pesticide Reduction Home Rule Petition. Then the Barnstable County Assembly of Delegates adopted the foregoing Resolution No. 12 at its regular meeting on October 18, 2023 by a roll call vote with delegates representing 100.00% of the population of Barnstable County voting in the affirmative.

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Thank you very much,
Laura Kelley
North Eastham, MA

ARTICLE 24. HOME RULE PETITION FOR A PESTICIDE REDUCTION BYLAW

To see if the Town will vote to authorize and direct the Select Board to petition the Great and General Court of the Commonwealth of Massachusetts for special legislation, authorizing the Town to adopt a Pesticide Reduction Bylaw (the bylaw), the text of which is set forth below, and to authorize the General Court, with the approval of the Select Board, to make changes of form to the text thereto as may be necessary or advisable in order to accomplish the intent and public purpose of this legislation in order to secure passage; and vote to adopt the bylaw as follows:

CHAPTER ____ PESTICIDE REDUCTION BYLAW

§1. Purpose.

The purpose of this bylaw is to reduce toxic pesticide use in and on public and private property in the Town of Orleans in order to promote a healthy environment and to protect the public from the hazards of pesticides, and for implementation of sustainable land and building management practices on all public and private property.

§2. Findings.

- A. Scientific studies associate exposure to pesticides with asthma, cancer, developmental and learning disabilities, nerve and immune system damage, liver or kidney damage, reproductive impairment, birth defects, and disruption of the endocrine system.
- B. Infants, children, pregnant women, the elderly, and people with compromised immune systems and chemical sensitivities are especially vulnerable to pesticide effects and exposure.
- C. Pesticides are harmful to pets and wildlife, including threatened and endangered species, soil microbiology, plants, and natural ecosystems.
- D. Toxic runoff from chemical fertilizers and pesticides pollute streams, lakes, estuaries, and drinking water sources.
- E. The use of pesticides is not necessary to create and maintain green lawns and landscapes given the availability of viable alternatives practices and products.
- F. People have a right not to be involuntarily exposed to pesticides in the air, water or soil that inevitably result from chemical drift and contaminated runoff.
- G. Sustainable land and building management practices that emphasize non-chemical methods of pest prevention and management, and least-toxic pesticide use as a last resort, will eliminate the use of and exposure to pesticides while controlling pest populations.

- H. Sustainable land and building management practices complement other important goals of Orleans' maintenance and administration, such as energy conservation and security.
- I. Orleans embraces a precautionary approach to the use of pesticides in order to adequately protect people and the environment from the harmful effects of pesticides.
- J. Application of chemicals simply for aesthetic/cosmetic purposes has harmful consequences for our ecosystem, children and pets. Pollinators are directly harmed by applications particularly the indiscriminate (and long-term ineffective) spraying of pesticides.

§3. Authority.

This bylaw is adopted under authority granted by the Home Rule amendment to the Massachusetts Constitution and the provisions of any Special Legislation passed by the Legislature.

§4. Definitions.

For the purposes of this bylaw, the following definitions shall apply:

Allowed Materials List - The list of acceptable pesticides is limited to the following:

- 1) All non-synthetic (natural) materials, with the exception of prohibited non-synthetic materials under 7 CFR 205.602;
- 2) Any synthetic material listed at 7 CFR 205.601 that is labeled for turf uses, subject to discretionary authority to require disclosure of inert ingredients; and
- 3) 25b listed pesticides under the Federal Insecticide, Fungicide and Rodenticide Act (FIFRA).

Inert ingredient - Any substance (or group of substances with similar chemical structures if designated by the Environmental Protection Agency) (EPA) other than an active ingredient that is intentionally included in any pesticide product (40 CFR 152.3(m)) [7 CFR 205.2 Terms defined.], and are not classified by the EPA Administrator as inserts of toxicological concern. [7 U.S.C. 6502(21) Definitions]

Non-synthetic (natural) materials - A substance that is derived from mineral, plant, or animal matter and does not undergo a synthetic process as defined in section 6502(21) of the Organic Foods Production Act. For the purposes of this part, 'non-synthetic' is used as a synonym for natural as the term is used in the regulations. [7 CFR 205.2 Terms defined.]

Pesticide — Any substance or mixture of substances intended for: (i) preventing, destroying, repelling, or mitigating any pest; (ii) use as a plant regulator, defoliant, or desiccant; or (iii) use as a spray adjuvant such as a wetting agent or adhesive. The term

'pesticide' includes insecticides, herbicides, fungicides, and rodenticides, but does not include cleaning products other than those that contain pesticidal agents.

Synthetic materials - A substance that is formulated or manufactured by a chemical process or by a process that chemically changes a substance extracted from naturally occurring plant, animal, or mineral sources, except that such term shall not apply to substances created by naturally occurring biological processes. [7 U.S.C. 6502(21) Definitions]

§5. Prohibitions.

The application of any Pesticide that is not on the Allowed Material List is prohibited, except as permitted in this bylaw.

§6. Exceptions.

A. The application of the following Pesticides is allowed:

1. Indoor pest sprays and insect baits (excluding rodent baits)
2. Insect repellants for personal and household use
3. Pet: Flea and tick sprays, powders, and pet collars
4. Kitchen, laundry, and bath disinfectants and sanitizer
5. Products labeled primarily to kill mold and mildew
6. Usage for commercial farming and nurseries.

B. Pesticides for the treatment of invasive plants for ecological restoration (see Massachusetts Invasive Plant Advisory Group current lists of Invasive, Likely Invasive, and Potentially Invasive <https://www.massnrc.org/mipag/>) may be used upon the grant of a waiver by the Town Manager or authorized designee.

C. If an emergency public health situation warrants the use of Pesticides, which would otherwise not be permitted under this bylaw, the Town Manager or authorized designee shall have the authority to grant a temporary waiver on a case-by-case basis after an evaluation of all alternative methods and materials.

§7. Enforcement.

The enforcement authority shall be the Town Manager, or any town officials as designated by the Select Board to oversee and enforce the provisions of this bylaw.

§8. Penalties.

Any person who violates any provision of this bylaw shall be punished by a fine of one hundred dollars (\$100.00) for the first offense and three hundred dollars (\$300.00) for each offense thereafter. Each day or portion thereof during which a violation continues shall constitute a separate offense and a violation of each provision of the bylaw shall constitute a separate offense.

If the offender is a commercial applicator, the right to do business in Orleans may be revoked.

§9. Severability.

The provisions of this bylaw are hereby declared to be severable. If any provision, paragraph, sentence, or clause of this bylaw or the application thereof to any person, establishment, or circumstances shall be held invalid, such invalidity shall not affect the other provisions or application of this bylaw.

Provided, that this bylaw is subject to the Town obtaining special legislation from the Great and General Court of the Commonwealth of Massachusetts authorizing the Pesticide Reduction Bylaw as aforesaid; or to take any other action relative thereto. (Select Board)

(Simple Majority Vote Required)

PROPOSED MOTION

I move this article be accepted and adopted as printed in the warrant and that the Select Board be authorized to petition the Great and General Court for special legislation as set forth therein and that the Pesticide Reduction Bylaw be adopted subject to the approval of the special legislation.

SUMMARY

The article authorizes the Select Board to file special legislation authorizing the adoption of the proposed bylaw as the application of pesticides in Orleans is currently primarily regulated by state and federal law. This article also proposes the adoption of a bylaw that seeks to reduce toxic pesticide use in and on public and private property in order to promote a healthy environment and to protect the public from the hazards of pesticide use. It does not prohibit businesses from selling products containing pesticides to anyone.

SB:	5 – YES	0 – NO	0 – ABSTAIN
FC:	3 – YES	3 – NO	1 – ABSTAIN

Protect our People, Waters and Environment

Article 24: Pesticide Reduction Home Rule Petition

Fall Town Meeting October 16, 2023

Our natural environment is what brings people here and makes us want to stay in this special place. Now and in the future it is our most valuable environmental resource and economic asset. It directly affects every resident, property owner, visitor, and business in Orleans.

The purpose of this Home Rule Petition is to reduce toxic pesticide use in the Town of Orleans in order to protect the public from the hazards of pesticides, promote a healthy environment for all and safeguard our economy. This is not a ban of all pesticides but a reduction of the most harmful.

Toxic chemicals from pesticides seep into the soil and groundwater, also become airborne, and can be found thousands of feet from the application site. They contaminate the air we breathe, the waters we recreate in, the aquifer from which we drink, and the soils in which we grow food for humans, animals and wildlife. People have the right not to be exposed to pesticides from other's properties.

Many studies associate pesticides with serious negative health effects including leukemia, non-Hodgkin's lymphoma: cancers of the brain, breast, prostate, testes and ovaries: heart disease, stroke, diabetes, Parkinson's, Alzheimer's, ADHD, autism and other autoimmune diseases, as well as birth defects and reproductive harm.

Butterflies, bees and insects are the 'building blocks of the food chain' and their numbers are declining rapidly, up to 2% per year. They pollinate 75-80% of crops and wild plants. They keep our soils healthy and are the major food source for our birds and amphibians. Their importance in the environment cannot be understated.

Climate change is one critical example where scientific evidence indicates that pesticides contribute significantly to greenhouse gas emission, and create a vicious cycle of pollution and dependency.

All are unintended consequences but unfortunately, all are deadly real. We see locally and globally how polluted environments have a drastic and negative impact on the health of communities and their economies. Individually we can have an immediate impact on protecting our family, friends and environments by volunteering to change our behavior by using safe, effective products, and practices, and educating our neighbors and ourselves in their use. The solution is free and costs the town and taxpayers nothing.

Help preserve this special place we love by supporting this Home Rule Petition at Fall Town Meeting, so we can send a strong message to our State Legislature.

For updated information, please visit:

<https://www.town.orleans.ma.us/1335/Pesticide-Home-Rule-Petition-2023>



Pesticide Home Rule Petition 2023 |
Orleans, MA
www.town.orleans.ma.us

Support:

Association to Preserve Cape Cod (APCC)
Barnstable County Assembly of Delegates
Orleans Agricultural Advisory Council
Orleans Board of Health
Orleans Board of Water and Sewer Commissioners
Orleans Conservation Commission
Orleans Conservation Trust (OCT)
Orleans Energy and Climate Action Committee
Orleans Farmers' Market
Orleans Open Space Committee
Orleans Pond Coalition (OPC)
Orleans Shellfish and Waterways Committee
Friends of Crystal Lake
Protect Our Cape Cod Aquifer (POCCA)
Provincetown Farmers' Market
Sustainable Cape
Truro Farmers' Market

Join supporters
3,500+
signatures so far!



FAQ Pesticide Reduction Initiative

The Purpose of this Home Rule Petition is to protect the people, wildlife and environment of Orleans by reducing the most toxic of pesticides

What are Pesticides?

Pesticides include all Insecticides, Herbicides, Fungicides, and Rodenticides

Pesticide — Any substance or mixture of substances intended for—(i) preventing, destroying, repelling, or mitigating any pest; (ii) use as a plant regulator, defoliant, or desiccant; or (iii) use as a spray adjuvant such as a wetting agent or adhesive. The term ‘pesticide’ does not include cleaning products, other than those that contain pesticidal agents.

Why should we support this petition?

To Protect our people, waters, wildlife and environment.

Water and environment is what brings people here and makes us want to stay in this special place of ours. It is up to us to protect the waters we love. It is our most valuable environmental resource and our most valuable economic asset. It directly or indirectly affects every resident, homeowner, visitor, and businesses in Orleans. Orleans has 63 ponds/lakes and approximately 50+ miles of coastlines. Water is our lifeblood, and it is our responsibility to keep it healthy.

What do we need to do to help?

Pass a Home Rule Petition Article at Fall Town Meeting October 16, 2023.

What is a Home Rule Petition, and how does it differ from a bylaw?

A Home Rule Petition is a request (petition) from a city/town for a new type of power from the State Legislature. It asks to let the Town of Orleans have the power to make its own decision to reduce the application of Pesticides and toxic chemicals entering our environment, a right the State took away in 2014.

What is the Home Rule Petition Process (HRP)?

The HRP will be a warrant article at Town Meeting on October 16, 2023. Once passed, the Town will send the bill to its State Representatives and State Senators who seek to pass it in the legislature as a state law that would only affect the one municipality, Orleans, MA.

How long does it take?

Once approved at Town Meeting it moves to the state level and it could sit in legislative committee for up to two years after which, if not passed, it will expire and need to go through the process again.

Can the Home Rule Petition wording be changed throughout the process?

Yes, the Home Rule Petition Article has this wording included: “...and to authorize the General Court, with the approval of the Select Board, to make changes of form to the text thereto as may be necessary or advisable in order to accomplish the intent and public purpose of this legislation in order to secure passage.”

When would this become effective?

Once approved at State level it would become a bylaw.

Why has the Orleans Select Board decided to act on this issue?

Local organizations mobilized in the 2000's creating advocacy and education campaigns that were immensely helpful in getting the town to put together some bylaws in 2014. But times have dramatically changed in the last few decades. We have more proven science, and attitudes in protecting our environment have never been stronger. Citizens feel there is an ongoing and significant increase in the application and use of pesticides in Orleans. The Select Board is listening to their concerns and moving forward to address them.

What can I do now to help protect our people, wildlife and environment?

Change how you manage your property. Stop using pesticides. If you use a service tell them to stop using toxic synthetic pesticides and herbicides. Despite what the services may tell you, you do not need them.

Let your voice be heard and vote in support of no application of toxic synthetic pesticides at Town Meeting.

Why are we not just stopping today when we know it harms people, wildlife and the environment?

Protecting the environment has had a long history of support in Orleans and Cape Cod. Many people have worked very hard to forward this issue through significant research, studies, and reports published by various groups both locally and globally. But it has not been enough. We are at a tipping point where awareness to protect our environment has never been higher and we need your participation. It is time to act.

Is this a new issue?

No, this is not a new issue. We have been studying pesticides for over half a century and the overall trend is that they continue to become more toxic and our environment becomes more polluted.

Why shouldn't I apply pesticides on my own property?

When pesticides are applied to property (lawns, gardens, flowers, shrubs, trees, etc.) they do disappear or stay on property. They run off from irrigation use, rain and storms. Air and water carry pesticides off your property long distances onto and through other people's properties until it reaches the nearest (shared) water source. It permeates through sandy soil polluting the single source aquifer we all share.

If water moves through our sandy soils at an estimated 1 foot per day and with an average Cape Cod aquifer depth estimated under 30 feet, within a month whatever is applied to the ground may be in our shared aquifer we drink from.

Barry Commoner's First Law of Ecology states that: "Everything is connected to everything else." What you do on your land will have a widespread impact beyond the boundaries of your property. In a sense, each and every one of us 'live on the water.' –OPC Blue Pages 2008

We already have policies, why are they not effective or enforced?

Our current policies are outdated and allow for continued use of pesticides on properties with no enforcement penalties, which in turn continues the cycle of polluting our environment. The current Select Board has committed to devoting resources to reasonably enforce this special legislation.

Why change?

Doing nothing will change nothing and the health of our people and environment will continue to be negatively affected. It is time we make the hard decisions to challenge ourselves to find solutions that protect and enhance a healthy environment and economy for everyone living and visiting our beloved town.

We cannot be fearful of change, we must grow and address our climate and all issues head on.

As we are all stewards of this land, we need to ask not what our waters and our environment can do for us but what we can do for our waters and our environment.

Why not just educate?

Education alone has proven not to work. We have been educating about the harmful effects of pesticides but the use of pesticides continues to increase. Education is a very important part of this and any process, but to be effective we need to combine it with clear, reasonable and enforceable regulations.

It has been mentioned that people arriving on the Cape may not understand the effects of pesticides. The negative effects of pesticides is a national/global issue and is also happening in the towns they come from and is consistently reported in the local and national press.

What methods can I use to treat for Termites, Carpenter Ants, Wasps, and Ants?

There are various articles on our town website educational webpage [Natural Remedies for Pests](#) that provide natural solutions that work.

What are the exceptions?

§6. Exceptions.

A. The application of the following Pesticides is allowed:

1. Indoor pest sprays and insect baits (excluding rodent baits)
2. Insect repellants for personal and household use
3. Pet: Flea and tick sprays, powders, and pet collars
4. Kitchen, laundry, and bath disinfectants and sanitizer
5. Products labeled primarily to kill mold and mildew
6. Usage for commercial farming and nurseries.

What pesticides would still be allowed?

- All non-synthetic (natural) materials are allowed except a very few on Department of Agriculture list 7 CFR 205.602
 - Any synthetic (man-made) materials that are on the Department of Agriculture list 7 CFR 205.601 are allowed.
 - 25b listed pesticides under the Federal Insecticide, Fungicide and Rodenticide Act (FIFRA) are allowed
- These lists of minimal risk pesticides are on our website.

How are Pesticide applicators licensed?

Massachusetts law requires that all persons who apply pesticides in public areas and private places used for human occupation and habitation must be in possession of a valid pesticide license or certification issued by the Massachusetts Department of Agricultural Resources

Who enforces Pesticide regulations?

Massachusetts Pesticide Inspectors are assigned to regions.

Contact to file a complaint:

Chief Pesticide Inspector Michael W. McClean to Michael.Mcclean@mass.gov or (617) 626-1782
Pesticide Inspector in Plymouth, Bristol, Barnstable and Islands Mark.Herlihy@mass.gov
Enforcement Hotline: (617) 626-1782

The Pesticide Program enforces of all pesticide Regulations in the Commonwealth of Massachusetts. Pesticide Enforcement regulates the Massachusetts Pesticide Control Act and the regulations [333 CMR 1- 14](#).

Local enforcement:

§7. Enforcement.

The enforcement authority shall be the Town Manager, or any town officials as designated by the Select Board to oversee and enforce the provisions of this bylaw.

It is our expectation that if we have clear laws in the town of Orleans, the majority if not all people, will follow them.

Other laws that protect our health and the environments we have been able to successfully enforce: smoking (Orleans was a leader), plastic bags, plastic water bottles under one gallon.

What is the procedure in a potential health emergency?

If an emergency public health situation warrants the use of Pesticides, which would otherwise not be permitted under this bylaw, the Town Manager or authorized designee shall have the authority to grant a temporary waiver on a case-by-case basis after an evaluation of all alternative methods and materials.

How will this affect businesses?

The Select Board is strongly committed to working together and supporting solutions that benefit our local businesses and the whole community. American business is built on innovation and this is an opportunity to shift customers into safe alternative products and practices. It is a great opportunity to truly focus on our beautiful native drought tolerant grasses, plants, flowers, shrubs and trees (and pollinators). Also for our garden club and environmental organizations to use their expertise to help educate.

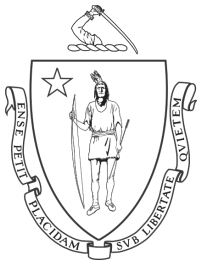
We understand our businesses have customers from surrounding towns. This does not restrict businesses from selling any pesticide they choose but only prohibits the application to property in Orleans. It is the homeowners’ responsibility what is put on their property.

Note: This is a living document. It will be updated and additional FAQs added as needed.

For more information please visit the Pesticide Home Rule Petition 2023 webpage on the Orleans town website: <https://www.town.orleans.ma.us/1335/Pesticide-Home-Rule-Petition-2023>



Pesticide Home Rule Petition 2023 |
Orleans, MA
www.town.orleans.ma.us



THE COMMONWEALTH OF MASSACHUSETTS
OFFICE OF THE ATTORNEY GENERAL

CENTRAL MASSACHUSETTS DIVISION
10 MECHANIC STREET, SUITE 301
WORCESTER, MA 01608

ANDREA JOY CAMPBELL
ATTORNEY GENERAL

(508) 792-7600
(508) 795-1991 fax
www.mass.gov/ago

January 18, 2024

Kelly L. Darling, Town Clerk
Town of Orleans
195 School Road
Orleans, MA 02653

**Re: Orleans Special Town Meeting of October 16, 2023 -- Case # 11194
Warrant Articles # 23 and 24 (General)**

Dear Ms. Darling:

Article 23 – We approve Article 23 from the October 16, 2023 Orleans Special Town Meeting.

Article 24 - Because the Town has not yet obtained the special legislation that is necessary to authorize the Town to adopt the by-law voted under Article 24, “Pesticide Reduction Bylaw,” we place this by-law on “hold” pursuant to G.L. c. 40, § 32 pending receipt of the requested special legislation. In the interim, we offer the following comments for the Town’s consideration.

I. Summary of Article 24

Under Article 24 the Town voted to adopt a new general by-law, “Pesticide Reduction Bylaw,” that prohibits the application of certain pesticides in the Town. Section 5, “Prohibitions.” The by-law defines terms used in the by-law including “Pesticides” and “Allowed Materials List,” as follows:

Allowed Materials List - The list of acceptable pesticides is limited to the following:

All non-synthetic (natural) materials, with the exception of prohibited non-synthetic materials under 7 CFR 205.602;

Any synthetic material listed at 7 CFR 205.601 that is labeled for turf uses, subject to discretionary authority to require disclosure of inert ingredients; and

25b listed pesticides under the Federal Insecticide, Fungicide and Rodenticide Act (FIFRA).

Pesticide - Any substance or mixture of substances intended for: (i) preventing, destroying, repelling, or mitigating any pest; (ii) use as a plant regulator, defoliant, or desiccant; or (iii) use as a spray adjuvant such as a wetting agent or adhesive. The term 'pesticide' includes insecticides, herbicides, fungicides, and rodenticides, but does not include cleaning products other than those that contain pesticidal agents.

In addition to allowing the use of pesticides listed in the definition of “Allowed Materials List,” the by-law exempts from its prohibition: (1) indoor pest sprays and insect baits; (2) insect repellent for personal and household use; pet flea and tick sprays, powders, and pet collars; (3) household disinfectants; and (4) products used to kill mold and mildew. Section 6, “Exceptions.” The by-law also exempts pesticides used for farming, treatment of invasive plants for ecological restoration, and use during a public health emergency. *Id.*¹ The by-law imposes fines for violations of its provisions. Section 8, “Penalties.”

II. Absent a Special Act Article 24 is Preempted by Massachusetts Pesticide Control Act

General Laws Chapter 132B establishes the Massachusetts Department of Agricultural Resources’ (MDAR) “exclusive authority in regulating the labeling, distribution, sale, storage, transportation, use and application, and disposal of pesticides in the commonwealth” G.L. c. 132B, § 1. General Laws Chapter 132B, Section 2 defines “Pesticide” as “a substance or mixture of substances intended for preventing, destroying, repelling, or mitigating any pest, and any substance or mixture of substances intended for use as a plant regulator, defoliant, or desiccant. . . .” The Act establishes a Pesticide Board within MDAR (Section 3) and authorizes the Pesticide Board to register pesticides for use in the Commonwealth if the Board determines that “a pesticide, when used in accordance with its directions for use, warnings and cautions and for the uses for which it is registered. . . will not generally cause unreasonable adverse effects on the environment. . . .” (Section 7).² The Act prohibits application of a registered pesticide in a way that is inconsistent with its labeling or other restrictions imposed by the MDAR (Section 6A).

A town by-law that regulates the application of pesticides in a way that interferes with the purpose of the Act is preempted. Town of Wendell v. Att’y Gen., 394 Mass. 518, 528-529 (1985)

¹ We take no action on that portion of Article 24’s vote that requested the special act. Votes to authorize the Board of Selectmen to petition the Legislature for a special act are not by-law amendments and are not subject to review by this Office. See G.L. c. 40, § 32.

² MDAR defines “Use of a pesticide” in 333 CMR § 10.02 to include the following: any act of handling a pesticide, releasing of a pesticide, or exposing of man or the environment to a pesticide, including, but not limited to: (a) Application of a pesticide including mixing or loading of equipment and any supervisory action in or near the area of application. (b) Storage actions relative to pesticides and pesticide containers carried out or supervised by an applicator. (c) Disposal actions relative to pesticides and pesticide containers carried out or supervised by an applicator. (d) Transportation actions relative to pesticides and pesticide containers except those by carriers and dealers.

(by-law that “contemplates the possibility of local imposition of conditions on the use of a pesticide beyond those established on a Statewide basis under the act” is preempted).

Because the Town has not yet obtained the special legislation that is necessary to authorize the Town to adopt the by-law voted under Article 24, “Pesticide Reduction Bylaw,” we place this by-law on “hold” pursuant to G.L. c. 40, § 32 pending receipt of the requested special legislation.

Note: Pursuant to G.L. c. 40, § 32, neither general nor zoning by-laws take effect unless the Town has first satisfied the posting/publishing requirements of that statute. Once this statutory duty is fulfilled, (1) general by-laws and amendments take effect on the date these posting and publishing requirements are satisfied unless a later effective date is prescribed in the by-law, and (2) zoning by-laws and amendments are deemed to have taken effect from the date they were approved by the Town Meeting, unless a later effective date is prescribed in the by-law.

Very truly yours,

ANDREA JOY CAMPBELL
ATTORNEY GENERAL

Kelli E. Gunagan

By: Kelli E. Gunagan
Assistant Attorney General
Municipal Law Unit
10 Mechanic Street, Suite 301
Worcester, MA 01608
(508) 792-7600

cc: Town Counsel Michael D. Ford

Archived: Monday, March 18, 2024 3:25:25 PM

From: [KC Pearson](#)

Mail received time: Fri, 15 Mar 2024 00:00:15

Sent: Thu, 14 Mar 2024 19:59:54

To: [Peter Lombardi](#) [Ned Chatelain](#) [Chris Miller](#) [Mary Chaffee](#)

Subject: Pesticide Reduction Bylaw

Importance: Normal

Sensitivity: None

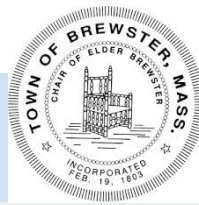
Good Evening:

The Brewster Natural Resources Advisory Commission by majority vote this evening decided to recommend that the Select Board put the Orleans Pesticide Reduction Bylaw as written on the SpringTown Meeting Warrant.

Please let me know if you have any questions.

Best

Kim Pearson



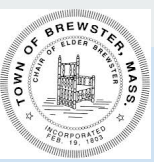
Natural Resources Advisory Commission

Pesticide Reduction Home Rule Petition



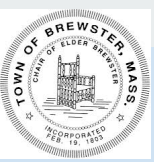
MA Legal Precedent: Municipal Pesticide Regulation through Bylaw and/or Regulations through Home Rule Petition

- **1985: TOWN OF WENDELL et al. v. ATTORNEY GENERAL et al.**
 - Bylaw was passed by the town at its 1981 annual town meeting to regulate the use of pesticides in the town for other than agricultural and domestic uses
 - Bylaw was disapproved by the MA Attorney General
 - Wendell took the AG to United States State Supreme Judicial Court of Massachusetts Supreme Court
 - Ruling was that the bylaw was preempted by the Massachusetts Pesticide Control Act. The determination of preemption by the act was based on a conclusion that the by-law was inconsistent with State law and thus not permitted under the Home Rule Amendment
- **2022: TOWN OF BELCHERTOWN**
 - Zoning bylaw amendment was passed by the town at its 2022 annual town meeting to prohibit the use of herbicides, rodenticides, and pesticides at Commercial Solar Photovoltaic Installations (CSPI's)
 - Amendment was disapproved by the MA Attorney General because of preemption by state law
- **2023: TOWN OF ORLEANS**
 - Bylaw was passed by the town at its 2023 Special Town Meeting
 - **1.18.2024:** MA Attorney General replies: "Absent a special act the bylaw is preempted by MA Pesticide Control Act." Because the Town has not yet obtained the special legislation that is necessary to authorize the Town to adopt the by-law it will not take effect.
 - **3.6.2024:** Petition filed on **Bill HD.4971** An Act authorizing the town of Orleans to adopt a pesticide reduction bylaw (Peake/Cyr)



Town Counsel Opinion: Municipal Pesticide Regulation through Bylaw and/or Regulations through Home Rule Petition

- The Office of the Attorney General has consistently held that municipal bylaws that seek to regulate the use of any herbicides or pesticides are preempted by G.L. c. 132B, and accordingly, disapproves the same. Therefore, and in my opinion, the precedent in Town of Wendell (and subsequent citing cases) affirm an express preemption against local regulation of pesticides by virtue of G.L. c. 132B.
- With that said, it appears the request being made to the Brewster Select Board, and the article recently approved by the Orleans Town Meeting, seek to obtain a Special Act from the Legislature to authorize said local regulation of pesticides. It is my further opinion that a Special Act from the Legislature could authorize the Town to adopt a local bylaw governing the use of pesticides, notwithstanding the express preemption discussed above.



Alternative approaches to address Brewster residents' goal of reducing pesticide use in town

- **Pesticide Reduction Bylaw?**
 - AG will not approve until / unless State legislature addresses preemption
 - Previous bills - as recent as 2019 - have not been voted out of committee
 - Sense of the Meeting Article at Town Meeting - could help to guide future action
- **Public Comment and Lobbying?**
 - **Massachusetts Legislature?**
 - HD.4971
 - **Massachusetts Department of Agricultural Resources (MDAR) Pesticide Board?**
 - Track pesticide application location in annual reports
 - Enhanced prenotification requirements
 - Mapping of sensitive areas
 - Deregistration of individual chemicals of concern
- **Other?**

Archived: Wednesday, March 20, 2024 2:42:56 PM

From: [KC Pearson](#)

Mail received time: Tue, 19 Mar 2024 13:48:06

Sent: Tue, 19 Mar 2024 09:47:13

To: [Peter Lombardi](#) [Ned Chatelain](#) [Mary Chaffee](#) [Chris Miller](#) [Amy von Hone](#)

Subject: Benchmarking Massachusetts Municipal Pesticide Policies

Importance: Normal

Sensitivity: None

Attachments:

[image.png](#) [Rare cases of mosquito- and tick-borne diseases including Powassan and dengue crop up across the US.pdf](#)
[Content and Application of Fertilizers and Pesticides on Municipal Land.pdf](#) [Dennis-glyphosate-policy.pdf](#)

Good Morning:

In preparation for next week's Select Board meeting, I have prepared a brief summary of municipal pesticide reduction policies in Massachusetts. The following policies apply on town-owned land only:

[image.png](#)

There is also the special case of glyphosate:

While the United States and Massachusetts governments have not limited glyphosate use as of August 2019, individual Massachusetts towns and cities have taken action. For example:

- * Chatham decided in December 2018 to stop using glyphosate products, such as Roundup®, on town-owned land.
- * Falmouth's Board of Health issued a one-year moratorium on using glyphosate on town-owned land. The year-long break in glyphosate use began in April 2019 and will give the town time to consider whether further action is necessary.
- * Dennis passed an ordinance banning the use of glyphosate on town-owned land unless an exemption is granted.
- * Marblehead took action more than a decade ago. In 2005, the town eliminated all toxic pesticides on town land and encouraged the reduction or elimination of toxic pesticides on private land.

- * Newburyport decided to stop using glyphosate in city parks. Further action may be considered.
- * Warwick passed an ordinance banning the use of glyphosate on town land in 2017.
- * Wellesley took action in 2011 to ban all pesticides on town land, including glyphosate, unless they are needed as a last resort.

The wording of the Orleans bylaw is problematic around the issue of control of insect-borne serious illnesses, which are likely to be an increasing problem in a warming future. (see below) There is precedent in our own Wetland Regulations for an alternative; the Brewster Wetland Protection Regulations contain the following language with regard to mosquito control and the use of pesticides. By giving categorical permission for this activity (with notification), the town leaves the decision-making as to what is a public health emergency with the appropriate prevention agency.

4.02 Mosquito Control Projects

1) Pursuant to Section 2 of the By-law, the Conservation Commission categorically give permission for mosquito control projects performed pursuant to the provisions of Clause 36 of M.G. L.c. 50 s5, of M.G.L.c. 252, or of any special act, provided that adequate notice, oral or written, has been given to the Conservation Commission at least 24 hours prior to the commencement of any work other than normal maintenance and control.

Respectfully,

Kim Pearson

Rare cases of mosquito- and tick-borne diseases, including Powassan and dengue, crop up across the U.S.

[nbcnews.com/health/health-news/rare-mosquito-tick-borne-disease-cases-rcna101425](https://www.nbcnews.com/health/health-news/rare-mosquito-tick-borne-disease-cases-rcna101425)



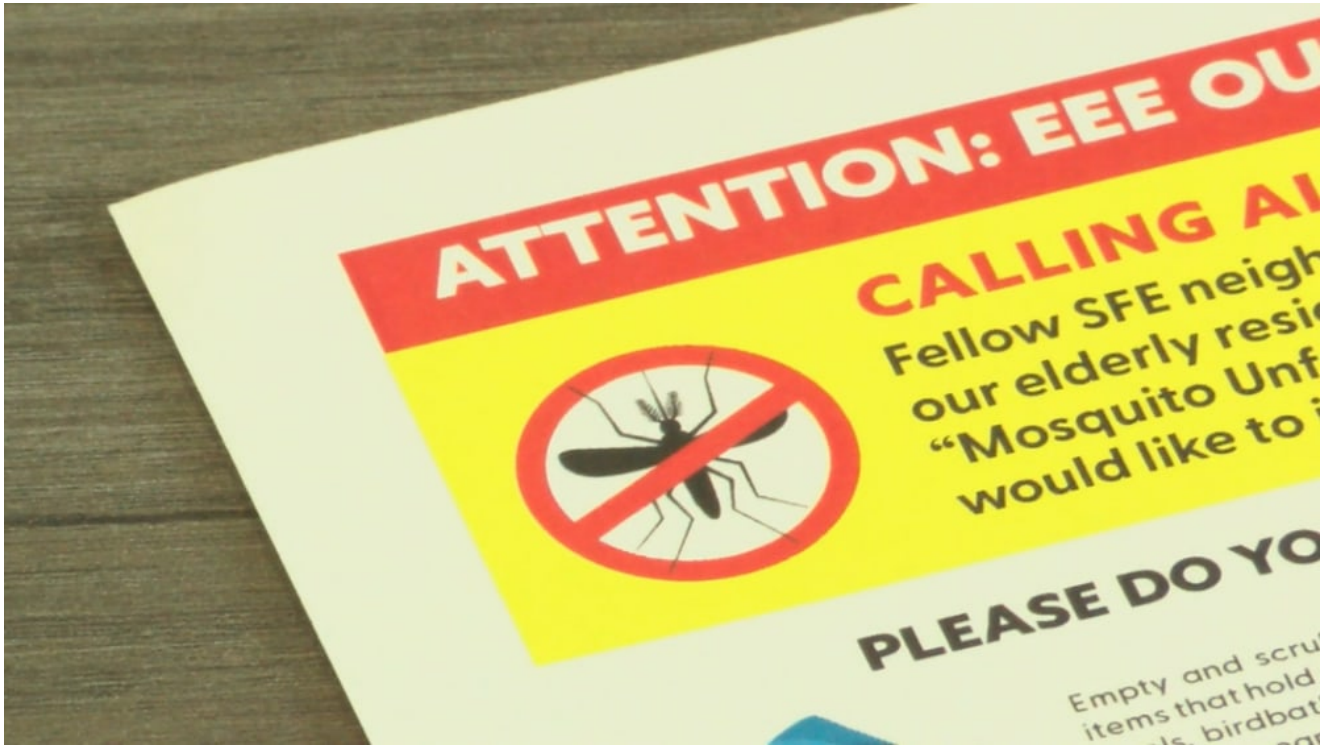
As the end of summer approaches, cases of rare insect-borne diseases are cropping up weekly across the country, including eastern equine encephalitis, dengue fever and West Nile virus — all spread by mosquitoes — and the tick-borne Powassan virus.

This week, Alabama reported two cases of eastern equine encephalitis, or EEE, including one death. The rare disease has a 30% fatality rate, and many survivors have lasting neurological issues. In Connecticut, meanwhile, four residents tested positive for Powassan virus, the first infections in the state this year.

The U.S. also recorded its first cases of locally transmitted malaria in two decades this summer: seven in Florida and one each in Maryland and Texas.

0 seconds of 2 minutes, 35 seconds Volume 90%





Aside from the malaria cases, one-off reports of these rare diseases are thus far not surprising compared to past years, according to four experts interviewed. But they also noted that the situation is difficult to assess until final case counts get tallied later this year, and rising temperatures linked to climate change are likely to make ticks and mosquitoes a threat into the fall this year and in those to come.

A new cluster of Powassan cases

Maria Diuk-Wasser, a vector-borne disease specialist and professor at Columbia University, said it's unusual to see several Powassan cases at once in the same area, as it recently happened in Connecticut.

Connecticut's cluster "seems like an outlier of a lot of cases at once," she said, "but in general, all of these pathogens have been increasing, including Powassan, even though it's very hard to say exactly when you have such small numbers."

Prior to the Connecticut cases, a Rhode Island resident died of the virus last week and Maine reported a death in May. The U.S. typically sees about 30 cases annually, Diuk-Wasser said. As of Tuesday, the U.S. has recorded 16 this year, according to the Centers for Disease Control and Prevention. Typically found in the Great Lakes region and the Northeast, Powassan virus has a fatality rate of about 10%. Its symptoms include fever, headache, vomiting and fatigue.

Diuk-Wasser's lab studies ticks in New York City and its surrounding areas, and she said her team this year has found higher levels of black-legged ticks, which can spread the Powassan virus, as well as Lyme disease.

Health authorities monitor EEE and dengue cases

EEE is among the rarest mosquito-borne diseases in the U.S. Last year, there was only one case, according to the CDC, though the annual average has hovered around eight for the last decade. The 2019 season was an exception with 38 cases, including nine deaths.

The two Alabama cases are the only ones confirmed so far this year, though Michigan, Vermont and New York each reported in the past week that mosquitoes had tested positive for EEE.

The condition causes inflammation of the brain. Symptoms can be nonexistent or mild for some people, but severe cases can lead to fever, headache, vomiting and later seizures and coma.

Jon Rayner, an associate professor of microbiology and immunology at the University of South Alabama, said one or two cases of EEE in a year is not unexpected for his state. But tick and mosquito season is stretching into the fall and winter, especially in the South, he said, adding that he got a tick bite while hiking in January.

“That’s part of the concern with global warming,” he said. “As you see temperatures remaining elevated in subtropical regions for longer periods of time, the transmission season similarly extends.”



In June, the World Health Organization warned that higher temperatures due to global warming have also led to a global spike in dengue fever. In the U.S., the spread of dengue this summer prompted two Florida counties — Broward and Miami-Dade — to issue mosquito-borne illness alerts after both reported locally acquired cases. In total, Florida has tallied 147 cases, and New York has reported the next highest total at 28.

About 1 in 4 people infected with dengue get sick, with symptoms including fever, vomiting, rash and muscle pain, [according to the CDC](#). Most people recover within a week, but about 1 in 20 develop severe dengue, which can become life-threatening within just a few hours after an individual's fever begins to drop.

The U.S. has logged 642 cases of dengue this year, [according to the CDC](#). That's far below last year's total of more than 1,200, but experts said the disease typically peaks in late summer, especially August.

Thousands of West Nile cases arise each year

West Nile virus remains the [leading mosquito-borne disease threat](#) in the U.S. **As of Aug. 22, 247 cases** had been confirmed this year, with Arizona and Colorado reporting the most, [according to the CDC](#). In the past week,

Last year's case total exceeded 1,100, while 2021 had the highest number of cases since 2012, with more than 3,000, according to a [CDC report](#) released Thursday.

Experts said infections are usually logged later in the season — and West Nile typically peaks in late summer and early fall, unlike most other mosquito-borne diseases.

In just the past week, [Connecticut](#) reported its first human case of the year, and officials in [Montana](#) and [Texas](#) warned of rising case counts.

Most people infected with West Nile do not get sick, but about 1 in 5 develop symptoms including fever, headache, body aches, joint pains and vomiting, [according to the CDC](#). About 1 in 150 develop serious or fatal illness that includes inflammation of the brain or spinal cord.

“It's really those neuroinvasive and neurodegenerative cases of West Nile, which is about 1% of all infections, that are the real serious human cases where you see hospitalizations or long-term disability or maybe death,” said Graham McKeen, assistant director of public and environmental health at Indiana University. “It usually just takes more time throughout the calendar year for us to pick up on those.”

He added that increased surveillance of tick and mosquito populations is key to combating the spread of these diseases.

“We kind of are anticipating seeing these diseases more and more as we continue to alter the climate, and as vectors come into new areas, and as we decrease funding and vector control,” McKeen said.

[Maia Pandey](#)

Maia Pandey is an intern at NBC News.

POLICY ON THE CONTENT AND APPLICATION OF FERTILIZERS AND PESTICIDES ON MUNICIPAL LAND IN THE TOWN OF EASTHAM

I. Purpose

The purpose of this policy is to codify practices the Town of Eastham uses to reduce or eliminate nutrient loading from the application of fertilizers and reduce concerns related to the application of high risk or undesirable pesticides on town-owned properties by Town employees, volunteers or private contractors of the Town.

II. Background

The Massachusetts Estuaries Project (MEP) found that fertilizers account for an important portion of controllable nitrogen load in Cape Cod watersheds. Excessive nitrogen from fertilizers and other watershed sources leads to eutrophication of marine embayments. Other studies have demonstrated that phosphorus from fertilizers can lead to eutrophication in freshwater ponds.

Excessive use of certain pesticides to control undesirable plants and insects is both an environmental problem and a public health issue. Some of these compounds accumulate in the food chain contaminating shell and fin fish.

The Town of Eastham will maintain its commitment to using fertilizers on town land only as allowed under this policy, and limiting pesticide use to non-toxic methods, used only when required to protect public health. The intent of this policy is to provide guidance for town staff whenever active management of land is required as specified in Section III below.

The Town of Eastham is seeking to reduce the share of the watershed nitrogen and phosphorus load resulting from fertilizers as part of nutrient management planning and to protect the public and the natural environment from unnecessary use of toxic pesticides. Reductions in nitrogen and phosphorus loads from fertilizer use is one part of a comprehensive wastewater management strategy and, if successful, could somewhat reduce infrastructure costs in future phases of wastewater management implementation.

The Town of Eastham seeks to demonstrate its commitment to reducing nutrient loading from fertilizer and use of pesticides by adopting this policy. The benefits of a municipal policy on the use of fertilizers and pesticides on municipal properties include 1) Setting a positive example for other persons and groups and 2) Demonstrating that town greens and fields can be maintained without the use of fertilizers and pesticides and 3) Reduction of any contribution by the Town of nitrogen, phosphorus and pesticides to the town's watersheds and natural environment.

III. Identification of Town Properties Covered by This Policy

This policy applies to all turf and green spaces owned and managed by the Town, volunteers or by contractors on behalf of the Town including, but not limited to:

- Athletic fields
- Grounds of town buildings
- Memorial squares and planted intersections on town land
- Town greens
- Cemeteries

IV. Practices for Management of Town Land

Whenever the Town chooses to manage the vegetation / turf on town land, the Town hereby agrees to adopt the following best management practices and to require adherence to these practices by any employee, volunteer or private contractors working on behalf of the Town.

1. Soil Testing

For any property that is managed with fertilizer, the Town agrees to conduct soil testing and analysis on a biennial or regular basis. Results of the soil analysis shall be used to enhance soil biology in order to reduce the need for fertilizers. Fertilizer will only be applied based on the results of recent soil testing.

2. Compost

The spreading of compost shall be restricted to leaf-based composts because of heavy nitrogen and phosphorus components in other forms of compost.

3. Top Soil and Site Preparation

Any new turf areas developed by the Town should be developed with a minimum of 6 inches of high quality top soil or in accordance with other professional standards appropriate to the type and planned use of the facility.

4. Grass Type

Whenever possible, hardy and drought resistant grass types such as fine leaf fescues (ie., Hard, Chewing, Creeping, Red and Sheep fescues) or minimal mow mixes should be selected so as to minimize the need for watering, mowing or fertilizing. These grass types also should be used when over-seeding established turf areas. Areas intended for special purposes such as athletic fields should use such a grass type appropriate for the intended type and intensity of use.

5. Maintenance Practices

For any property that is managed with fertilizer the following maintenance practices will be followed:

- Turf areas will be mechanically weeded and aerated annually if personnel are available, preferably in the spring;
- Over-seeding of turf areas will be undertaken in fall and spring if funding is available. Hardy and drought resistant grass types such as fine leaf fescues (ie., Hard, Chewing, Creeping, Red and Sheep fescues) and minimal mow mixes should be used for over-seeding unless an alternate grass type is required for an athletic field;
- Turf will be mowed to a height of 3 inches unless otherwise specified for a special use such as an athletic field;
- As a general rule, mowed clippings will not be bagged and will be left to mulch. However no grass clippings, leaves, or any other vegetative debris will be deposited into or within 25 feet of any water body, retention or detention areas, drainage ditches or storm water drains, or onto impervious surfaces such as but not limited to roadways and sidewalks, except during scheduled clean-up programs.

6. Irrigation

Watering will only be undertaken if necessary. Irrigation systems should be equipped with

rain, moisture, or evapotranspiration sensors, as appropriate.

7. Fertilizer Application

For any property that is managed with fertilizer the following fertilizer application practices should be followed:

- Fertilizer will be applied if needed for healthy plant growth appropriate to the type and intensity of use of the turf area or any ornamental garden and only in the minimum amount needed for this purpose.
- Application of products which contain bio-solids and / or synthetic fertilizer is prohibited.
- Only fertilizers with slow release / slowly soluble organic forms of nitrogen will be used. Use of leaf based compost and a compost tea is highly recommended.
- Fertilizer products should have a minimum of 35% water insoluble nitrogen and conform to the approved list of fertilizers issued by the Organic Materials Review Institute of Eugene, Oregon, the Organic Land Care Program of the Connecticut Northeast Organic Farmers' Association, or the National Organic Program.
- Fertilizer products containing phosphorous will be used only if required in accordance with the results of a recent soil analysis;
- Fertilizers will be applied to benefit the spring and fall heavy growth periods; Fertilizers will not be applied after October 31st or before April 15th unless required in accordance with the requirements of athletic fields or the results of a soil analysis.
- Fertilizer will not be applied immediately before or during heavy rainfall or when soil is saturated.
- Fertilizer will not be applied, spilled or deposited on impervious surfaces or in a manner that allows fertilizer to enter storm drains or other man-made storm flowage receptacles or channels;
- Fertilizer will not be applied closer than 100 feet to any water body unless permitted by the Eastham Conservation Commission.

8. Pesticides

Definition: Pesticides are defined by the Massachusetts Department of Food and Agriculture Pesticide Bureau as: "substances or mixtures of substances that prevent, destroy, repel, or mitigate pests, or defoliate, desiccate, or regulate plants." Some pesticides are poisonous substances that can have an adverse effect on the natural environment or impair human health. "Pesticide" is the umbrella term that encompasses many different products that includes, but is not limited to, herbicides, fungicides, and insecticides.

Use: The DPW Superintendent must determine the necessity for, and when appropriate, approve the use by any town employee or contractor of any pesticide except pesticides that appear on the EPA 25(b) exempted list. Only those pesticides considered minimum risk products that appear on the EPA Toxicity Category III and IV lists may be approved for use by any town employee or private contractor working for the town. Under no circumstances will products containing glyphosate be used.

Prohibited Use: Those products that meet the criteria for inclusion on the EPA Toxicity Category I and II lists are permanently prohibited. The use of glyphosate is permanently prohibited.

9. Record Keeping

Records will be kept of turf management practices and applications (i.e., amount and frequency of application, nutrient content) for all fields and turf areas that are managed with irrigation and/or fertilizer or pesticides. The DPW Superintendent shall keep a written record of any pesticides used under Section 8 above and will document the public necessity for the use of any pesticides used that are in EPA Category III and IV above.

10. Training

Municipal personnel involved in turf management will be required to attend training on techniques and best practices associated with organic turf management and non-toxic means of pest control.

BOS – First Review: Wednesday August 8, 2012
BOS – Second Review: Wednesday September 5, 2012
BOS – Third Review: Wednesday July 3, 2013
BOS – Final Consideration: Wednesday August 7, 2013

Date of Adoption by Eastham Board of Selectmen: August 7, 2013
Revised by the Eastham Board of Selectmen: August 5, 2019

TOWN OF DENNIS
Herbicide/Pesticide Management Policy on Town Owned Property

Glyphosate Ban

Section- 1: Findings and Purpose

The Board of Selectmen of the Town of Dennis does hereby find that:

The use of products that contain Glyphosate on lands within the Town of Dennis creates a risk contributing to adverse effects on surface and/or ground water.

It is necessary to reduce the risk to human health and the environment by eliminating the use of herbicides that contain glyphosate as an ingredient.

To not use products containing glyphosate on any town-owned properties, grounds, or facilities the town owns.

That in an effort to protect The Town of Dennis and improve water quality throughout the region, the Select Board has determined that banning the use of products containing glyphosate by any Town employee applicator or applicator on Town-owned property is necessary and in the best interest to the public and the Town of Dennis.

The Select Board of the Town of Dennis wishes to eliminate the risks associated with products containing glyphosate and therefore seeks to ban the application of glyphosate containing herbicides by all Town employees and commercial applicators in the performance of landscaping and maintenance work on all owned or managed properties in the Town of Dennis and direct all departments to take all actions necessary to accomplish this objective.

This policy, when adopted by the Select Board of the Town of Dennis, shall apply to the following spaces owned and managed by the town park commissioners, Dennis conservation commission, Department of Public Works, Golf Department and library board of trustees on the grounds listed below, but not limited to:

- athletic fields
- playgrounds
- grounds of town buildings (police, fire, town hall, transfer station)
- traffic islands
- parks
- rights of way
- cemeteries
- conservation areas
- roadsides
- golf courses
- cranberry bogs

Section- 2: Authority

This land management policy is promulgated under the authority granted to the Select Board of the Town of Dennis under Massachusetts General Law providing that Boards may make reasonable policy and under the authority granted to the Select Board of the Town of Dennis to make policy for the protection of public health, safety and the environment

Section-3: Definitions

Herbicide: a substance that is toxic to plants, used to destroy unwanted vegetation.

Glyphosate: the primary ingredient in many broad-spectrum herbicides (e.g., Roundup[®], Rodeo[®]); and is a microbiocide; and is also a metal chelating agent that binds macro- and micronutrients, essential for many plant growth and development processes and pathogen resistance (patented to remove mineral deposits from boilers and steam pipes).

Imminent Threat to Public Health: an unpredictable, significant outbreak of poisonous, stinging, or biting insects or other pests, including poisonous or stinging plants that threaten public health. Such events should very rarely, if ever, occur.

Examples of alternative management practices the town of Dennis will use instead of products containing glysohphate:

- mowing
- weed whacking
- using agricultural vinegar (20% vs household which is 3-5%) and salt or dish soap mixture
- citrus based
- phytotoxic oils (clove, pine, peppermint or citronella)
- smothering with mulch
- controlled fires
- goats
- hand pruning

Section- 4: Prohibition

The use and application of glyphosate based herbicides by the Town of Dennis employees and/or by private contractors for managing lawns, turf, ornamental beds, and trees is prohibited on all town-owned/operated lands unless an exemption has been granted by this Board. The Select Board may seek the opinion of the Board of Health on such exemptions. This includes all glyphosate herbicides of known and unknown hazard.

Section- 5: Inventory of herbicides

All the products that contain Glyphosate currently stored in or on town-owned premises shall be compiled by the DPW director who shall have the authority to dispose of any such products, including all GBHs, through the County's Hazardous waste collection program.

Section-6: Exemptions

None

Section- 7: Training

All personnel involved in the approval implementation or evaluation of turf and landscape maintenance should receive training and education in natural, organic cultural and technical methods as the training becomes available.

Section- 8: Complaints

The Town of Dennis shall investigate complaints received about any parties or acts that may violate any provision of this policy.

Section- 9: Effective date

This policy shall be effective as of [insert date].

~ Signatures of all members of the Board of Selectmen in Dennis with effective date of policy

Archived: Friday, March 22, 2024 2:27:21 PM

From: [Amy von Hone](#)

Sent: Thu, 21 Mar 2024 13:50:24

To: [Peter Lombardi](#)

Cc: [Kimberley Crocker-Pearson](#) [Dave Bennett](#) [Sherrie McCullough](#)

Subject: RE: Pesticide Reduction Bylaw

Importance: Normal

Sensitivity: None

The Board of Health had a brief discussion at their meeting last night (3/20/24) regarding the proposed Pesticide Reduction Bylaw.

The Board does not have enough information at this time to make a recommendation. They do have concerns about:

1. Enforcement requirements and capacity to enforce
2. Capacity to respond to a health emergency requiring use of pesticides to protect public health i.e. outbreak of West Nile Virus or Eastern Equine Encephalitis requiring emergency pesticide spraying for mosquito control

The Board will place this topic on a future agenda, as needed, for purposes of scheduling an in-depth presentation to make a better informed recommendation to the Select Board, at the Select Board's request.

Please advise if there are additional questions regarding the above.

Thank you, Amy

Amy L. von Hone
Health Director

Brewster Health Department
508.896.3701 X1120

**CAPE COD REGIONAL GOVERNMENT
ASSEMBLY of DELEGATES
2023 Session
Resolution No. 12**

Supporting a proposed Home Rule Petition by the Town of Orleans on Pesticide Reduction

Be it Hereby Resolved by the Barnstable County Assembly of Delegates:

WHEREAS, scientific studies associate exposure to pesticides with asthma, cancer, developmental and learning disabilities, nerve and immune system damage, liver or kidney damage, reproductive impairment, birth defects, and disruption of the endocrine system; and

WHEREAS, infants, children, pregnant women, the elderly, and people with compromised immune systems and chemical sensitivities are especially vulnerable to pesticide effects and exposure; and

WHEREAS, pesticides are harmful to pets and wildlife, including threatened and endangered species, soil microbiology, plants, and natural ecosystems; and

WHEREAS, toxic runoff from chemical fertilizers and pesticides pollute streams, lakes, estuaries, and drinking water sources; and

WHEREAS, the use of pesticides is not necessary to create and maintain green lawns and landscapes given the availability of viable alternatives practices and products; and

WHEREAS, people have a right not to be involuntarily exposed to pesticides in the air, water or soil that inevitably result from chemical drift and contaminated runoff; and

WHEREAS, sustainable land and building management practices that emphasize non-chemical methods of pest prevention and management, and least-toxic pesticide use as a last resort, will eliminate the use of and exposure to pesticides while controlling pest populations; and

WHEREAS, sustainable land and building management practices complement other important goals of Orleans' maintenance and administration, such as energy conservation and security; and

WHEREAS, Orleans embraces a precautionary approach to the use of pesticides in order to adequately protect people and the environment from the harmful effects of pesticides; and

WHEREAS, application of chemicals simply for aesthetic/cosmetic purposes has harmful consequences for our ecosystem, children and pets. Pollinators are directly harmed by applications particularly the indiscriminate (and long-term ineffective) spraying of pesticides.

NOW THEREFORE, The Assembly of Delegates supports the Home Rule Petition by the Town of Orleans to reduce toxic pesticide use in and on public and private property in the Town of Orleans

in order to promote a healthy environment and to protect the public from the hazards of pesticides, and for implementation of sustainable land and building management practices on all public and private property.

The Assembly of Delegates adopted the foregoing Resolution No. 12 at its regular meeting on October 18, 2023 by a roll call vote with delegates representing 100.00% of the population of Barnstable County voting in the affirmative.

Attested by:

A stylized, handwritten signature in black ink that reads "Owen Fletcher". The letters are bold and connected, with a distinctive flourish at the end of the word "Fletcher".

Owen Fletcher, Clerk
Assembly of Delegates



50 Federal Street, 3rd floor
Boston MA 02110
(617) 423-5775
www.sierraclubmass.org

Re: Home Rule Petitions to Reduce Pesticide Use

February 20, 2024

The Massachusetts Chapter of the Sierra Club has long supported efforts to reduce pesticide exposure at the state and local levels.

Massachusetts General Laws Chapter 132B Section 5A requires the state “to reduce or eliminate, whenever possible, human or environmental exposures to chemical pesticides”, but this section has not been implemented in any measureable way since its passage in 2000.

For example, the Chapter has supported “An Act Empowering Towns And Cities To Protect Residents And The Environment From Harmful Pesticides” since its introduction. As this bill has not been passed, many cities and towns have recently initiated home rule petitions in order to have some local control over pesticide use in their communities. In particular, Cape communities must be vigilant in protecting its sole-source aquifer. The water supplies on the Cape are already threatened by multiple human sources of toxic chemicals, and pesticides should not be contributing to this ongoing contamination.

We commend the town of Orleans for leading efforts on managing outdoor, non-agricultural use of pesticides. Sierra Club research on Massachusetts data reveals that this application class, which is largely cosmetic, accounts for about 80% of all pesticide use by weight.

The Massachusetts Sierra Club strongly endorses the “Home Rule Petition for a Pesticide Reduction Bylaw” passed by Orleans Town Meeting in 2023 and similar action by other communities.

Respectfully,

Vick Mohanka

Mass. Sierra Club, Acting Chapter Director
vick.mohanka@sierraclub.org

1000 Freemans Way
Brewster, MA 02631
March 22, 2024

Mr. Ned Chatelain
Chair, Brewster Select Board
2189 Main Street
Brewster, MA 02631

Dear Mr. Chatelain,

I am writing to express my opposition to the proposed Pesticide Reduction Home Rule Petition, which effectively bans pesticide use at the Captains Golf Course. Captains has an extensive, documented history of environmental stewardship, placing great emphasis on protecting our natural resources, human health, and the aquifer. We provide recreational opportunities to members and guests alike, including golfers from all demographics. We have also seen record numbers of play, with an average of 90,000 rounds since 2020.

Captains operates in concert with the environment, and by the guidance of the Best Management Practices for Massachusetts Golf Courses. This HRP will place a ban on all synthetic pesticides, allowing only organic alternatives. However, these alternatives are not viable options when producing high quality playing surfaces, acceptable for modern golf standards. The claim that toxic runoff is polluting streams, lakes, and drinking water sources, is simply not true.

Captains has decades of water quality testing results that show pesticide levels have been consistently below levels of quantification; nitrates to groundwater are significantly below EPA thresholds. Nitrogen and phosphorous fertilizer rates have been reduced by 300%, in agreement with the Pleasant Bay Alliance and USGA recommendation. Application area has been reduced by 12.5% as well.

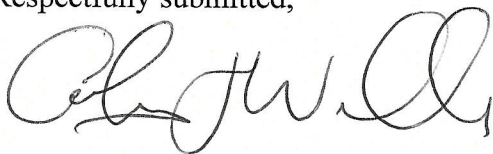
We have documented results of reduced water usage, with over 15% savings since 2021.

Products impacting pollinators have been eliminated from our IPM programs; in fact, over five acres of pollinator and monarch habitat have been established, with more planned. We are working towards certification with the Audubon Cooperative Sanctuary Program, a leading authority on environmental stewardship.

Finally, the Town approved the purchase of three GPS-guided sprayers, an investment of over \$350,000. With these sprayers, applied acreage was reduced by over 11 acres, or 16.5%. We now apply our plant protectants exactly where we want them, avoiding any unwanted overspray.

In closing, I oppose this Pesticide Reduction Home Rule Petition, as it places undue restrictions on how we will manage Captains Golf Course. We are environmental stewards, and we are protecting the precious resources of Cape Cod. Please stand with Captains and oppose this HRP.

Respectfully submitted,



Colin J. Walsh

Golf Course Superintendent



**Cape Cod National
Golf Club**

March 23, 2024

Mr. Ned Chatelain
Chair, Brewster Select Board
2189 Main Street
Brewster, MA 02631

RE: Proposed Pesticide Reduction Home Rule Petition

Dear Mr. Chatelain,

I am writing to express my concerns about the proposed Pesticide Reduction Home Rule Petition (HRP) and its potential impact on Cape Cod National Golf Club (CCNGG) and the town of Brewster as a whole.

First, I would like to highlight golf's significant economic contribution to the Town. With over 125,000 rounds played annually across the three facilities in Brewster, golf is a recreation hub and a vital economic driver. CCNGC, Ocean Edge, and The Captains rely on golf based revenue to generate large financial benefits for the town through jobs, taxes, and associated spending. It seems that the success of the town's golf courses is intertwined with Brewster's overall prosperity. However, the proposed HRP, modeled after the Town of Orleans' HRP, presents challenges to golf course operators that were not adequately considered likely because Orleans does not have any golf courses.

It is essential to understand that golf course operators view themselves as stewards of the land and work to enhance the positive impacts of our facilities while mitigating the potentially negative ones. For example, at CCNGC, we have reduced pesticide applications by 18% with an investment in GPS sprayers, eliminated 15 acres of maintained turf, which resulted in significant reductions in water, nitrogen, and pesticide usage, and eliminated the use of chemicals such as Merritt and Round Up due to their potential environmental harm. These steps were taken voluntarily as part of an Integrated Pest Management plan that aims to maintain turf health with limited reliance on fertilizers and pesticides.

While we are committed to environmental stewardship and reducing pesticide usage, the proposed HRP imposes restrictions that threaten our ability to operate and thrive. We have built our business on providing the conditions expected in the modern golf environment, and these blanket restrictions do not consider the nuanced approach that responsible operators such as CCNGC have already undertaken.

I urge the Brewster Select Board to reconsider the proposed Pesticide Reduction Home Rule Petition in its current form, as failure to do so could have severe unintended consequences. Should the Select Board wish to explore this topic further, we recommend developing a plan that works for Brewster as a whole rather than adopting a plan designed for a different town and their differing circumstances.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Michael Walker".

Michael Walker
President & General Manager
Cape Cod National Golf Club
mwalker@ccngolf.org

Archived: Monday, March 25, 2024 8:28:58 AM

From: [h curtin](#)

Sent: Sunday, March 24, 2024 11:49:17 AM

To: [townmanager](#)

Subject: Ocean Edge Golf Course

Importance: Normal

Sensitivity: None

To: Town of Brewster Selectmen

As a fulltime resident of Cape Cod, as the Chair of the Ocean Edge member Golf Committee and as a passionate believer in safeguarding the Cape's ecosystems I am reaching out in support the initiative brought to you by Ocean Edge Resort, that they be allowed to continue the use of pesticide treatments on the golf course.

Our golf member group fully supports the arguments made that Ocean Edge be included within the commercial agriculture and nurseries exemptions.

Thank you for your attention,

Howard Curtin



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**Cape Cod National
Golf Club**

March 24, 2024

Mr. Ned Chatelain
Chair, Brewster Select Board
2189 Main Street
Brewster, MA 02631

RE: Proposed Pesticide Reduction Home Rule Petition

Dear Mr. Chatelain,

My name is Eric Strzepek, and I have been honored to serve as the Superintendent of Cape Cod National Golf Club (CCNGC) for the past twelve years. I am writing to express my opposition to the Pesticide Reduction Home Rule Petition (HRP) proposed by the Natural Resources Advisory Commission. The proposed HRP is modeled after one adopted by the Town of Orleans; a town that does not have a single golf course. While this HRP may work for Orleans, it fails to consider the needs of the Town of Brewster and the four golf courses within the town.

Contrary to common misconceptions, maintaining high-quality turf does not necessitate heavy pesticide usage, provided a well-designed Integrated Pest Management Plan is in use. CCNGC's plan is designed to create the best golfing conditions through multiple cultural practices and only resorts to using chemicals when absolutely necessary. When we do choose to deploy pesticides, all purchases and applications are made by licensed pesticide purchasers and applicators who must continuously educate themselves on the most current best practices to maintain their licenses. This stands in stark contrast to the average homeowner, who may apply pesticides without proper training or oversight.

Beyond our documented responsible use of pesticides, CCNGC has taken on several other environmentally friendly initiatives aimed at preserving our community's environmental heritage. These include voluntarily reducing nitrogen use, suspending the

use of neonicotinoids & Round-Up, and adding wildflower "pollinator gardens." We have invested in GPS sprayers, which have lowered pesticide usage by 18% while ensuring that chemicals are never sprayed in areas where we do not want them. We have replaced 15 acres of maintained turf with native grasses, a transition that garnered recognition from the United States Golf Association. These native grass areas are devoid of fertilizers and water and require only very minimal pesticides when compared to maintained turf. All of these initiatives have been taken on as part of a voluntary campaign to enhance the ecological integrity of our property.

I urge the Select Board to consider the long-term implications of adopting an HRP that does not take into account the needs of the town's golf courses. By endorsing sustainable practices and investing in environmentally friendly alternatives, we can safeguard Cape Cod's natural beauty and recreational opportunities for future generations without adopting a heavy-handed plan designed for a different community.

Respectfully submitted,

Eric Strzepek
Superintendent
Cape Cod National Golf Club
estrzepek@ccngolf.org



MANAGEMENT | DEVELOPMENT | MARKETING

To Whom It May Concern,

Troon Golf, L.L.C., as manager of, and on behalf of, Ocean Edge Resort and Golf Club, opposes the current version of the Petition for a Pesticide Reduction Bylaw (the "Petition"). For the reasons discussed below, we firmly advocate for the inclusion of golf courses within the "Exceptions" clause of the Bylaw, akin to commercial farming and nurseries. The proposed restrictions in the Petition would severely hamper our operations in the Town of Brewster.

First and foremost, it is important to acknowledge that Golf courses are already permitted and regulated federally by the EPA and within the State of Massachusetts by the DEP. Safety regulations are meticulously crafted and enforced by these agencies and we believe it best to continue that practice and leave such matters to the experts in those agencies and fields of science.

The Petition, unfortunately, does not appear to be based on scientific foundation or the research of experts in the industry. Instead it relies on generalized and unsubstantiated assumptions regarding pesticides and their, wrongfully assumed, irresponsible usage by professional golf course applicators. Such assumptions concerning human and ecological risks lack scientific foundation and contradict established EPA and state regulatory decisions. We urge the board and community members to fully research the rigorous regulatory framework governing modern pesticides' use on regulated golf courses before making a determination in the Petition that could negatively affect businesses within the Town.

Pesticides used in regulated golf courses undergo extensive scrutiny, testing, and regulation, surpassing standards applied to consumables, cosmetics, pharmaceuticals, and household substances. EPA environmental scientists and toxicologists dedicate years to evaluating these chemicals to ensure they pose no harm when used as directed. Risk assessment is integral to pesticide product development and regulatory review, akin to evaluations for bridge and highway design, pharmaceuticals, and innumerable consumer goods. The regulatory bodies only approve pesticides for market placement after thorough testing and evaluation shows they do not pose unacceptable risks to the public. Once approved, these products require re-registration about every 10 years using the most up-to-date metrics and methodologies around human and ecological safety parameters. Broad-brushing safety risks of pesticides based on perceptions and risks associated with chemicals used in the 1950's (i.e. DDT, heavy metals, arsenic-based products etc.) is like comparing the technology and capabilities of a rotary phone to an iPhone.

Just as we trust scientific and regulatory authorities in matters of drugs, vaccines, and other medical advancements, similar trust should extend to crop and plant protection products (i.e., pesticides), which adhere to the highest safety standards. The benefits of pesticides are often overlooked until their absence leads to unmanageable issues such as weed overgrowth, disease outbreaks, and pest infestations. Such issues can then give rise to subsequent ecological, economical, and recreational problems such as loss of revenues and property values, inadequate or dangerous playing fields, increased allergies and invasive species, and aesthetic decline of desirable greenspaces to name a few.

Professional applicators judiciously use pesticides to maintain the health of food crops, ornamental plantings, and turfgrass/landscape areas. Dismissing the work of such professionals and claiming that these expensive products are indiscriminately applied to broad swaths of land unnecessarily is unfounded. Professional applicators take their jobs seriously and respect the products and the land in which they are applied, the business for which they operate, and the customers of those businesses.

Based on the foregoing, we advocate against adopting the Petition for a Pesticide Reduction Bylaw in its current form. At a minimum, Golf Courses should be included as “Exemptions”, aligning with exceptions granted to commercial farming and nurseries.

Regards,

Troon Golf, L.L.C.

James J. Ritorto

James J. Ritorto

Regional Director of Agronomy, Troon

Archived: Monday, March 25, 2024 9:57:11 AM

From: [Peter Lombardi](#)

Sent: Mon, 25 Mar 2024 13:51:56

To: [Select Board](#)

Cc: [Erika Mawn](#)

Subject: FW: Review of language of Pesticide Reduction Bylaw

Importance: Normal

Sensitivity: None

Attachments:

[KP-#910374-v2-BREW_Pesticide_Bylaw_w_KP_Edits.DOCX](#)  [1804.pdf](#)  [2448.pdf](#) 

Good morning,

Please see below and attached from town counsel regarding the pesticide reduction HRP.

Peter

Peter Lombardi

Town Manager

Town of Brewster

508-896-3701 x. 1128

Brewster Town Offices are open to the public Monday through Thursday from 8:30am to 4:00pm, and by appointment on Fridays.

From: Jonathan G. Murray <JMurray@k-plaw.com>

Sent: Monday, March 25, 2024 9:42 AM

To: Peter Lombardi <plombardi@brewster-ma.gov>

Cc: Lauren F. Goldberg <LGoldberg@k-plaw.com>; Keelin B. Ciccariello <kciccariello@k-plaw.com>

Subject: RE: Review of language of Pesticide Reduction Bylaw

Peter,

Please find attached our comments and suggestions. However, as a general comment, I have serious concerns about the structure and enforceability of the proposed bylaw language. As an alternative, and if the Town is still interested in seeking permission from the Legislature to regulate pesticides, the Home Rule Petition could simply seek the authorization to regulate pesticides, notwithstanding the provisions of G.L. c. 132B, instead of specifically incorporating bylaw language. That way, the Town could develop a bylaw consistent with local needs after the Legislature grants the exemption via Home Rule Petition. The attached bills pending in the Legislature regarding Arlington and Newton are consistent with this later approach.

Happy to discuss further, please feel free to give me a call. If you have any further questions or concerns, please do not hesitate to contact me.

Thank you,

Jonathan Murray

Jonathan G. Murray, Esq.

KP | LAW

101 Arch Street, 12th Floor

Boston, MA 02110

O: (617) 654 1748

F: (617) 654 1735

JMurray@k-plaw.com
www.k-plaw.com

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From: Peter Lombardi <plombardi@brewster-ma.gov>
Sent: Tuesday, March 19, 2024 3:32 PM
To: Jonathan G. Murray <JMurray@k-plaw.com>
Cc: Lauren F. Goldberg <LGoldberg@k-plaw.com>
Subject: FW: Review of language of Pesticide Reduction Bylaw

Jonathan,
Please see attached comments & questions about this proposed bylaw. I would ask that you focus on their comments/questions relative to Sections 4-8. Specifically, Sections 4.2, 6A(6), 6B, 6C, and 8.
Thanks,
Peter

Peter Lombardi
Town Manager
Town of Brewster
508-896-3701 x. 1128

Brewster Town Offices are open to the public Monday through Thursday from 8:30am to 4:00pm, and by appointment on Fridays.

ARTICLE 24. HOME RULE PETITION FOR A PESTICIDE REDUCTION BYLAW

To see if the Town will vote to authorize and direct the Select Board to petition the Great and General Court of the Commonwealth of Massachusetts for special legislation, authorizing the Town to adopt a Pesticide Reduction Bylaw (the bylaw), the text of which is set forth below, and to authorize the General Court, with the approval of the Select Board, to make changes of form to the text thereto as may be necessary or advisable in order to accomplish the intent and public purpose of this legislation in order to secure passage; and vote to adopt the bylaw as follows:

CHAPTER ____ PESTICIDE REDUCTION BYLAW

§1. Purpose.

The purpose of this bylaw is to reduce toxic pesticide use in and on public and private property in the Town of [Orleans-Brewster](#) in order to promote a healthy environment and to protect the public from the hazards of pesticides, and for implementation of sustainable land and building management practices on all public and private property.

§2. Findings.

- A. Scientific studies associate exposure to pesticides with asthma, cancer, developmental and learning disabilities, nerve and immune system damage, liver or kidney damage, reproductive impairment, birth defects, and disruption of the endocrine system.
- B. Infants, children, pregnant women, the elderly, and people with compromised immune systems and chemical sensitivities are especially vulnerable to pesticide effects and exposure.
- C. Pesticides are harmful to pets and wildlife, including threatened and endangered species, soil microbiology, plants, and natural ecosystems.
- D. Toxic runoff from chemical fertilizers and pesticides pollute s streams, lakes, estuaries, and drinking water sources.
- E. The use of pesticides is not necessary to create and maintain green lawns and landscapes given the availability of viable alternatives practices and products.
- F. People should have a right not to be involuntarily exposed to pesticides in the air, water or soil that inevitably result from chemical drift and contaminated runoff.
- G. Sustainable land and building management practices that emphasize non-chemical methods of pest prevention and management, and least-toxic pesticide use as a last resort, will ~~eliminate~~ minimize the use of and exposure to pesticides while controlling pest populations.

Commented [A1]: For clarify, you may wish to clarify that these are general findings, and not specific findings as it relates to Brewster.

H. Sustainable land and building management practices complement other important goals of Orleans-Brewster's maintenance and administration, such as energy conservation and security.

I. Orleans-Brewster embraces a precautionary approach to the use of pesticides in order to adequately protect people and the environment from the harmful effects of pesticides.

Commented [A2]: Would this be an accurate statement of the Town's policy approach to the use of pesticides?

J. Application of chemicals simply for aesthetic/cosmetic purposes has harmful consequences for our ecosystem, children and pets. Pollinators are directly harmed by applications particularly the indiscriminate (and long-term ineffective) spraying of pesticides.

§3. Authority.

This bylaw is adopted under authority granted by the Home Rule amendment to the Massachusetts Constitution and the provisions of any Special Legislation passed by the Legislature.

§4. Definitions.

For the purposes of this bylaw, the following definitions shall apply:

Allowed Materials List - The list of acceptable pesticides is limited to the following:

- 1) All non-synthetic (natural) materials, with the exception of prohibited non-synthetic materials under 7 CFR 205.602;
- 2) Any synthetic material listed at 7 CFR 205.601 that is labeled for turf uses, subject to discretionary authority to require disclosure of inert ingredients; and
- 3) 25b listed pesticides under the Federal Insecticide, Fungicide and Rodenticide Act (FIFRA).

Commented [A3]: This section of the code does not reference turf uses. Is the intent that any synthetic materials listed in this section of the code are acceptable for turf uses only?

Commented [A4]: Who's discretionary authority, the Town Manager?

Inert ingredient - Any substance (or group of substances with similar chemical structures if designated by the Environmental Protection Agency) (EPA) other than an active ingredient that is intentionally included in any pesticide product (40 CFR 152.3(m)) [7 CFR 205.2 Terms defined.], and are not classified by the EPA Administrator as inserts of toxicological concern. [7 U.S.C. 6502(21) Definitions]

Commented [A5]: Unclear what this last sentence is referring to. This citation references the definition for "State Organic Certification Program"

Non-synthetic (natural) materials - A substance that is derived from mineral, plant, or animal matter and does not undergo a synthetic process as defined in section 6502(21) of the Organic Foods Production Act. For the purposes of this part, 'non-synthetic' is used as a synonym for natural as the term is used in the regulations. [7 CFR 205.2 Terms defined.]

Commented [A6]: Is "this part" this particular definition or the whole document?

Pesticide — Any substance or mixture of substances intended for: (i) preventing, destroying, repelling, or mitigating any pest; (ii) use as a plant regulator, defoliant, or desiccant; or (iii) use as a spray adjuvant such as a wetting agent or adhesive. The term

'pesticide' includes insecticides, herbicides, fungicides, and rodenticides, but does not include cleaning products other than those that contain pesticidal agents.

Synthetic materials - A substance that is formulated or manufactured by a chemical process or by a process that chemically changes a substance extracted from naturally occurring plant, animal, or mineral sources, except that such term shall not apply to substances created by naturally occurring biological processes. [7 [CFR 205.2 Terms defined_U.S.C. 6502\(21\) Definitions](#)]

§5. Prohibitions.

The application of any Pesticide that is not on the Allowed Material List is prohibited, except as permitted in this bylaw.

§6. Exceptions.

A. The application of the following Pesticides is allowed:

1. Indoor pest sprays and insect baits (excluding rodent baits)
2. Insect repellants for personal and household use
3. Pet: Flea and tick sprays, powders, and pet collars
4. Kitchen, laundry, and bath disinfectants and sanitizer
5. Products labeled primarily to kill mold and mildew
6. Usage for commercial farming and nurseries.

B. Pesticides for the treatment of invasive plants for ecological restoration (see Massachusetts Invasive Plant Advisory Group current lists of Invasive, Likely Invasive, and Potentially Invasive <https://www.massnrc.org/mipag/>) may be used upon the grant of a waiver by the Town Manager or authorized designee, unless otherwise permitted by the [Brewster Conservation Commission](#).

Commented [A7]: Indoor use of rodent baits will be difficult to police.

Commented [A8]: This is a list of pesticides that are allowed, but this is a use not a pesticide. Is the intent that any pesticides (allowed under state/federal) are exempted if used in this manner?

Commented [A9]: What about "hobby" farms?

Commented [A10]: This may be onerous, as most ConComm meetings deal with an application for invasive plant treatment. See suggested added language.

C. If an emergency public health situation warrants the use of Pesticides, which would otherwise not be permitted under this bylaw, the Town Manager or authorized designee shall have the authority to grant a temporary waiver on a case-by-case basis after an evaluation of all alternative methods and materials.

Commented [A11]: Recommend that this be specifically defined.

D. The Cape Cod Mosquito Control Project is exempted from this Bylaw.

§7. Enforcement.

The enforcement authority shall be the Town Manager, or any town officials as designated by the Select Board to oversee and enforce the provisions of this bylaw.

§8. Penalties.

As an alternative to initiating criminal proceedings, this Bylaw may be enforced by non-criminal disposition pursuant to G.L. c. 40 § 21D. Any person who violates any provision of this bylaw shall be punished by a fine of one hundred dollars (\$100.00) for the first offense and three hundred dollars (\$300.00) for each offense thereafter. Each day or portion thereof during which a violation continues shall constitute a separate offense and a violation of each provision of the bylaw shall constitute a separate offense.

If the offender is a commercial applicator, the right to do business in Orleans-Brewster may be revoked.

Commented [A12]: In my opinion, this section is problematic. The “right to do business” is extremely vague, and may violate many statutory schemes. Just as one example, if a business is conducted pursuant to a special permit granted under the Zoning Bylaws, the Town is required to enforce via G.L. c. 40A, s. 7, and cannot invoke this general bylaw provision to “revoke” the owner’s right to do business.

§9. Severability.

The provisions of this bylaw are hereby declared to be severable. If any provision, paragraph, sentence, or clause of this bylaw or the application thereof to any person, establishment, or circumstances shall be held invalid, such invalidity shall not affect the other provisions or application of this bylaw.

Even if there was not the issue above, revoking any right requires due process, and this provision does not specify a hearing procedure, criteria, or appeal remedy to an aggrieved owner.

Provided, that this bylaw is subject to the Town obtaining special legislation from the Great and General Court of the Commonwealth of Massachusetts authorizing the Pesticide Reduction Bylaw as aforesaid; or to take any other action relative thereto. (Select Board)

(Simple Majority Vote Required)

PROPOSED MOTION

I move this article be accepted and adopted as printed in the warrant and that the Select Board be authorized to petition the Great and General Court for special legislation as set forth therein and that the Pesticide Reduction Bylaw be adopted subject to the approval of the special legislation.

SUMMARY

The article authorizes the Select Board to file special legislation authorizing the adoption of the proposed bylaw as the application of pesticides in ~~Orleans-Brewster~~ is currently primarily regulated by state and federal law. This article also proposes the adoption of a bylaw that seeks to reduce toxic pesticide use in and on public and private property in order to promote a healthy environment and to protect the public from the hazards of pesticide use. It does not prohibit businesses from selling products containing pesticides to anyone.

SB: – YES – NO – ABSTAIN
FC: – YES – NO – ABSTAIN

Commented [A13]: If the special legislation is passed with the language of the bylaw incorporated you would not then want to pass a bylaw. The confusion would be that the bylaw could not be amended pursuant to the usual procedures for amending bylaws because it would conflict with the special act. However, one could see how not including a bylaw on the matter would be an issue in the sense that the public may not know to look beyond the Bylaws for guidance on these restrictions. Consider whether the Town would rather seek a home rule petition that does not incorporate the full language of the bylaw and just include generic language about authority to reduce pesticide use. If the special legislation is passed then the Town would not only have the authority to pass the bylaw but also to amend it in the future.

HOUSE No. 804

The Commonwealth of Massachusetts

PRESENTED BY:

Sean Garballey and Cindy F. Friedman

To the Honorable Senate and House of Representatives of the Commonwealth of Massachusetts in General Court assembled:

The undersigned legislators and/or citizens respectfully petition for the adoption of the accompanying bill:

An Act authorizing the town of Arlington to prohibit use of second generation anti-coagulant rodenticides by commercial pesticide applicators.

PETITION OF:

NAME:	DISTRICT/ADDRESS:	DATE ADDED:
<i>Sean Garballey</i>	<i>23rd Middlesex</i>	<i>1/10/2023</i>
<i>Cindy F. Friedman</i>	<i>Fourth Middlesex</i>	<i>1/11/2023</i>
<i>David M. Rogers</i>	<i>24th Middlesex</i>	<i>1/17/2023</i>
<i>Michelle L. Ciccolo</i>	<i>15th Middlesex</i>	<i>4/10/2023</i>

HOUSE No. 804

By Representative Garballey of Arlington and Senator Friedman, a joint petition (accompanied by bill, House, No. 804) of Sean Garballey, Cindy F. Friedman and David M. Rogers (by vote of the town) that the town of Arlington be authorized to prohibit use of second generation anti-coagulant rodenticides by commercial pesticide applicators in said town. Environment and Natural Resources. [Local Approval Received.]

[SIMILAR MATTER FILED IN PREVIOUS SESSION
SEE HOUSE, NO. 5431 OF 2021-2022.]

The Commonwealth of Massachusetts

**In the One Hundred and Ninety-Third General Court
(2023-2024)**

An Act authorizing the town of Arlington to prohibit use of second generation anti-coagulant rodenticides by commercial pesticide applicators.

Be it enacted by the Senate and House of Representatives in General Court assembled, and by the authority of the same, as follows:

1 SECTION 1. Notwithstanding chapter 132B of the General Laws or any other general or
2 special law to the contrary, the town of Arlington may regulate through local bylaw or board of
3 health regulation or ordinance the use of second generation anti-coagulant rodenticides within
4 the town of Arlington, including prohibiting the use of such pesticides by licensed commercial
5 applicators as defined in 333 C.M.R. 10.00.

6 SECTION 2. This act shall take effect upon its passage.

SENATE No. 2448

The Commonwealth of Massachusetts

PRESENTED BY:

Cynthia Stone Creem

To the Honorable Senate and House of Representatives of the Commonwealth of Massachusetts in General Court assembled:

The undersigned legislators and/or citizens respectfully petition for the adoption of the accompanying bill:

An Act authorizing the City of Newton to prohibit the application of second generation anti-coagulant rodenticides within its borders.

PETITION OF:

NAME:	DISTRICT/ADDRESS:
<i>Cynthia Stone Creem</i>	<i>Norfolk and Middlesex</i>
<i>Ruth B. Balsler</i>	<i>12th Middlesex</i>
<i>Kay Khan</i>	<i>11th Middlesex</i>
<i>John J. Lawn, Jr.</i>	<i>10th Middlesex</i>

SENATE No. 2448

By Ms. Creem, a petition (accompanied by bill, Senate, No. 2448) of Cynthia Stone Creem, Ruth B. Balsler, Kay Khan and John J. Lawn, Jr. (with approval of the mayor and city council) for legislation to authorize the City of Newton to prohibit the application of second generation anti-coagulant rodenticides within its borders. Environment and Natural Resources. [Local Approval Received.]

The Commonwealth of Massachusetts

**In the One Hundred and Ninety-Third General Court
(2023-2024)**

An Act authorizing the City of Newton to prohibit the application of second generation anti-coagulant rodenticides within its borders.

Be it enacted by the Senate and House of Representatives in General Court assembled, and by the authority of the same, as follows:

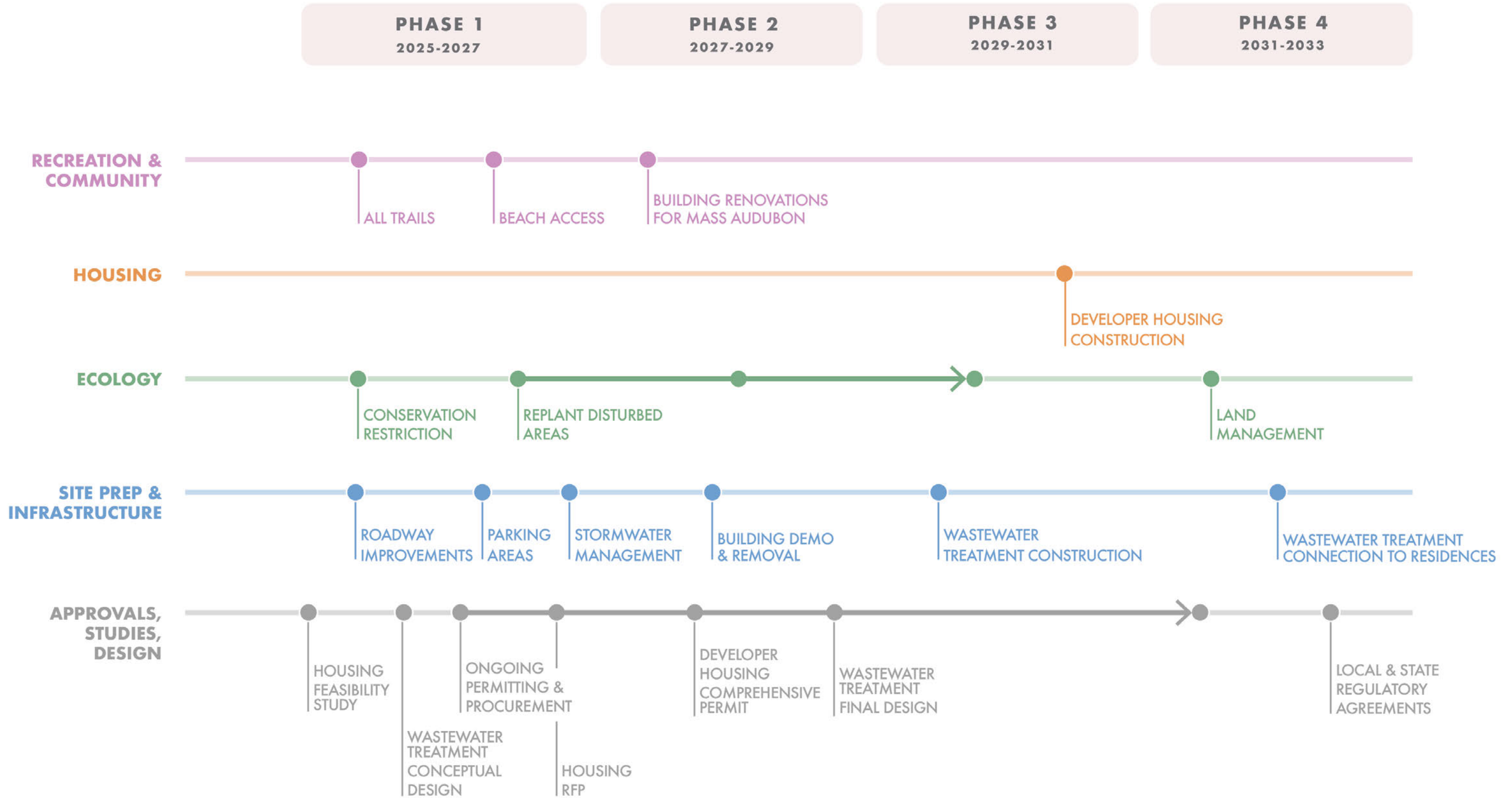
1 SECTION 1. Notwithstanding chapter 132B of the general laws or any other general or
2 special law to the contrary, the City of Newton may by ordinance prohibit the application of
3 second generation anti-coagulant rodenticides within the City of Newton, including application
4 of such pesticides by licensed commercial applicators as defined in 333 C.M.R. 10.00.

5 SECTION 2. This act shall take effect upon its passage.

POND PROPERTY PHASING

POND PROPERTY DRAFT PHASING

Target 2025 - 2033



POND PROPERTY DRAFT PHASING

Phase 1 (Target 2025-2027)

APPROVALS, STUDIES, DESIGN

Wastewater Infrastructure Conceptual Design

Community Housing Feasibility Study

Ongoing permitting and procurement

Housing RFP

SITE PREP & INFRASTRUCTURE

Improved gravel drive

Parking areas, ADA Parking and Drop off Zone

Required Infrastructure including stormwater management, as needed

HOUSING

RECREATION & COMMUNITY USE

Trail improvements, new trails, ADA accessible path

Beach and related amenities

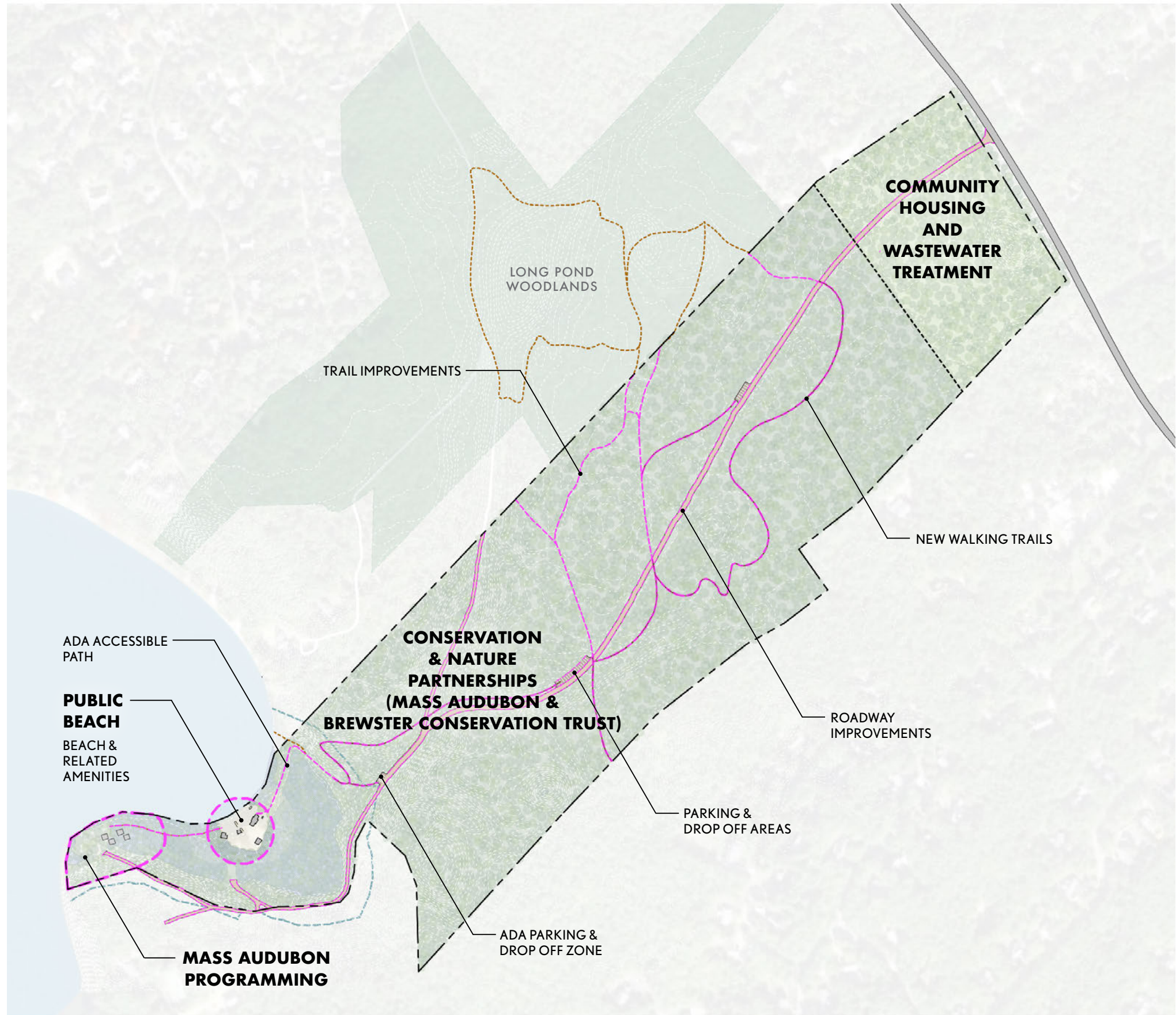
ECOLOGY

Conservation Restriction

Replant disturbed areas

PHASE 1 TOTAL COST:

\$2,300,000



POND PROPERTY DRAFT PHASING

Phase 2 (Target 2027-2029)

APPROVALS, STUDIES, DESIGN

Developer Housing Design & Comprehensive Permit

Wastewater Treatment final design

Ongoing permitting and procurement

SITE PREP & INFRASTRUCTURE

Building Demo & Removal

HOUSING

RECREATION & COMMUNITY USE

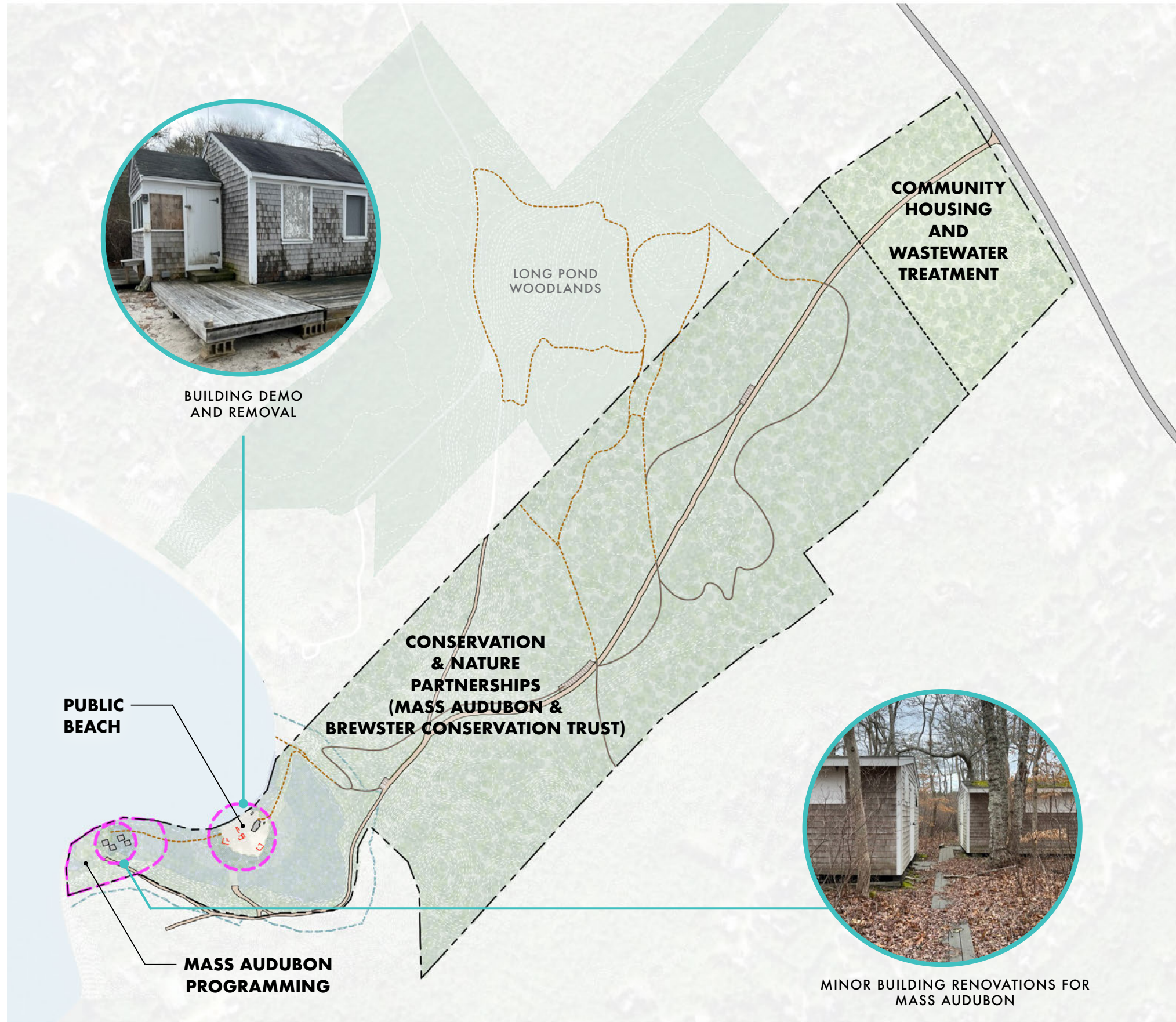
Minor building renovations for Mass Audubon

ECOLOGY

Replant disturbed areas

PHASE 2 TOTAL COST:

\$500,000



POND PROPERTY DRAFT PHASING

Phase 3 (Target 2029-2031)

APPROVALS, STUDIES, DESIGN

Ongoing permitting and procurement

SITE PREP & INFRASTRUCTURE

Wastewater Treatment Construction

HOUSING

Developer Housing Construction

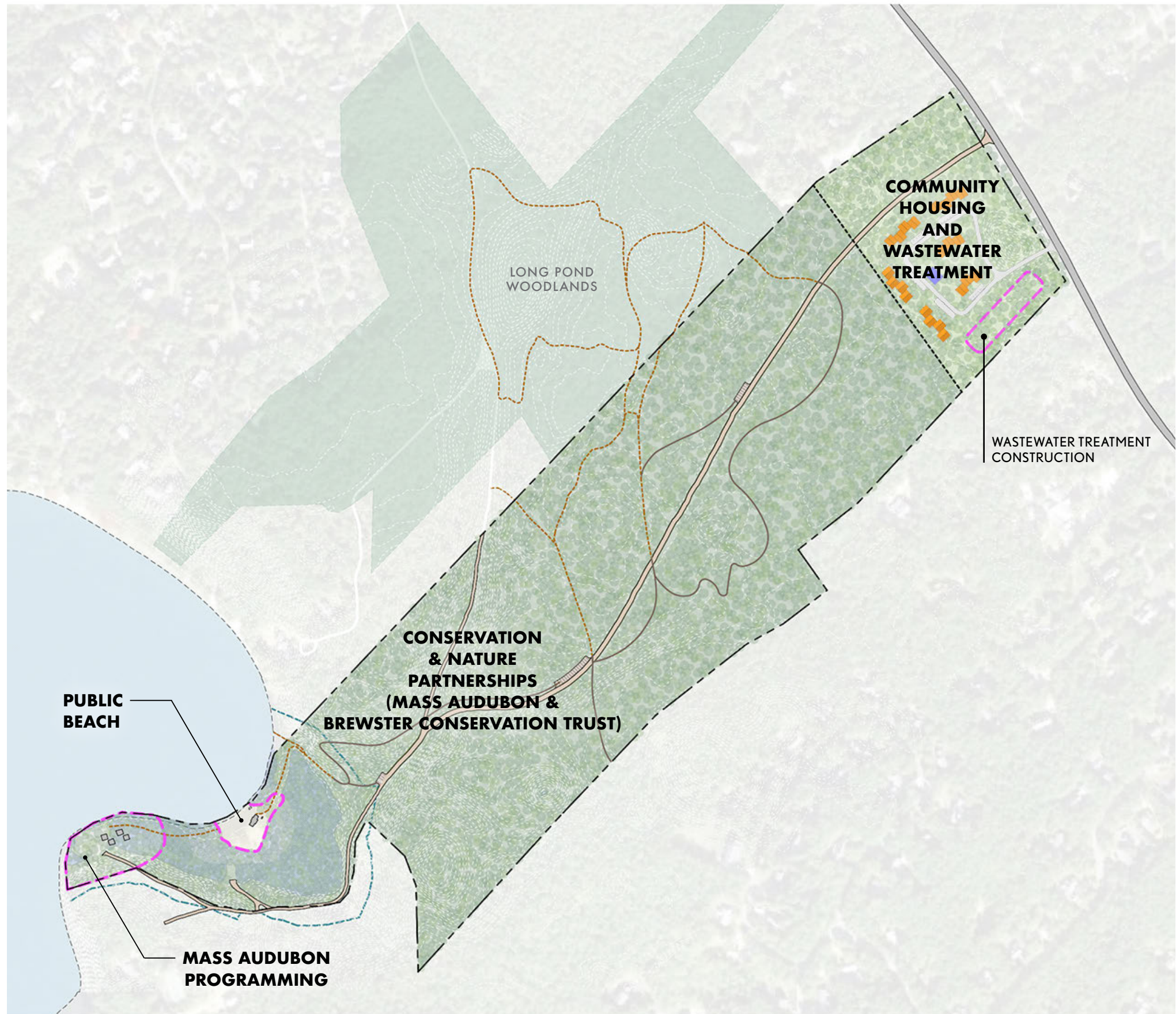
RECREATION & COMMUNITY USE

ECOLOGY

Replant disturbed areas

PHASE 3 TOTAL COST:

\$4,500,000



POND PROPERTY DRAFT PHASING

Phase 4 (Target 2031-2033)

APPROVALS, STUDIES, DESIGN

Ongoing permitting and procurement

Local and state regulatory agreements

SITE PREP & INFRASTRUCTURE

Wastewater Treatment Connection to Surrounding Residences (TBD)

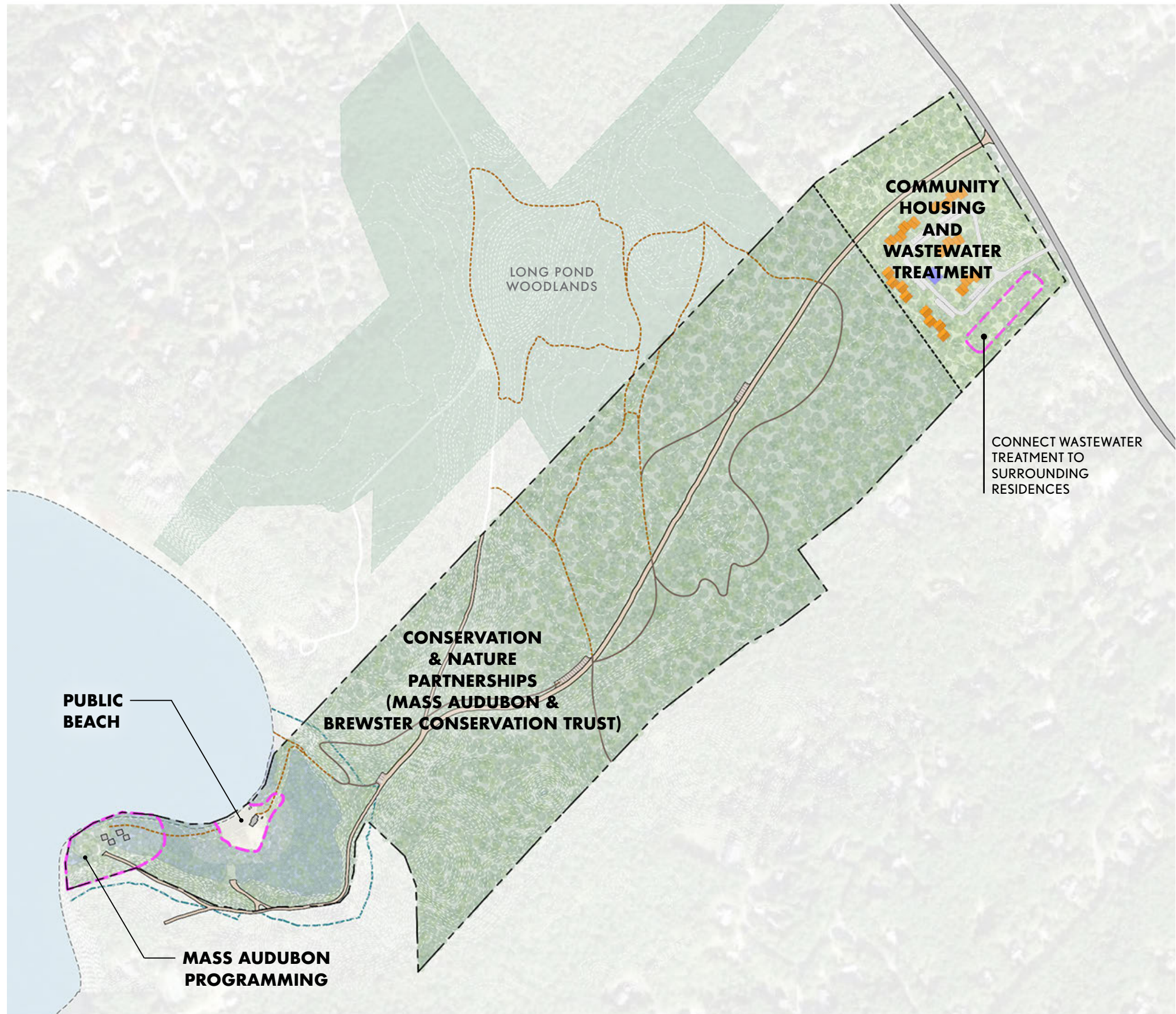
HOUSING

RECREATION & COMMUNITY USE

ECOLOGY

Land management

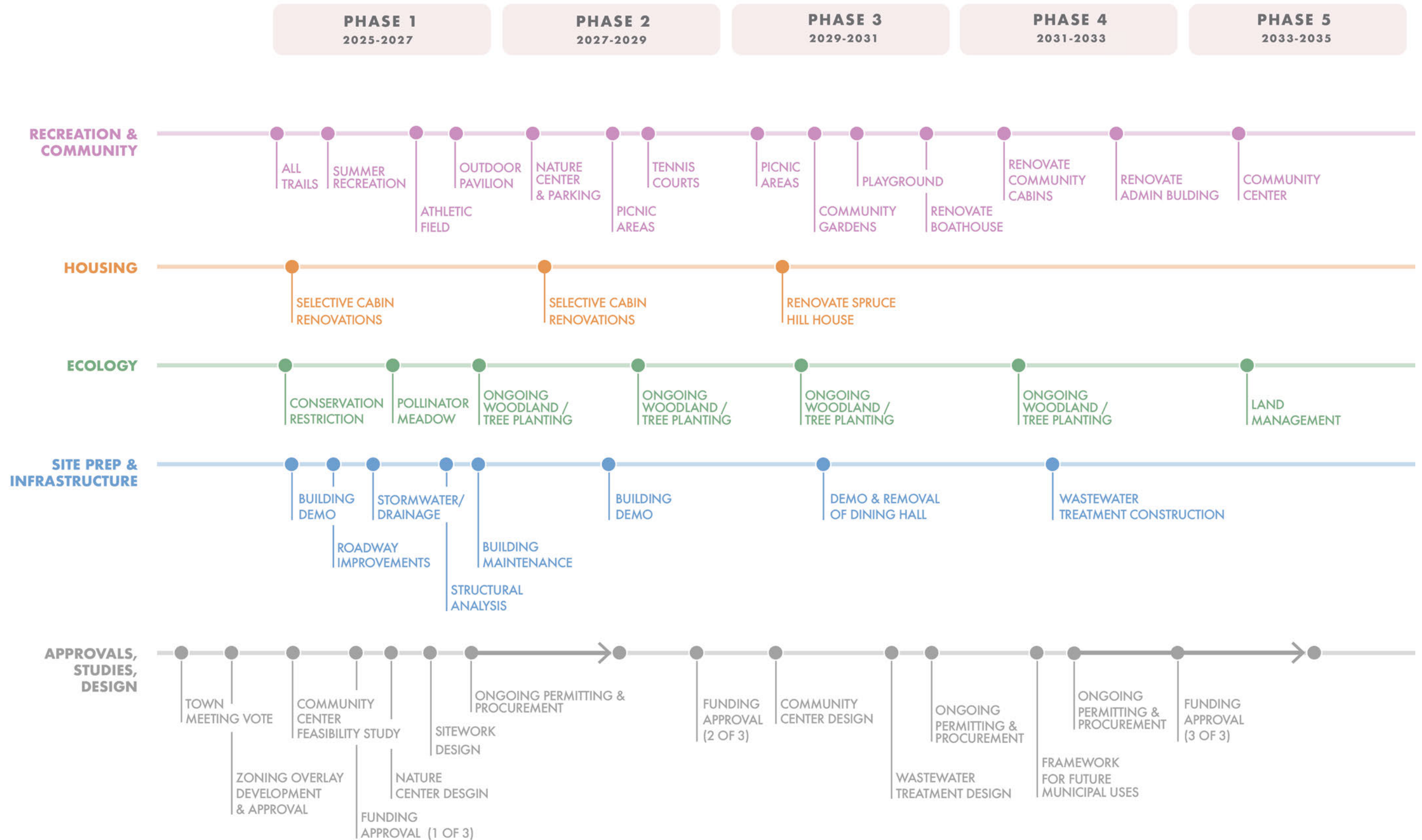
PHASE 4 TOTAL COST:
\$TBD



BAY PROPERTY PHASING

BAY PROPERTY DRAFT PHASING

Target 2025 - 2033



BAY PROPERTY DRAFT PHASING

Phase 1 (Target 2025-2027)

APPROVALS, STUDIES, DESIGN

- Zoning Overlay Development & Approval
- Funding approval (1 of 3)
- Ongoing permitting and procurement
- Community Center feasibility study
- Nature Center Design
- Sitework Design (Trails, parking)

SITE PREP & INFRASTRUCTURE

- Building Demo & Removal set 1
- Required Infrastructure including stormwater management
- Roadway improvements
- Building structural Analysis
- Maintenance of existing buildings

RECREATION & COMMUNITY USE

- All trails, shared use path, fitness loop
- Athletic field/ flexible open space
- Renovate outdoor pavilion
- Summer Recreation Program moves to the Bay Property

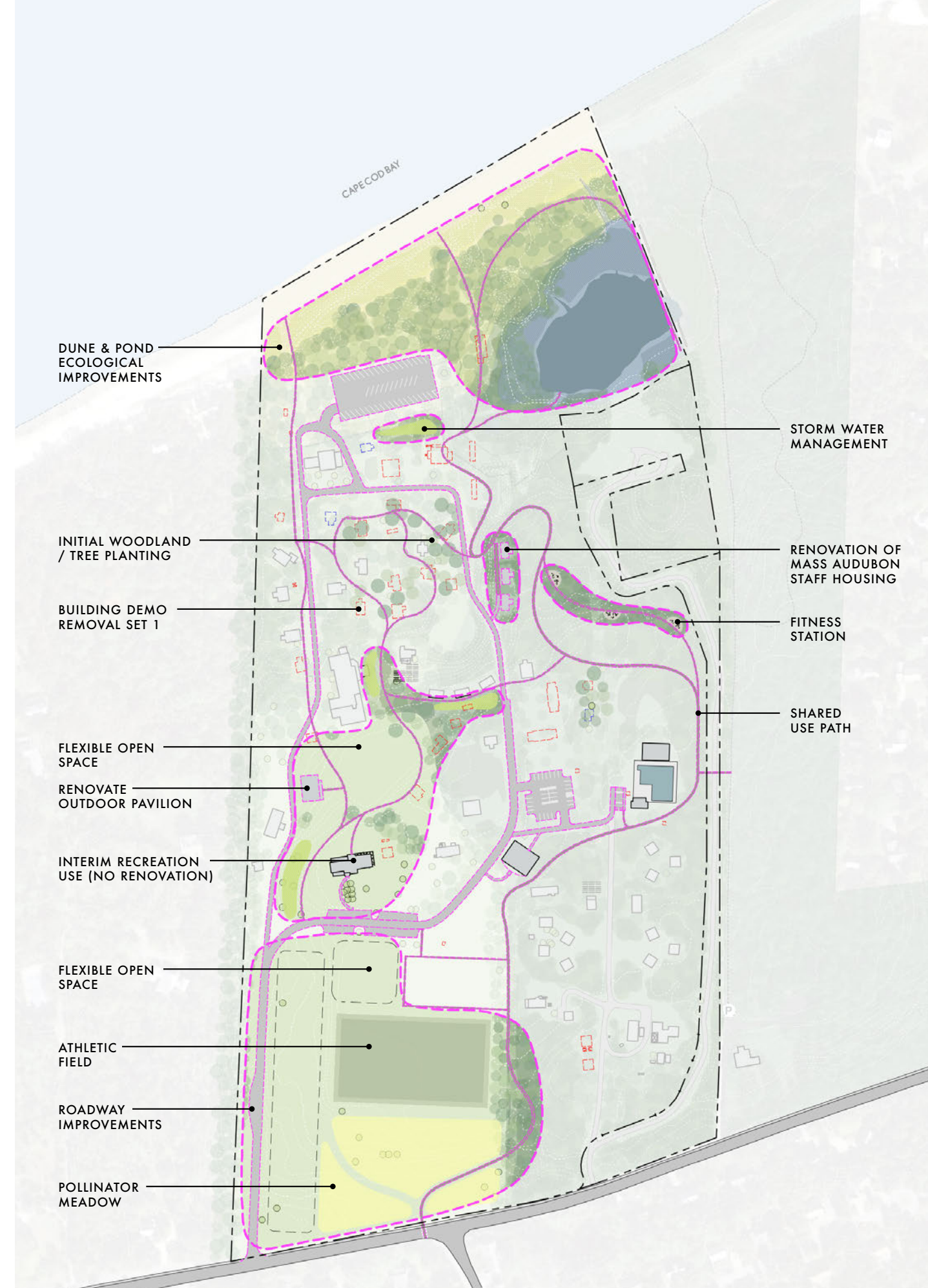
HOUSING

- Selective housing renovation of existing buildings

ECOLOGY

- Conservation Restriction
- Pollinator Meadow and dune restoration
- Initial woodland/ tree planting

**PHASE 1 TOTAL COST:
\$8,300,000**



BAY PROPERTY DRAFT PHASING

Phase 2 (Target 2027-2029)

APPROVALS, STUDIES, DESIGN

Ongoing permitting and procurement
Funding approval (2 of 3)

SITE PREP & INFRASTRUCTURE

Building Demo & Removal set 2

RECREATION & COMMUNITY USE

Nature Center and parking
Picnic areas
Tennis courts

HOUSING

Selective housing renovation of existing buildings

ECOLOGY

Ongoing woodland/tree planting

PHASE 2 TOTAL COST:
\$5,400,000



BAY PROPERTY DRAFT PHASING

Phase 3 (Target 2029-2031)

APPROVALS, STUDIES, DESIGN

Ongoing permitting and procurement

Community Center Design (if applicable)

Design for Wastewater Treatment Plant

SITE PREP & INFRASTRUCTURE

Demolition and removal of dining hall

RECREATION & COMMUNITY USE

Playground

Picnic Areas

Community Gardens

Renovate boathouse for concessions/events

HOUSING

Renovate Spruce Hill House for staff housing

ECOLOGY

Ongoing woodland/tree planting

PHASE 3 TOTAL COST:

\$10,400,000



BAY PROPERTY DRAFT PHASING

Phase 4 (Target 2031-2023)

APPROVALS, STUDIES, DESIGN

Ongoing permitting and procurement

Establish Framework for Future Municipal Uses (Secluded Area)

Funding approval (3 of 3)

SITE PREP & INFRASTRUCTURE

Wastewater treatment plant construction (location TBD)

RECREATION & COMMUNITY USE

Renovate administration building

Renovate cabins for community use and add parking

HOUSING

ECOLOGY

Ongoing woodland/tree planting

PHASE 4 TOTAL COST:

\$6,600,000



BAY PROPERTY DRAFT PHASING

Phase 5 (Target 2033-2035)

APPROVALS, STUDIES, DESIGN

Ongoing permitting and procurement

SITE PREP & INFRASTRUCTURE

RECREATION & COMMUNITY USE

Community Center
Construction and Parking
(if applicable)

HOUSING

ECOLOGY

Land Management

PHASE 5 TOTAL COST:

\$31,000,000



FINANCING AND COST

POND PROPERTY OVERALL COST ESTIMATION

	CONSTRUCTION	ADDITIONAL COSTS (DESIGN AND CONTRACTOR FEES, PERMITTING, CONTINGENCY, ESCALATION)	TOTAL PER PHASE	POTENTIAL OTHER FUNDING	BALANCE TO BE FINANCED
Phase 1 2025-2027 <i>(0% escalation)</i>	\$1,400,000	\$900,000	\$2,300,000	\$500,000	\$1,800,000
Phase 2 2027-2029 <i>(5% escalation)</i>	\$100,000	\$400,000	\$500,000	\$300,000	\$200,000
Phase 3 2029-2031 <i>(10% escalation)</i>	\$2,100,000	\$2,400,000	\$4,500,000	\$4,500,000	\$0
Total	\$3,600,000	\$3,700,000	\$7,300,000	\$5,300,000	\$2,000,000

Phase 4
2031-2033
*Cost TBD (cost to connect residents to new wastewater treatment plant)

BAY PROPERTY OVERALL COST ESTIMATION

	CONSTRUCTION	ADDITIONAL COSTS (DESIGN AND CONTRACTOR FEES, PERMITTING, CONTINGENCY, ESCALATION)	TOTAL PER PHASE	POTENTIAL OTHER FUNDING	BALANCE TO BE FINANCED
Phase 1 2025-2027 (0% escalation)	\$4,700,000	\$3,600,000	\$8,300,000	\$1,500,000	\$6,800,000
Phase 2 2027-2029 (5% escalation)	\$3,500,000	\$1,900,000	\$5,400,000	\$2,700,000	\$2,700,000
Phase 3 2029-2031 (10% escalation)	\$2,800,000	\$7,600,000	\$10,400,000	\$1,400,000	\$9,000,000
Phase 4 2031-2033 (15% escalation)	\$3,500,000	\$3,100,000	\$6,600,000	\$1,100,000	\$5,500,000
Phase 5 2033-2035 (20% escalation)	\$19,300,000	\$11,700,000	\$31,000,000 (Community Center Construction)		\$31,000,000
Total	\$33,800,000	\$27,900,000	\$61,777,600	\$6,700,000	\$55,000,000

FINANCING

Sources

What funding sources are available to help pay for this?

Financing options will include a combination of the following:

- Public Private Partnerships (\$4.5+M)
- Federal, state, and/or other grants
- Capital Stabilization Fund (\$1.5+M)
- Free Cash (average \$4M/year for all Town capital projects)
- Gifts & donations
- Property revenue generation (to help cover operating expenses)
- Debt (short-term & excluded)
- Community Preservation Funds

Town develops and annually updates a 5 Year Capital Improvement Plan (CIP) that identifies all upcoming projects, initiatives, equipment, facilities, and acquisitions, their expected costs, and the anticipated funding sources. Financing and phasing for the Sea Camps will be incorporated into the CIP if the comprehensive plans for the properties are approved by Brewster voters.

FINANCING

Sequencing

How will this impact my taxes?

If the plans are approved by Town Meeting in May, the Town anticipates asking Brewster voters to approve up to three rounds of excluded debt to help finance the plans over the next decade.

- Round 1 would include funding for all phases of the pond plan and the first two phases of the bay plan, including the community center feasibility study. It would be brought to Town Meeting and the ballot in Fall 2024.
- Round 2 would fund phases 3 and 4 of the bay plan, including community center design (if applicable). This debt exclusion would likely be brought to Brewster voters in 2028.
- Round 3 would fund phase 5 of the bay plan, which is construction of the new community center (if applicable). Based on the current timeline, this final funding request would be around 2031.

	PHASES	YEAR	ANTICIPATED DEBT ISSUANCE	TAX RATE IMPACT*	TAX BILL IMPACT ON MEDIAN HOME**
Round 1	All Pond + Bay 1&2	2024	\$11.4M	+.11/1000	+\$81
Round 2	Bay 3&4	2028	\$14.5M	+.14/1000 (\$.25 total)	+\$97 (\$174 total)
Round 3	Bay 5	2031	\$31M	+.30/1000 (\$.55 total)	+\$216 (\$390 total)

* would impact the following fiscal year tax bills - eg. 2024 approval would impact FY26 tax bills (Fall 2025)

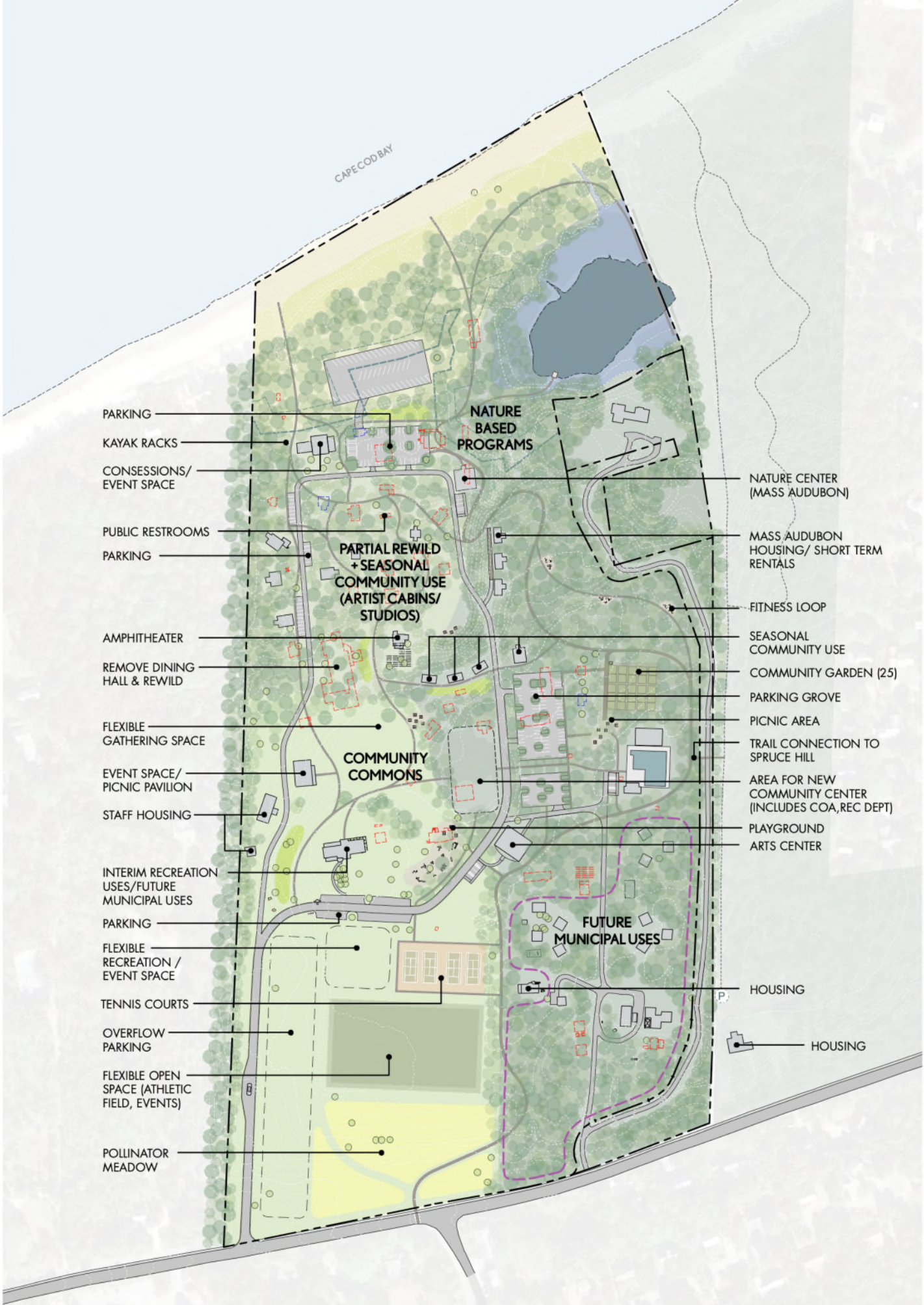
** assumes 25 year level debt term and conservative 3.85% interest rate (Brewster has the highest possible bond rating, AAA, which helps secure the lowest possible interest rates)

3/5/2024

**Town of Brewster-Sea Camp Property Improvements
25 YEAR BONDS
Non-Bank Qualified-Tax Exempt
Level Debt**

FISCAL YEAR	Phase 1 Principal	Average Coupon	Phase 2 Principal	Average Coupon	Phase 3 Principal	Average Coupon	ANNUAL DEBT SERVICE	Town of Brewster		
		3.85%		3.85%		3.85%		100.00% NET DEBT SVC	IMPACT RESID. TAX RATE	IMPACT per \$100K HOUSE
2025	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0.00	\$0.00	\$0.00
2026	265,000.00	438,900.00	0.00	0.00	0.00	0.00	\$703,900	\$703,900.00	\$0.11	\$10.79
2027	275,000.00	428,697.50	0.00	0.00	0.00	0.00	\$703,698	\$703,697.50	\$0.11	\$10.79
2028	285,000.00	418,110.00	0.00	0.00	0.00	0.00	\$703,110	\$703,110.00	\$0.11	\$10.78
2029	300,000.00	407,137.50	335,000.00	558,250.00	0.00	0.00	\$1,600,388	\$1,600,387.50	\$0.25	\$24.53
2030	310,000.00	395,587.50	350,000.00	545,352.50	0.00	0.00	\$1,600,940	\$1,600,940.00	\$0.25	\$24.54
2031	325,000.00	383,652.50	365,000.00	531,877.50	0.00	0.00	\$1,605,530	\$1,605,530.00	\$0.25	\$24.61
2032	340,000.00	371,140.00	380,000.00	517,825.00	720,000.00	1,193,500.00	\$3,522,465	\$3,522,465.00	\$0.54	\$54.00
2033	355,000.00	358,050.00	400,000.00	503,195.00	750,000.00	1,165,780.00	\$3,532,025	\$3,532,025.00	\$0.54	\$54.15
2034	370,000.00	344,382.50	415,000.00	487,795.00	780,000.00	1,136,905.00	\$3,534,083	\$3,534,082.50	\$0.54	\$54.18
2035	385,000.00	330,137.50	430,000.00	471,817.50	815,000.00	1,106,875.00	\$3,538,830	\$3,538,830.00	\$0.54	\$54.25
2036	400,000.00	315,315.00	450,000.00	455,262.50	850,000.00	1,075,497.50	\$3,546,075	\$3,546,075.00	\$0.54	\$54.36
2037	420,000.00	299,915.00	470,000.00	437,937.50	885,000.00	1,042,772.50	\$3,555,625	\$3,555,625.00	\$0.55	\$54.51
2038	435,000.00	283,745.00	490,000.00	419,842.50	925,000.00	1,008,700.00	\$3,562,288	\$3,562,287.50	\$0.55	\$54.61
2039	455,000.00	266,997.50	510,000.00	400,977.50	965,000.00	973,087.50	\$3,571,063	\$3,571,062.50	\$0.55	\$54.74
2040	475,000.00	249,480.00	530,000.00	381,342.50	1,005,000.00	935,935.00	\$3,576,758	\$3,576,757.50	\$0.55	\$54.83
2041	495,000.00	231,192.50	555,000.00	360,937.50	1,045,000.00	897,242.50	\$3,584,373	\$3,584,372.50	\$0.55	\$54.95
2042	515,000.00	212,135.00	580,000.00	339,570.00	1,090,000.00	857,010.00	\$3,593,715	\$3,593,715.00	\$0.55	\$55.09
2043	535,000.00	192,307.50	605,000.00	317,240.00	1,140,000.00	815,045.00	\$3,604,593	\$3,604,592.50	\$0.55	\$55.26
2044	560,000.00	171,710.00	630,000.00	293,947.50	1,185,000.00	771,155.00	\$3,611,813	\$3,611,812.50	\$0.55	\$55.37
2045	585,000.00	150,150.00	655,000.00	269,692.50	1,235,000.00	725,532.50	\$3,620,375	\$3,620,375.00	\$0.56	\$55.50
2046	610,000.00	127,627.50	685,000.00	244,475.00	1,290,000.00	677,985.00	\$3,635,088	\$3,635,087.50	\$0.56	\$55.73
2047	635,000.00	104,142.50	710,000.00	218,102.50	1,345,000.00	628,320.00	\$3,640,565	\$3,640,565.00	\$0.56	\$55.81
2048	660,000.00	79,695.00	745,000.00	190,767.50	1,400,000.00	576,537.50	\$3,652,000	\$3,652,000.00	\$0.56	\$55.99
2049	690,000.00	54,285.00	775,000.00	162,085.00	1,460,000.00	522,637.50	\$3,664,008	\$3,664,007.50	\$0.56	\$56.17
2050	720,000.00	27,720.00	805,000.00	132,247.50	1,520,000.00	466,427.50	\$3,671,395	\$3,671,395.00	\$0.56	\$56.28
2051	0.00	0.00	840,000.00	101,255.00	1,585,000.00	407,907.50	\$2,934,163	\$2,934,162.50	\$0.45	\$44.98
2052	0.00	0.00	875,000.00	68,915.00	1,655,000.00	346,885.00	\$2,945,800	\$2,945,800.00	\$0.45	\$45.16
2053	0.00	0.00	915,000.00	35,227.50	1,725,000.00	283,167.50	\$2,958,395	\$2,958,395.00	\$0.45	\$45.35
2054	0.00	0.00	0.00	0.00	1,800,000.00	216,755.00	\$2,016,755	\$2,016,755.00	\$0.31	\$30.92
2055	0.00	0.00	0.00	0.00	1,875,000.00	147,455.00	\$2,022,455	\$2,022,455.00	\$0.31	\$31.00
2056	0.00	0.00	0.00	0.00	1,955,000.00	75,267.50	\$2,030,268	\$2,030,267.50	\$0.31	\$31.12
	\$11,400,000	\$6,642,213	\$14,500,000	\$8,445,938	\$31,000,000	\$18,054,383	\$90,042,533	\$90,042,533		\$1,380.37

Tax rate based on Fiscal 2024 (\$6,523,093,480) assessed valuation and home median value of \$100,000
Does not include short-term issuance which will reduce the amortization years proportionately
Interest rate subject to change based upon market interest rates



PARKING

KAYAK RACKS

CONCESSIONS/
EVENT SPACE

PUBLIC RESTROOMS

PARKING

AMPHITHEATER

REMOVE DINING
HALL & REWILD

FLEXIBLE
GATHERING SPACE

EVENT SPACE/
PICNIC PAVILION

STAFF HOUSING

INTERIM RECREATION
USES/FUTURE
MUNICIPAL USES

PARKING

FLEXIBLE
RECREATION /
EVENT SPACE

TENNIS COURTS

OVERFLOW
PARKING

FLEXIBLE OPEN
SPACE (ATHLETIC
FIELD, EVENTS)

POLLINATOR
MEADOW

CAPE COD BAY

NATURE
BASED
PROGRAMS

PARTIAL REWILD
+ SEASONAL
COMMUNITY USE
(ARTIST CABINS/
STUDIOS)

COMMUNITY
COMMONS

FUTURE
MUNICIPAL USES

NATURE CENTER
(MASS AUDUBON)

MASS AUDUBON
HOUSING/ SHORT TERM
RENTALS

FITNESS LOOP

SEASONAL
COMMUNITY USE

COMMUNITY GARDEN (25)

PARKING GROVE

PICNIC AREA

TRAIL CONNECTION TO
SPRUCE HILL

AREA FOR NEW
COMMUNITY CENTER
(INCLUDES COA, REC DEPT)

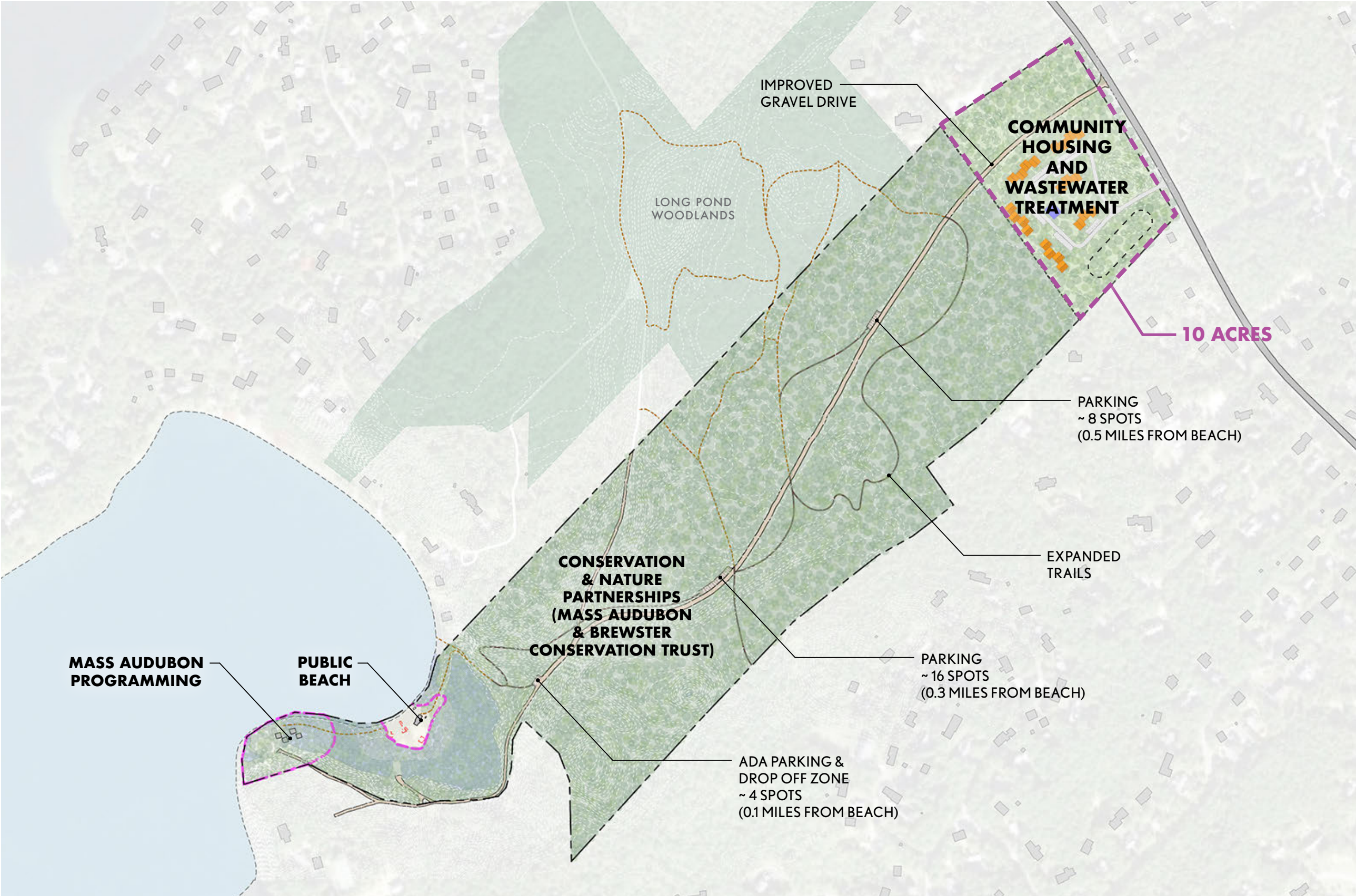
PLAYGROUND
ARTS CENTER

HOUSING

HOUSING

POND PROPERTY COMPREHENSIVE PLAN

Overall Plan



Voter Information: Potential Acquisition of the Cape Cod Sea Camps

SEA CAMPS POND PARCEL: Overview

Address	500 W.H. Besse Cartway
Owner	Camp Wono, Inc.
Size	66 acres
Parcel ID	84-45
Zoning	Residential Medium (RM) & Residential Rural (RR)
Zoning Considerations	About half of parcel is in Zone II (aquifer recharge area), Brewster Water Protection District & Natural Resource Protection District
Frontage	765 feet (Route 137)
Shoreline	~1,200 feet

SEA CAMPS POND PARCEL: Facilities

- The Pond parcel is largely undeveloped
- Structures include boating equipment storage & an office

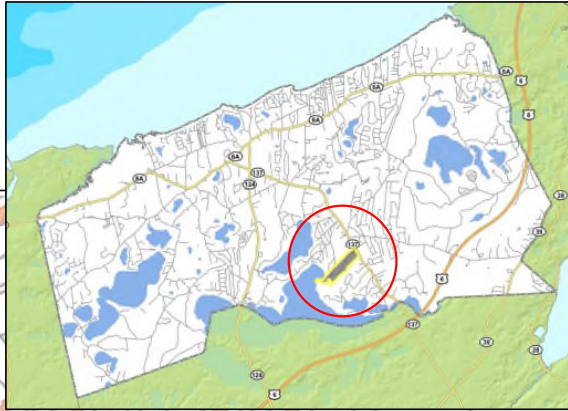
SEA CAMPS POND PARCEL: Potential Town Uses

- New public beach & beach parking on Long Pond (possibly residents only)
- Recreation activities, e.g., swimming lessons, boating, sailing
- Conservation/open space, habitat & watershed protection
- Public watercraft storage (kayak, canoe, stand-up paddleboard)
- Partnership with Brewster Conservation Trust to develop extensive hiking/trail system of 100+ acres when combined with adjacent Robinson property
- Partnership with Massachusetts Audubon Society to develop on-site programs
- Appropriately scaled community housing near Route 137 (partnering with Brewster Affordable Housing Trust)

SEA CAMPS POND PARCEL: Pledged Contributions

- | | |
|--|---------------|
| • Brewster Conservation Trust | \$1.5 million |
| • Massachusetts Audubon Society | \$1.0 million |
| • Brewster Water Department Enterprise Retained Earnings | \$250,000 |

SEA CAMPS POND PARCEL: Maps

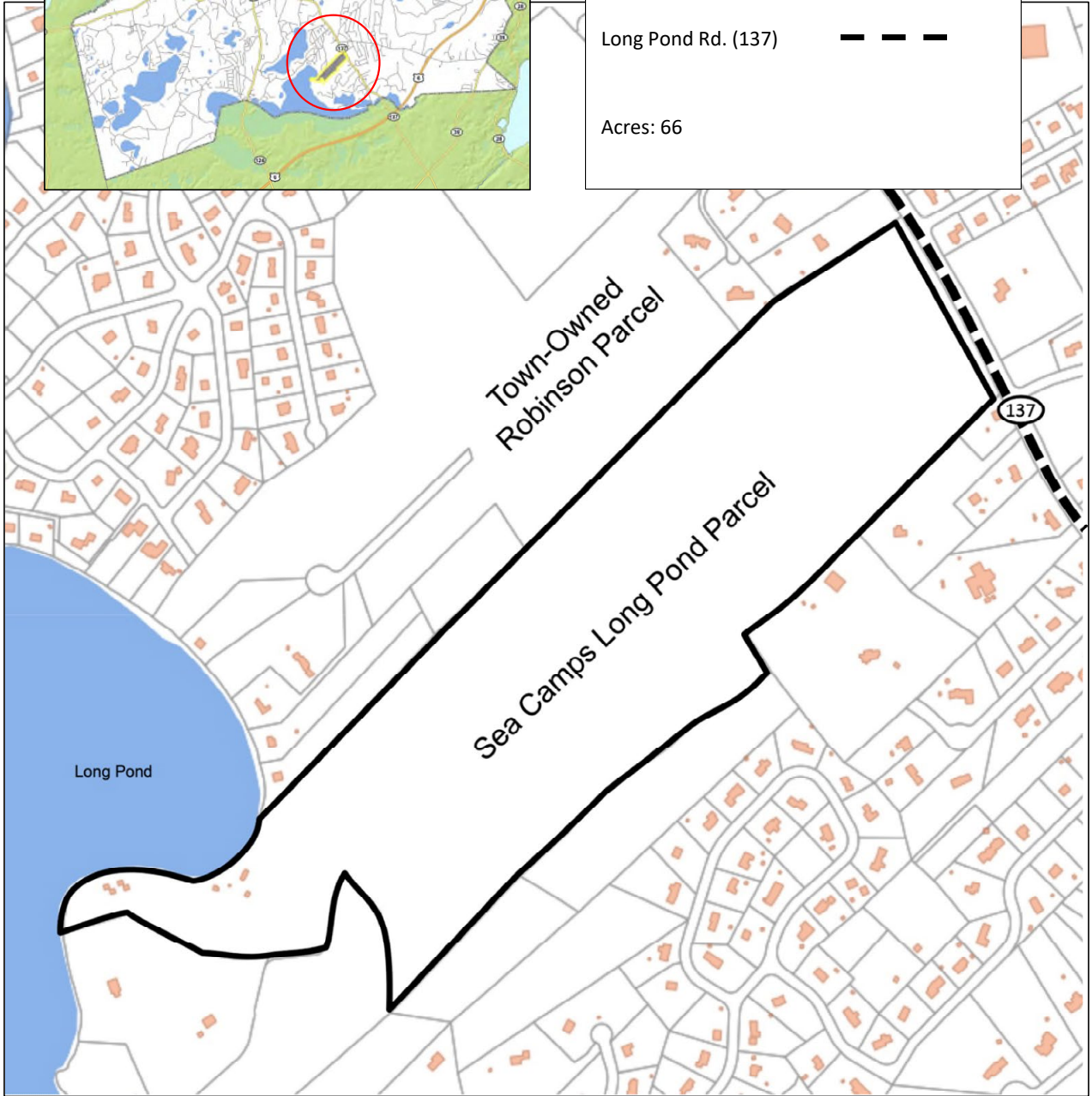


LEGEND

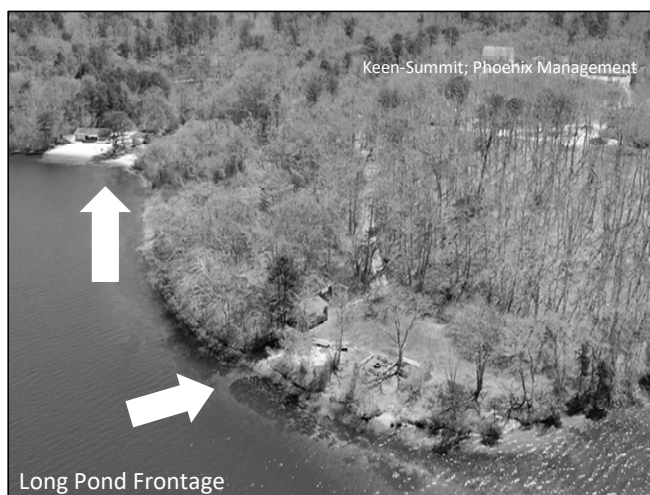
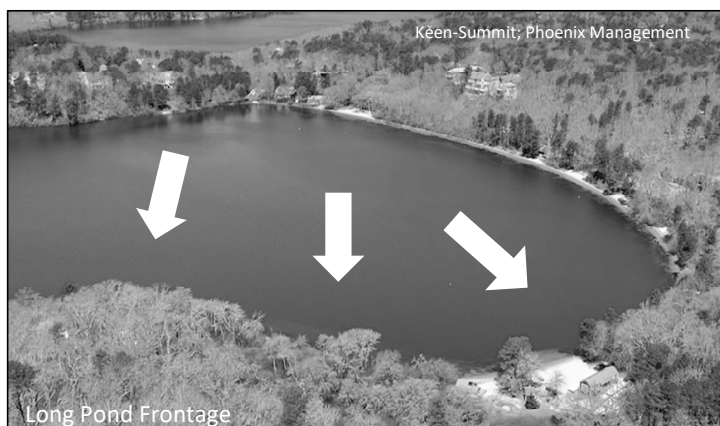
Pond Parcel Boundary **————**

Long Pond Rd. (137) **- - - -**

Acres: 66



SEA CAMPS POND PARCEL: Photos



Photos by Town of Brewster except where noted.

SEA CAMPS BAY PARCEL: Overview

Address	3057 Main Street, Brewster
Owner	Camp Wono, Inc.
Size	54.7 acres
Parcel ID	101-45
Zoning	RM (Residential Medium Density)
Zoning Considerations	Old King's Highway Historic District, soil conservancy district & wetlands
Frontage	824 feet (on Main Street)
Shoreline	~800 feet

SEA CAMPS BAY PARCEL: Facilities

- Administration building
- 50+ cabins, cottages & dorms
- Beachfront
- Boathouse
- Dining hall with commercial kitchen area
- Olympic-sized swimming pool with swimming pavilion
- Art center
- Basketball courts
- 9 lighted tennis courts
- Fields for soccer, lacrosse, baseball, archery, field hockey & other sports
- 2 outdoor theatres
- Maintenance building & garage
- Woodworking shop

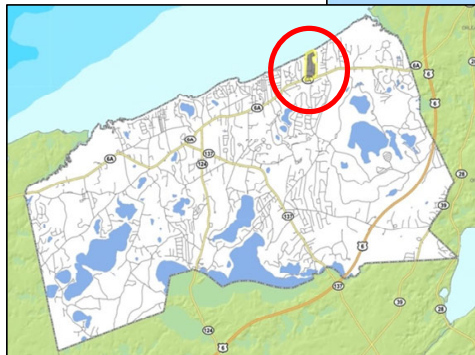
SEA CAMPS BAY PARCEL: Potential Town Uses

- New public beach & beach parking (possibly residents only)
- Community center & group meeting spaces
- Expanded municipal recreation facilities: swimming pool, tennis, basketball, outdoor theatres, basketball, boating/sailing, playgrounds, trails
- Town offices
- Conservation, open space & habitat protection, coastal resiliency
- Partnership(s) to expand recreational activities & programs
- Bike trail spur from Cape Cod Rail Trail to beach
- Boat moorings

SEA CAMPS BAY PARCEL: Pledged Contributions

- | | |
|---------------------------------|---------------|
| • Massachusetts Audubon Society | \$1.0 million |
| • Anonymous Private Donor | \$750,000 |

SEA CAMPS BAY PARCEL: Maps

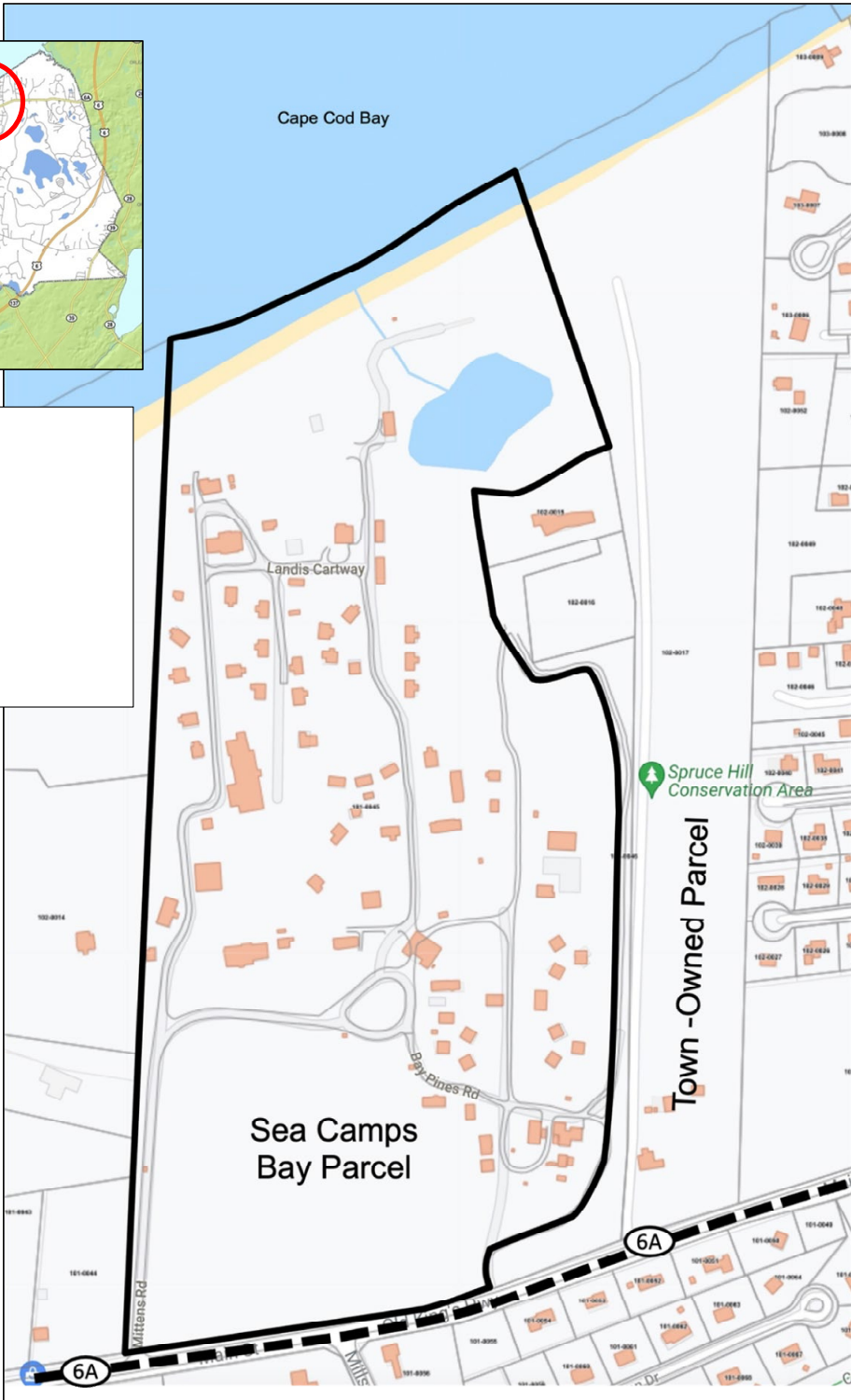


LEGEND

Bay Parcel Boundary

Main St. (6A)

Acres: 54.7



SEA CAMPS BAY PARCEL: Photos



Photos by Town of Brewster except where noted.

POTENTIAL USE OF EMINENT DOMAIN TO ACQUIRE THE CAPE COD SEA CAMPS

ABOUT EMINENT DOMAIN

- Legal right of governments to acquire property for public purposes
- Requires just compensation to the owner of property
- Brewster Town Meeting has authorized at least 31 major eminent domain actions since 1918

REQUIREMENTS FOR BREWSTER TO ACQUIRE THE SEA CAMPS IF EMINENT DOMAIN IS NEEDED

- Acquisition must be for public purpose (Done)
- Property must be identified (Done)
- Title research is required (Done)
- Brewster voters must authorize and appropriate funds (Town Meeting and local election)
- Property inspection is required
- Just compensation must be provided

NEXT STEPS IF EMINENT DOMAIN ACQUISITION OF THE SEA CAMPS IS AUTHORIZED

- **Order of Taking:** The Select Board will adopt an Order of Taking.
- **Recording:** The Order of Taking is recorded by the Barnstable County Registrar of Deeds.
 - Once recorded, the Town of Brewster becomes the legal owner.
 - Recording permits the Town to provide compensation to the former owner.
- **Notice of Taking:** Notice is provided to others with an interest in the properties, e.g., a bank holding a mortgage.
- **Just Compensation to the Former Owner:** The Town will calculate fair compensation for the former owners based on carefully prepared appraisals and expert consultation.
 - **“Just Compensation”:** Fair market value of the property at the time the property is transferred. The Town acquired appraisals to determine just compensation.
- **Appeal:** The former owner has 3 years to appeal the Town’s action.
 - **Appeal process:** If appealed, a jury trial will be held. If the jury awards a higher amount than paid, Brewster voters would need to approve appropriation of the difference.

REFERENCE: Commonwealth of Massachusetts, General Laws Chapter 79: Eminent Domain
<https://malegislature.gov/Laws/GeneralLaws/PartI/TitleXIII/Chapter79>

TOWN OF BREWSTER SPECIAL TOWN MEETING SEPTEMBER 25, 2021

Barnstable, ss

To: Roland W. Bassett, Jr. Constable of the Town of Brewster

Greetings:

In the name of the Commonwealth of Massachusetts, you are hereby directed to notify and inform the Town of Brewster inhabitants qualified to vote in Town affairs to meet at the Stony Brook Elementary School, 384 Underpass Road, on **Saturday, SEPTEMBER 25, 2021**, next, at 10:00 o'clock in the morning, then and there to act upon the following articles:

ARTICLE NO. 1: LAND ACQUISITION - 500 W.H. BESSE CARTWAY

To see if the Town will authorize the Select Board to acquire, by purchase, gift, and/or eminent domain, the parcel of land with the improvements thereon located at 500 W.H. Besse Cartway, Brewster, containing 66 acres, more or less, shown on Assessors Map 84 as Parcel 45, and described in a deed recorded with the Barnstable Registry of Deeds in Book 1388, Page 1185, for habitat protection, watershed protection, open space, conservation and passive recreation, active recreation, community housing, and/or general municipal purposes, and for the purpose of granting conservation easements and/or restrictions on such portions of the property that the Select Board may determine to provide for habitat protection, watershed protection, open space, conservation and passive recreation purposes, and to raise and appropriate, transfer from available funds, and/or borrow a sum to fund the foregoing acquisition and the payment of all costs incidental or related thereto; provided, however, that the appropriation authorized hereunder shall be contingent upon approval by the voters of a ballot question to exclude the amounts to pay for any bonds or notes authorized for this purpose from the provisions of Proposition 2½, so called, and to authorize the Select Board to convey the foregoing conservation easements and/or restrictions to charitable corporations or trusts whose purposes include conservation of land or water areas on such terms and conditions as the Select Board deems appropriate, and, further, to authorize the Select Board and/or its designee to apply for, accept and expend any state and/or federal grants and/or loans or other public or private funds that may be available for the foregoing purposes and to take any and all actions and execute any and all documents necessary or convenient to accomplish the foregoing purposes; or take any other action in relation thereto.

(Board of Selectmen)

(Two-Thirds Vote Required)

COMMENT

This article will authorize the Select Board to acquire the so-called Long Pond parcel located at 500 W.H. Besse Cartway for a number of potential public purposes. This 66 acre parcel is currently the largest privately held property in Brewster. It has almost 800 feet of frontage on Long Pond Road (Route 137) and about 1,200 feet of shoreline in the northeast corner of Long Pond. It is mainly comprised of wooded upland and is largely undeveloped. About half of the property is located in the Town's Zone II (aquifer recharge area), Brewster Water Protection District and Natural Resource Protection District. It is immediately adjacent to Long Pond Woodlands (the so-called Robinson property), 42 acres of conservation land purchased by the Town several years ago.

The acquisition of this land is contingent on approval of a debt exclusion ballot measure at the local election to be held on October 5, 2021. To date, the Town has secured pledges of \$1.5 million from the Brewster Conservation Trust and \$1 million from Mass Audubon to assist with the acquisition costs of this parcel. The Brewster Water Commission has also approved appropriating \$250,000 in available retaining earnings to help with acquisition expenses. While a number of potential future public uses are contemplated in the warrant article, if the Town acquires this parcel, we will undertake a resident engagement process that will inform the development of a Master Plan. It is anticipated that a majority of this property will be permanently protected with a conservation restriction. The Master Plan will provide specific details and, once completed, will be brought back to a future Town Meeting for voter consideration and approval.

Selectmen: Yes 5, No 0, Abs 0

Finance Committee: Yes 7, No 0, Abs 0

ARTICLE NO. 2: LAND ACQUISITION - 3057 MAIN STREET

That the Select Board is authorized to acquire, by purchase, gift, and/or eminent domain, the parcel of land with the improvements thereon located at 3057 Main Street, Brewster, containing 54.7 acres, more or less, shown on Assessors Map 101 as Parcel 45, and described in a deed recorded with the Barnstable Registry of Deeds in Book 1388, Page 1188 (excluding therefrom the parcel shown on Assessors Map 101 as Parcel 46) and in Certificate of Title No. 30242, for habitat protection, watershed protection, open space, conservation and passive recreation, active recreation, community housing, community center and/or general municipal purposes, and for the purpose of granting conservation easements and/or restrictions on such portions of the property that the Select Board may determine to provide for habitat protection, watershed protection, open space, conservation and passive recreation purposes, and to raise and appropriate, transfer from available funds, and/or borrow a sum to fund the foregoing acquisition and all costs incidental or related thereto; provided, however, that the appropriation authorized hereunder shall be contingent upon approval by the voters of a ballot question to exclude the amounts to pay for any bonds or notes authorized for this purpose from the provisions of Proposition 2½, so called, and to authorize the Select Board to convey the foregoing conservation easements and/or restrictions to charitable corporations or trusts whose purposes include conservation of land or water areas on such terms and conditions as the Select Board deems appropriate, and, further, to authorize the Select Board and/or its designee to apply for, accept and expend any state and/or federal grants and/or loans or other public or private funds that may be available for the foregoing purposes and to take any and all actions and execute any and all documents necessary or convenient to accomplish the foregoing purposes; or take any other action in relation thereto.

(Board of Selectmen)

(Two-Thirds Vote Required)

COMMENT

This article will authorize the Select Board to acquire the so-called Bay parcel located at 3057 Main Street for a number of potential public purposes. This 55 acre parcel is currently the 4th largest privately held property in Brewster. It is located within the Old King's Highway Historic District and has over 800 feet of frontage on Main Street (Route 6A). It has about 800 feet of shoreline on Cape Cod Bay and is adjacent to Town-owned conservation land and beach at Spruce Hill. Serving as the primary location for

Cape Cod Sea Camps operations for many years, this property has extensive recreation facilities including an Olympic-sized outdoor swimming pool, lighted tennis courts, outdoor theatres, fields for a variety of sports, basketball courts, and a boathouse and an arts center – both built within the last 10 years. This parcel has 50+ cabins and cottages as well as a dining hall, a health center, a historic administrative building, a maintenance area and a garage.

The acquisition of this property is contingent on approval of a debt exclusion ballot measure at the local election to be held on October 5, 2021. To date, the Town has secured pledges of \$1 million from Mass Audubon and \$750,000 from an anonymous private donor to assist with the acquisition costs of this parcel. Other organizations have expressed interest in potentially partnering with the Town in the future on this property, including YMCA Cape Cod and the Trustees of Reservations. While a number of potential future public uses are contemplated in the warrant article, if the Town acquires this parcel, we will undertake a resident engagement process that will inform the development of a Master Plan. The Master Plan, once completed, will be brought back to a future Town Meeting for voter consideration and approval.

Selectmen: Yes 5, No 0, Abs 0

Finance Committee: Yes 7, No 0, Abs 0

ARTICLE NO. 3: MAINTENANCE AND UPKEEP OF PROPERTIES

To see if the Town will vote to transfer from free cash the sum of \$200,000 to pay costs associated with the maintenance, security, operations, repair and/or rehabilitation of the parcels of land and the improvements thereon located at 3057 Main Street and/or 500 W.H. Besse Cartway, with said moneys to be expended under the direction of the Select Board; or take any other action in relation thereto.

(Board of Selectmen)

(Majority Vote Required)

COMMENT

These funds will be used to cover interim operating expenses associated with the general maintenance of one or both properties the Town is seeking to acquire in Articles 1 and 2 in this warrant. Depending on which properties the Town ultimately acquires, the timing of when those acquisitions occur, and the extent to which public access to these properties will be provided in the near term will impact when further such appropriations will be necessary. The Town has developed an initial budget for maintaining the properties based on the information available at this time. This plan will be further refined and updated once the Town has access to additional information about the facilities. Property maintenance will also include utilizing some existing Town staffing resources. The Town may partner with other organizations to mitigate some of these interim expenses. The Master Plan process is intended to clearly define future ongoing operating expenses associated with one or both properties based on anticipated future uses and potential partnerships.

Selectmen: Yes 5, No 0, Abs 0

Finance Committee: Yes 7, No 0, Abs 0

You are hereby directed to serve this Warrant with your doings thereon to the Town Clerk at the time and place of said meeting as aforesaid.

Given under our hand and Seal of the **Town of Brewster** affixed this **3rd day of September 2021**.

Cynthia A. Bingham, Chair

David C. Whitney, Vice Chair

Edward B. Chatelain, Clerk

Mary Chaffee

Kari Hoffmann

I, Roland W. Bassett Jr, duly qualified Constable for the Town of Brewster, hereby certify that I served the Warrant for the Special Town Meeting of September 25, 2021, by posting attested copies thereof, in the following locations in the Town on the 3rd day of September 2021.

Brewster Town Offices	Café Alfresco
Brewster Ladies Library	Brewster Pizza House
The Brewster General Store	Millstone Liquors
U. S. Post Office	

Roland W. Bassett, Jr. Constable

COMMENT

The Brewster floodplain district was first adopted as a zoning overlay in 1985. The bylaw has been amended over time as subsequent district boundaries and state and federal regulations have changed. The amendments proposed in this article are designed to incorporate recommended changes from the state’s updated model floodplain bylaw. No changes to the floodplain district boundary are proposed as part of this zoning bylaw amendment.

Select Board: Yes 5, No 0, Abs 0

Finance Committee:

Yes 7, No 0, Abs 0

Planning Board:

Yes 7, No 0, Abs 0

DRUMMER BOY PARK MASTER PLAN UPDATE

ARTICLE NO. 12: To see if Town will vote to accept the 2021 Drummer Boy Park Master Plan, or to take any other action relative thereto.

(Select Board)

(Majority Vote Required)

COMMENT

After purchasing the Drummer Boy property in 1988, a Comprehensive Master Plan was developed and adopted by Town Meeting in 1995. That plan identified opportunities and constraints for the site and developed a programmatic plan for the property via a phased implementation approach. Some of these improvements, including the bandstand, playground, and walking paths, have been implemented. Twenty-five years later, Drummer Boy Park continues to provide diverse active and passive recreational uses for countless residents and visitors, and it remains a vital community asset.

In 2020, the Select Board established the Drummer Boy Park Advisory Committee to review the park’s current condition and uses, develop designs for expanded or alternative uses, and estimate costs and funding scenarios for such future plans. The resulting updated Master Plan was informed by feedback from residents and relevant stakeholders such as the Brewster Historical Society and Brewster Conservation Trust, who own adjacent properties.

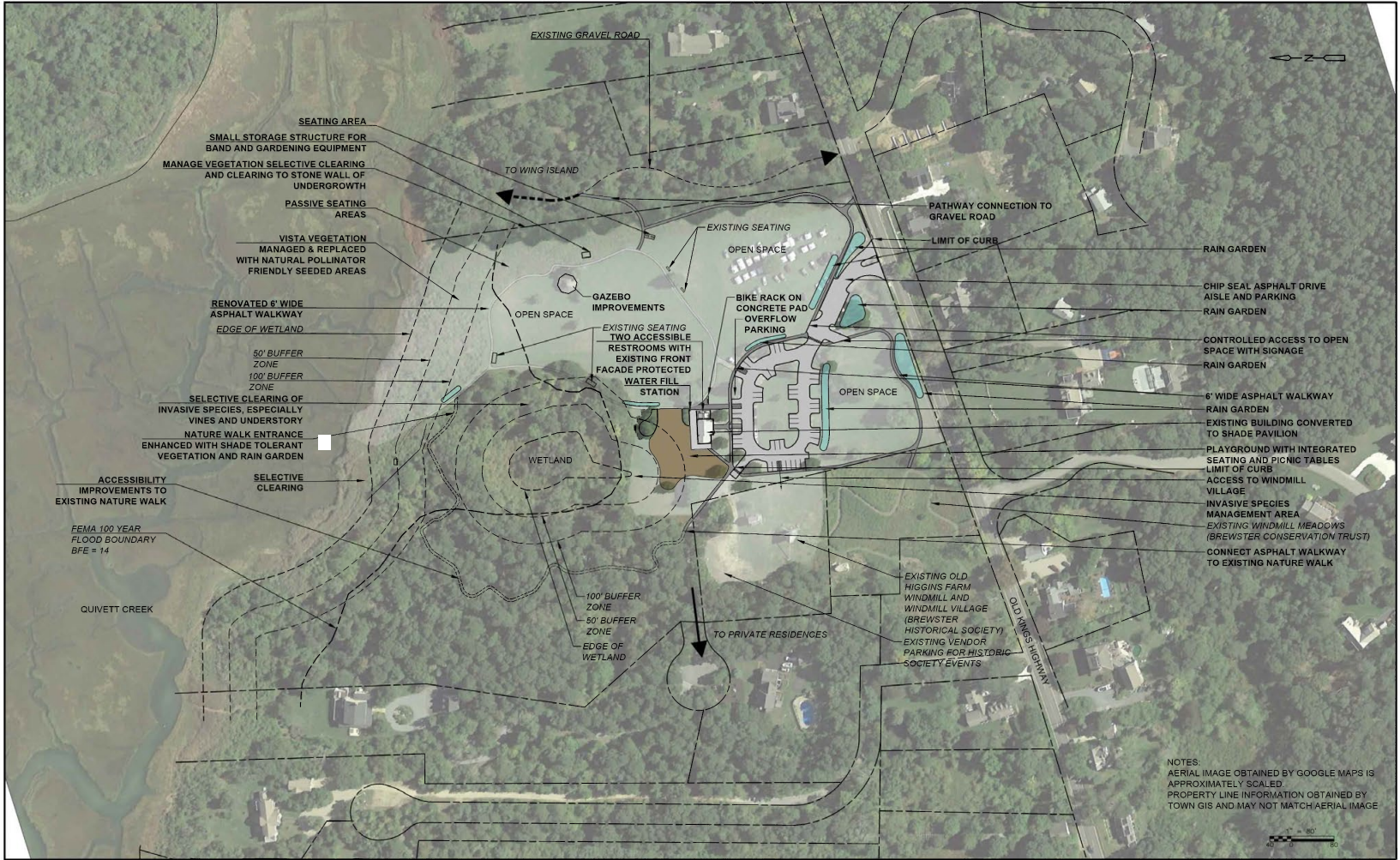
The goals of this new Plan are to preserve the character of the park, improve views of the bay, enhance existing uses, and provide additional access to and throughout the park. The Plan also seeks to account for future increased use given the proposed construction of a new elevated boardwalk to Wing Island from the Town-owned conservation land immediately to the east of Drummer Boy. Additional details and more information on the Plan can be found on the Drummer Boy Park Advisory Committee on the Town website or in the Town Administrator’s office.

Select Board: Yes 5, No 0, Abs 0

Finance Committee:

Yes 7, No 0, Abs 0

DESIGN AND CONSTRUCTION OF THESE DOCUMENTS AND DESIGN PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREBY ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.



NOTES:
AERIAL IMAGE OBTAINED BY GOOGLE MAPS IS APPROXIMATELY SCALED.
PROPERTY LINE INFORMATION OBTAINED BY TOWN GIS AND MAY NOT MATCH AERIAL IMAGE



DRUMMER BOY PARK
TOWN OF BREWSTER, MA

RECOMMENDED MASTER PLAN
APRIL 2021

FIGURE 4-1



Town of Brewster

2198 Main Street
Brewster, MA 02631-1898
Phone: (508) 896-3701
townmanager@brewster-ma.gov

Office of:
Select Board
Town Manager

MEMORANDUM

TO: Select Board
FROM: Peter Lombardi, Town Manager
RE: Millstone Road Project Update & Temporary Easements
DATE: March 22, 2024

Over the past several months, the Town has sent three rounds of correspondence to residents on Millstone Road to update them on the project status and to secure their authorization to temporarily access a portion of their property once construction begins. At this point, all necessary state and local permits have been approved and the Town is prepared to begin construction work in Fall 2024. In order to finalize the design plans and put the project out to bid (planned in June), we need to secure approvals from all impacted residents to allow temporary property access to complete the site work.

As a reminder, the Town redesigned the project in 2022 to ensure no permanent Town easements will be needed. With this in mind, the Town Meeting vote in November 2022 explicitly exempted eminent domain as a policy tool to move forward with the project – see attached. In spite of our concerted outreach efforts, the Town has only received executed temporary easement agreements from 57 residents to date – just over half of the properties on Millstone that will be temporarily impacted.

We have spoken to a few residents who have indicated they will not grant the Town the right to even temporarily use their property to properly tie the project in and we have redesigned the project to accommodate their concerns. Our DPW Director, Griffin Ryder, and Project Manager, Conor Kenny, have spent countless hours meeting with residents on their properties to explain the project plans and make small adjustments where possible. The Town has also extended the option to residents to either receive payment for the temporary impacts or the equivalent value of landscaping. However, at this point, approximately 50 residents have simply not responded.

Accordingly, we are now recommending bringing an article to Town Meeting in May that would allow the Town to legally secure this temporary access through a taking. The taking would only apply to the properties owned by residents who have been non-responsive. If approved, these residents will receive the same level of compensation as they would have otherwise by executing the temporary easement agreements.

We plan to send out the attached draft letter by March 29 to give residents an update and provide them with one last opportunity to respond to the Town in advance of the Town Meeting vote on May 11.

**Town of Brewster
Special Town Meeting Report
November 14th, 2022**

The warrant for the Annual Town Meeting will be closed to citizen petitioned articles 75 days before each Annual Town Meeting and be in the hands of the Finance Committee by 60 days before each Annual Town Meeting, commencing in 1980. The warrant for any special town meeting will be closed to citizen petitioned articles 45 days before each special town meeting; provided, however, that the Select Board may close the warrant for a special town meeting at any time prior to the 15th day before such meeting if it determines that the 45-day deadline is impractical under the circumstances of a particular meeting.

Or to take any other action relative thereto.

(Select Board)

(Majority Vote Required)

Motion made by Select Board Chair David Whitney: I move that Article Number 9 be indefinitely postponed.

ACTION: Adopted to Indefinitely Postpone. Voter Cards.

8:23pm
LOCAL COMPREHENSIVE PLAN

ARTICLE NO. 10: To see if the Town will vote to adopt an updated Master Plan for Brewster which has been developed by the Vision Planning Committee, a copy of which plan is on file at the Town Clerk's office and posted on the Town's website, and which plan if adopted by the Town Meeting would constitute Brewster's Local Comprehensive Plan as defined in Section 9 of the Cape Cod Commission Act (Chapter 716 of the Acts of 1989).

Or take any other action relative thereto.

(Select Board & Planning Board)

(Majority Vote Required)

Motion made by Select Board Member Kari Hoffmann: I move to approve Article Number 10 as printed in the warrant.

ACTION:

Motion made by Citizen Carol Marie Anderson: I move to indefinitely postpone Article 10.

ACTION on Motion by Carol Marie Anderson: Defeated. Voter Cards.

Motion made by Citizen Leonard Egert: I move to commit Article 10 and the Local Comprehensive plan to the Vison Planning Committee for further review.

ACTION on Motion by Leonard Egert: Yes - 248, No - 148. Counted.

• The Moderator Charles Sumner announced that Article No. 11 was preferred by Bond Counsel to have a 2/3 vote to pass, not just a majority.

10:33pm
TEMPORARY EASEMENTS: MILLSTONE ROAD IMPROVEMENT PROJECT

ARTICLE NO. 11: To see if the Town will vote to authorize the Select Board to acquire, by purchase, gift, and/or eminent domain, permanent and/or temporary right of way, utility, drainage, access, construction and other easements in, on, under, and across the parcels of land at or near Millstone Road for the purpose of improving Millstone Road and for any and all purposes and uses incidental or related thereto, and, further, to raise and appropriate, transfer from available funds, and/or borrow a sum of money for the foregoing purposes.

Or to take any other action related thereto.

(Select Board)

(Majority Vote Required)

Motion made by Select Board Member Edward "Ned" Chatelain: I move to approve Article Number 11 as printed in the warrant, except delete the reference to "eminent domain" and as funding therefor the sum of \$400,000, being a portion of the \$10,000,000 previously appropriated as authorized road bond funds as voted

Town of Brewster
Special Town Meeting Report
November 14th, 2022

pursuant to Article 30 at the May 4, 2015 Annual Town Meeting, shall be utilized, with such amount to be expended at the direction of the Town Administrator with the approval of the Select Board.

ACTION: Adopted by a Moderator declared 2/3 majority. Voter Cards.

10:53pm

PRIVATE ROAD BETTERMENT: VESPER POND DRIVE

ARTICLE NO. 12: To see if the Town will vote to raise and appropriate, transfer from available funds, and/or borrow a sum of money pursuant to MGL Ch. 40, Secs. 7 and 8, Chapter 297 of the Acts of 2002, Chapter 373 of the Acts of 2006, and/or any other enabling authority, said sum to be spent by the Town Administrator with the approval of the Select Board, to finance temporary road repairs to the private way known as Vesper Pond Drive, including, without limitation, costs associated with engineering, construction, and reconstruction of said way, and costs incidental or related thereto, which costs shall be assessed by the Select Board as a betterment under MGL Ch. 80 Sec. 1 on each parcel within the area benefiting from the improvement, all in compliance Brewster General Bylaws, Section 157-20.

Or to take any other action relative thereto.

(Select Board)

(Two-Thirds Vote Required)

Motion made by Select Board Member Kari Hoffmann: I move to finance temporary road repairs to the private ways known as Vesper Pond Drive, Bay View Drive, Cranberry Lane, Mayflower Circle, Deer Path Circle, and Jam Lane, including, without limitation, costs associated with engineering, construction, and reconstruction of said way, and costs incidental or related thereto, said sum to be spent by the Town Administrator with the approval of the Select Board; and, to meet said appropriation, to authorize the Treasurer, with the approval of the Select Board, to borrow Seven Hundred Eighty-Five Thousand Five Hundred Sixty-Six Dollars (\$785,566) under Massachusetts General Laws Chapter 44, Section 7, 7(1), 7(5) or 8, Chapter 373 of the Acts of 2006, and/or any other enabling authority, and to issue bonds or notes of the Town therefor; which sum shall be assessed as a betterment under Massachusetts General Laws Chapter 80, Section 1 on each parcel within the area benefiting from the improvement, all in compliance with the Brewster Town Code, Chapter 157, Article VIII, Section 157-20.

ACTION: Adopted by a Moderator declared 2/3 majority. Voter Cards.

10:09pm

CREATION OF NEW REVOLVING FUND: BAY PROPERTY POOL

ARTICLE NO. 13: To see if the Town will vote to amend the General Bylaws, Section 21-8, to create a new revolving fund, consistent with MGL Ch. 44 Sec 53E½, for the purposes of managing a recreational pool located at 3057 Main Street, in a manner as follows:

Revolving Fund	Authority to Spend	Use of Fund	Fiscal Year Spending Limit
Bay Property Pool	Department Head - Recreation	Expenses shall be related to salaries and operations of the Bay Property Pool and not for any other purposes	\$200,000

Or to take any other action relative thereto.

(Select Board)

(Majority Vote Required)

Motion made by Select Board Member Mary Chaffee: I move to approve Article Number 13 as printed in the warrant, with the following language to be added below the chart: "With such spending limits to be applicable for each fiscal year until such time as Town Meeting votes, prior to July 1 for the ensuing fiscal year, to increase the same; provided, however, that in accordance with state law, the Select Board, with the approval of the Finance Committee, may increase the limit for that fiscal year only."

ACTION: Adopted. Voter Cards.



Town of Brewster

2198 Main Street
Brewster, MA 02631-1898
Phone: (508) 896-3701
townmanager@brewster-ma.gov

Office of:
Select Board
Town Manager

DATE: March 29, 2024

RE: Millstone Road Improvement Project Temporary Access Approvals

Dear Millstone Road resident,

Construction work is expected to begin on the Millstone Road Improvement Project in Fall 2024. The latest version of the full design plans can be found on the Town's project page at <https://www.brewster-ma.gov/millstone-road-improvement-project>.

As outlined in correspondence sent to you in September 2022, November 2023, and March 2024, the Town needs to secure approvals from all impacted residents to allow temporary property access to complete the site work. As a reminder, the Town has redesigned the project to ensure no permanent Town easements will be needed.

The most recent letter from the Town, sent on March 1, included a set of temporary easement agreement forms with a listed compensation amount for your property, calculated by a professional appraiser. We appreciate those of you who have already submitted your completed form. Thank you! For those of you who have not yet responded, please return these forms for signature and notarization **in person to the Town Clerk's Office at Brewster Town Hall, 2198 Main Street, no later than May 1, 2024.**

In order to put the project out to bid this summer, the Town will bring an article to Annual Town Meeting on May 11 to ensure we have secured temporary access rights to all properties on Millstone Road. Please note that, if you have not responded by May 1 and your property is included in this article, you will still receive the same level of compensation for the appraised value of the temporary impact to your property.

Thank you in advance for your cooperation.

Contact Information

- To schedule an appointment to notarize your temporary easement agreement forms, please call the Town Clerk's office at 508-896-4506.
- For questions about your easement compensation, please contact Conor Kenny at 508-896-3701 ext. 1129.
- For questions about the project plans, please contact Griffin Ryder at 508-896-3212.



Town of Brewster

2198 Main Street
Brewster, MA 02631-1898
Phone: (508) 896-3701
Fax: (508) 896-8089

Office of:
Select Board
Town Manager

DATE: March 1, 2024

RE: Millstone Road Improvement Project Temporary Access Approvals

Dear Millstone Road resident,

Utility work is set to begin on the Millstone Road Improvement Project in the coming months, with construction expected to begin in Fall 2024. The latest version of the full design plans can be found on the Town's project page at <https://www.brewster-ma.gov/millstone-road-improvement-project>.

As we outlined in our letter to you in Fall 2023, in order to complete the site work, the Town needs to secure approvals from all impacted property owners allowing temporary access to their properties during construction. The construction impacts from the project for residential properties will only be temporary in nature during construction (which is anticipated to take approximately two years to complete).

The Town has decided to enter into temporary construction easements with residents in order to complete the project. We have hired a professional appraiser in order to ensure that fair and equitable compensation is provided – the compensation amount for your property is listed on the accompanying form. If you have already met with Town officials and expressed a preference for compensation in the form of landscaping and planting in lieu of financial compensation, this is indicated in the attached documents.

The attached forms must be signed and returned for notarization **in person to the Town Clerk's Office at Brewster Town Hall, 2198 Main Street, Brewster, MA 02631, no later than March 22, 2024**. Thank you in advance for your cooperation. The Town may bring an article to Town Meeting this spring to ensure we can secure all temporary access rights so we can move forward with these important improvements.

Please call the Town Clerk's office at 508-896-4506 in advance of your visit to minimize your wait time.

TEMPORARY EASEMENT AGREEMENT

This Temporary Easement Agreement is entered into on this ____ day of _____, 202____, by and between _____ (the “Grantor”), of _____, and the **Town of Brewster** (the “Town”), acting by and through its Select Board pursuant to the vote taken under Article 11 of the November 14, 2022 Special Town Meeting, having an address of 2198 Main Street, Brewster, MA 02631.

Whereas, the Grantor is the owner(s) of the property located at _____, Brewster, MA, and described in a deed recorded with the Barnstable Registry of Deeds / Barnstable Registry District of the Land Court (the “Registry”) in Book _____, Page _____ / Certificate of Title No. _____ (shown as Lot ____ on Land Court Plan No. _____) (the “Property”),

Whereas, the Town is undertaking repairs and improvements to Millstone Road and other roads connecting to Millstone Road (the “Millstone Road Project”), which roadways abut or are near the Property, and

Whereas, the Town has requested Grantor to grant the Town, and Grantor is amenable to granting the Town, a temporary easement to use a portion of the Property for the purpose of undertaking the Millstone Road Project.

Now, Therefore, for consideration paid of _____ Dollars, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

1. Grantor hereby grants to the Town a temporary easement in, on, under and over the portion of the Property shown as “_____” (the “Easement Area”) on the sketch plan attached hereto as Exhibit A for the purpose of undertaking the Millstone Road Project, including, without limitation, grading land, constructing, operating, improving, maintaining, repairing, replacing, relocating, realigning and/or reconstructing slopes of excavation and/or embankment, driveways, driveway aprons, bridges, sidewalks, retaining walls, stone walls, landscaping, loaming, planting trees, seeding, paving, and/or erosion control. The Town shall have the right to enter and pass upon the Easement Area from time to time by foot, vehicle, and with equipment, for all any and all purposes stated herein and uses incidental or related thereto. The temporary easement granted hereby shall terminate automatically on _____, 2025, without the necessity of recording any instrument with the Registry.

2. The Town may remove buildings, structures, objects and/or vegetation (including trees and shrubs) now or hereafter located within the Easement Area if their removal is necessary or convenient to undertake the Millstone Road Project. The Town agrees that, upon the completion of the work, it will repair any damage caused to the Property and/or the improvements thereon by the Town and/or its agents, employees, representatives and/or contractors and to restore the surface of the Easement Area to its condition prior to undertaking the work, as closely as possible.

3. The rights and easements herein granted shall run with the land and shall be binding upon and inure to the benefit of the parties hereto and their respective heirs, successors and assigns.

Signed under seal as of this _____ day of _____, 202____.

GRANTOR:

Print Name:
Title:

Print Name:
Title:

COMMONWEALTH OF MASSACHUSETTS / STATE OF _____

_____, ss.

On this ___ day of _____, 202____, before me, the undersigned Notary Public, personally appeared _____, who proved to me through satisfactory evidence of identification, which was _____, to be the person whose name is signed on the preceding document, and acknowledged to me that he/she/they/it signed it voluntarily for its stated purpose on behalf of _____.

Notary Public
My commission expires:

Signed under seal as of this _____ day of _____, 202____.

TOWN OF BREWSTER,
By its Select Board

Ned Chatelain, Chair

Mary Chaffee, Vice-Chair

Kari Hoffman, Clerk

Cynthia Bingham, Member

David Whitney, Member

COMMONWEALTH OF MASSACHUSETTS

Barnstable, ss.

On this ___ day of _____, 202____, before me, the undersigned Notary Public, personally appeared _____, member of the Brewster Select Board, as aforesaid, who proved to me through satisfactory evidence of identification, which was _____, to be the person whose name is signed on the preceding document, and acknowledged to me that he/she/they signed it voluntarily for its stated purpose on behalf of the Town of Brewster.

Notary Public
My commission expires:

EXHIBIT A

The Easement Area (Sketch)



Town of Brewster

2198 Main Street
Brewster, MA 02631-1898
Phone: (508) 896-3701
Fax: (508) 896-8089

Office of:
Select Board
Town Manager

DATE: November 2, 2023

RE: Update on Millstone Road Improvement Project & Temporary Access Approvals

Dear Millstone Road resident,

Project History

In 2015, Brewster voters approved a \$10M road bond to undertake several major road reconstruction and improvement projects. One of the Town's main thoroughfares, approximately 25% of Brewster residents live on or adjacent to Millstone Road, which conveys almost 4,000 vehicles a day on average.

Starting in Spring 2018, the Town hosted a series of well-attended community forums regarding a proposed improvement project for Millstone Road. Along the way, changes to the design elements were made in response to public feedback. The most recent forum was held in February 2022 and residents were given an opportunity to submit written input on the latest version of the project through March 2022.

Project Goals

After hearing from residents, the Select Board voted to move forward with the revised design in April 2022, consistent with the following project goals:

- Provide ADA compliant sidewalk for entire length of road
- Improve safety for all users
- Create consistent shoulder for bicycle safety
- Provide better interconnections with existing transportation network (Cape Cod Rail Trail, Nickerson Park, Route 6A, and beyond) and improve access to Town amenities (beaches, ponds, schools, businesses, Sea Camps, etc)
- Improve drainage systems and stormwater treatment
- Eliminate need for permanent easements on private property
- Maintain character of scenic road.

Project Update

Since Spring 2022, Town staff have worked with our design consultant to finalize the plan. The latest version of the full design plans can be found on the Town's project page at <https://www.brewster-ma.gov/millstone-road-improvement-project>. This summer, the Town secured necessary state permitting approvals for the project. We have recently secured Conservation Commission approval for this work and we will be seeking Planning Board approvals in the next few months. The Town has also been coordinating with the utility companies regarding relocation of utility poles and associated infrastructure.

Project Financing

Based on the final design and costing from recent similar projects on Cape, the total cost of the Millstone Road improvements is currently estimated at \$10.3M. In addition to \$5.75M in road bond funding, the Town has an available balance of just under \$2M in Chapter 90 state aid for this purpose. To move forward with the project, the Town is seeking Town Meeting approval on November 13 to appropriate \$2.15M from Free Cash and \$250,000 from road betterments, and to reappropriate \$150,000 from previously approved funding from the Sea Camps Pool Parking Lot project. The Town has sufficient Free Cash balances to fund this project and all other FY24 capital needs, and expects to close out the fiscal year with a healthy reserves balance, consistent with our financial policies.

Temporary Access

Based on the final project design, the Town does not need to secure any permanent easements on residential property. However, in order to complete the site work, the Town will need temporary access to most residential properties. A critical next step in this process is securing approvals from all property owners allowing temporary access to their properties during construction. Again, the construction impacts from the project for residential properties will only be temporary in nature during construction (which is anticipated to take approximately two years to complete). Included as an attachment to this letter is a site plan depicting the limits and size of the easement required for temporary access on your property during construction.

Temporary access rights during construction can either be completed through a right of entry agreement or a construction easement granted to the Town. Both options would allow the Town to complete the project. A right of entry agreement does not include compensation, which will minimize project costs for your community. If you opt for a temporary construction easement, every effort will be made to ensure that fair and equitable compensation is provided. The Town has hired a professional appraiser for this purpose.

If you are prepared to execute a right of entry agreement, please return the attached forms at your earliest convenience to **Brewster Town Hall c/o Conor Kenny, 2198 Main Street, Brewster, MA 02631**. To discuss the temporary easement option, please call **(508) 896-3701 ext. 1129** or email millstone@brewster-ma.gov by **December 1, 2023**. Residents are also welcome to contact us for any other property specific questions.

Please note that the Town is willing to work with you, where possible, to adjust the site plans for your property included in this correspondence. Staff are available to meet you in front of your property to discuss any concerns you may have with the enclosed plans.

Project Timeline

If the \$2.55M funding request is approved by Town Meeting, the Town expects that utility work will begin this winter. If the Town secures all necessary temporary access approvals, the project is expected to be put out to bid in Spring 2024, with the goal of starting construction in Fall 2024. Based on that timeline and after accounting for planned breaks during the peak summer months, we anticipate the project would be completed by Spring 2026.

BREWSTER
MASSACHUSETTS

RIGHT OF ENTRY - WITHOUT PREJUDICE

Owner(s) of Record: _____

Address: _____

Stations: _____

Parcel Square Footage(s): _____

Projects: MILLSTONE ROAD IMPROVEMENT PROJECT

Permission is hereby given to the above municipality or its duly authorized agents to enter upon my property in connection with the reconstruction of a roadway on the above named project. Plans for this project are located in the Municipal Offices. **A ROW Plans showing the impacts to my property are attached.** The purpose of this Right of Entry is to allow for changes and to carry out the work on my property as outlined below.

Grading to tie the limits of the proposed roadway and sidewalk to neighboring properties, as required for the improvement project.

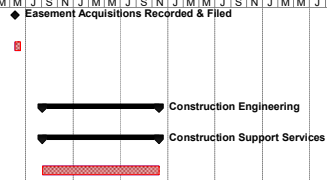
This Right of Entry is made of my/our free will. I/we waive my/our right(s) to an appraisal and compensation. I/we have been advised of our rights for just compensation under the provisions of Title III, Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended. This entry is to be made without prejudice to my rights in settlement of any claims for damages that may hereafter appear.

Granted by: _____ / _____
Owner(s) or Authorized Representative Date

Recommended by: _____ / _____
Authorized City/Town Official - Title Date

Note: An executed Affidavit from the municipality must be attached for this document to be valid for ROW Certification.

WBS	ID	Task Name	Start	Finish	Duration	Responsibility	half 1, 202	half 2, 202	half 1, 202	half 2, 202	half 1, 202	half 2, 202	half 1, 202	half 2, 202	half 1, 202	half 2, 202	half 1, 202	half 2, 202
							J	M	J	S	J	M	J	S	J	M	J	S
ROW.503.02.110	58	Easement Acquisitions Recorded & Filed	Tue 5/21/24	Tue 5/21/24	0d	Other.Municipality												
ROW.503.02.140	59	Pay Award of Damages	Wed 5/22/24	Mon 6/10/24	20d	Other.Municipality												
ROW.503.02.152	60	Town Obtains Owner Signatures on Right of Entry Document	Sun 10/29/23	Mon 2/5/24	100d	Other.Municipality												
CSS	61	Construction Engineering	Wed 9/4/24	Thu 11/27/25	450d													
CSS.900	62	Construction Support Services	Wed 9/4/24	Thu 11/27/25	450d													
CSS.900.010	63	Construction Support Services	Wed 9/4/24	Thu 11/27/25	450d	Consultants.DES												



TOWN OF BREWSTER PUBLIC WORKS DEPARTMENT

TOWN OF BREWSTER
MILLSTONE ROAD
TITLE SHEET & INDEX
SHEET 01 OF 123

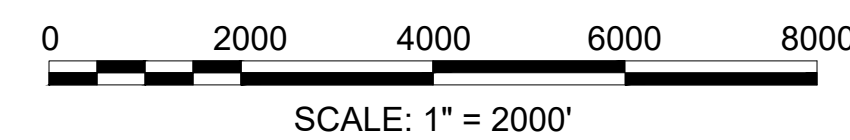
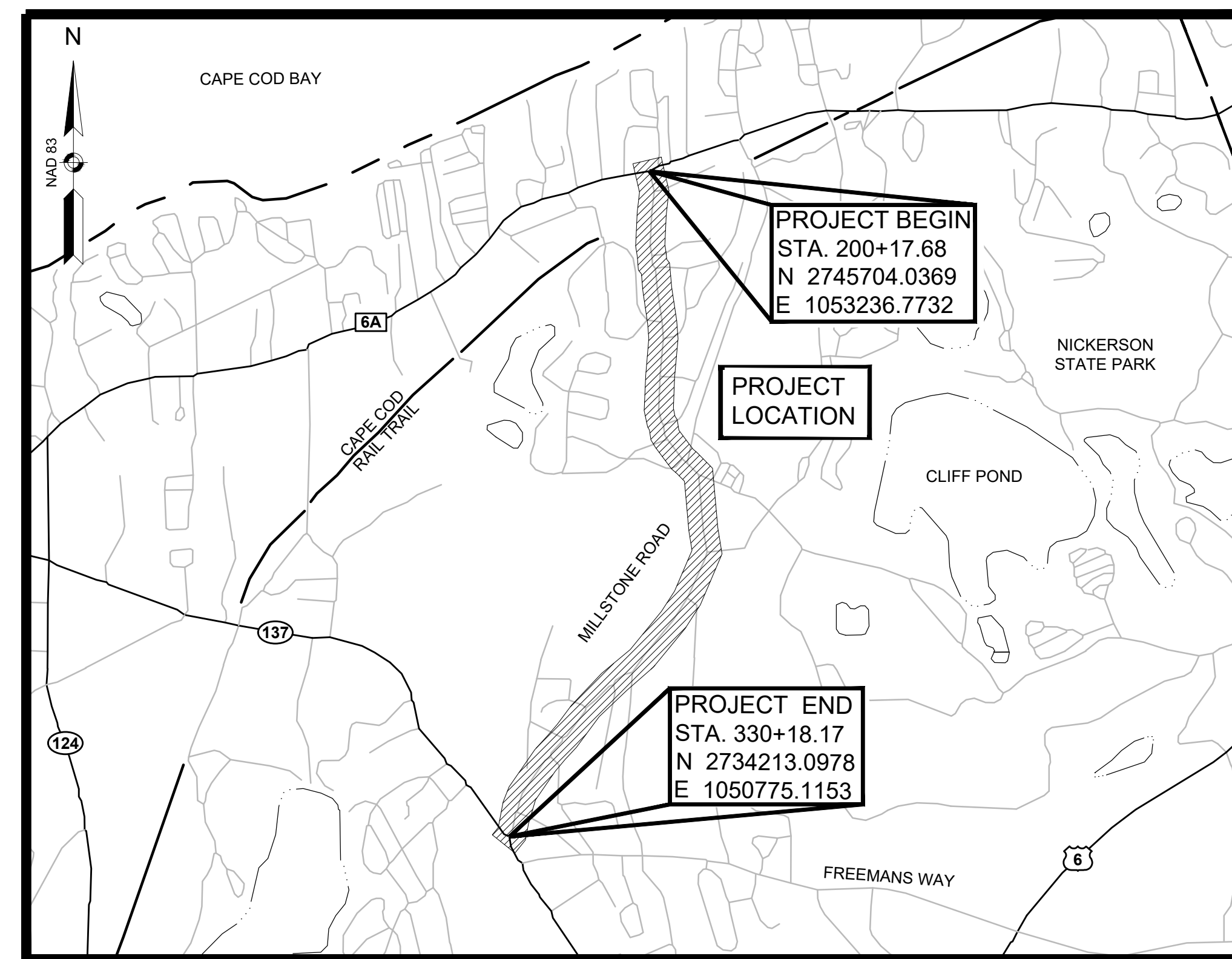
PLAN AND PROFILE OF MILLSTONE ROAD

IN THE TOWN OF BREWSTER BARNSTABLE COUNTY

THE OCTOBER 2017 CONSTRUCTION STANDARD DETAILS, THE 2015 OVERHEAD SIGNAL STRUCTURE AND FOUNDATION STANDARD DRAWINGS, MASSDOT TRAFFIC MANAGEMENT PLANS AND DETAIL DRAWINGS, THE 1990 STANDARD DRAWINGS FOR SIGNS AND SUPPORTS, THE 1968 STANDARD DRAWINGS FOR TRAFFIC SIGNALS AND HIGHWAY LIGHTING, AND THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK.

INDEX

SHEET NO.	DESCRIPTION
01	TITLE SHEET & INDEX
02	LEGEND
03	ABBREVIATIONS & GENERAL NOTES
04	KEY PLAN
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07	CONSTRUCTION BASELINE TABLES
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LENGTH OF PROJECT = 13,022 FEET = 2.466 MILES

100% DESIGN

DESIGN DESIGNATION (MILLSTONE ROAD)

DESIGN SPEED 35-40 MPH
FUNCTIONAL CLASSIFICATION MINOR ARTERIAL

DATE	DESCRIPTION	REV #

ENGINEER		DATE
 Vanasse Hangen Brustlin, Inc. 101 Walnut St., PO Box 9151 Watertown, MA 02472 617.924.1770 FAX 617.924.2286		
DESIGNED BY MLD	APPROVED BY SHK	SHEET OF 01 123
DRAWN BY DJM	DTFG CHECKED BY SJR	WHB CAD FILE NAME 14170.00_HD(COV) - 01
CHECKED BY SJR	DATE OCTOBER, 2022	JOB NO. 14170.00

GENERAL SYMBOLS

EXISTING	PROPOSED	DESCRIPTION
		JERSEY BARRIER
		CATCH BASIN
		CATCH BASIN CURB INLET
		FLAG POLE
		GAS PUMP
		MAIL BOX
		POST SQUARE
		POST CIRCULAR
		WELL
		ELECTRIC HANDHOLE
		FENCE GATE POST
		GAS GATE
		BORING HOLE
		MONITORING WELL
		TEST PIT
		HYDRANT
		LIGHT POLE
		COUNTY BOUND
		GPS POINT
		CABLE MANHOLE
		DRAINAGE MANHOLE
		ELECTRIC MANHOLE
		GAS MANHOLE
		MISC MANHOLE
		SEWER MANHOLE
		TELEPHONE MANHOLE
		WATER MANHOLE
		MASSACHUSETTS HIGHWAY BOUND
		MONUMENT
		STONE BOUND
		TOWN OR CITY BOUND
		TRAVERSE OR TRIANGULATION STATION
		TROLLEY POLE OR GUY POLE
		TRANSMISSION POLE
		UTILITY POLE W/ FIREBOX
		UTILITY POLE WITH DOUBLE LIGHT
		UTILITY POLE W / 1 LIGHT
		UTILITY POLE
		BUSH
		TREE
		STUMP
		SWAMP / MARSH
		WATER GATE
		PARKING METER
		OVERHEAD CABLE/WIRE
		CURBING
		CONTOURS (ON-THE-GROUND SURVEY DATA)
		CONTOURS (PHOTOGRAMMETRIC DATA)
		UNDERGROUND DRAIN PIPE (DOUBLE LINE 24 INCH AND OVER)
		UNDERGROUND ELECTRIC DUCT (DOUBLE LINE 24 INCH AND OVER)
		UNDERGROUND GAS MAIN (DOUBLE LINE 24 INCH AND OVER)
		UNDERGROUND SEWER MAIN (DOUBLE LINE 24 INCH AND OVER)
		UNDERGROUND TELEPHONE DUCT (DOUBLE LINE 24 INCH AND OVER)
		UNDERGROUND WATER MAIN (DOUBLE LINE 24 INCH AND OVER)
		BALANCED STONE WALL
		GUARD RAIL - STEEL POSTS
		GUARD RAIL - WOOD POSTS
		CHAIN LINK OR METAL FENCE
		WOOD FENCE
		HAY BALES/SILT FENCE
		TREE LINE
		SAWCUT LINE
		TOP OR BOTTOM OF SLOPE
		LIMIT OF EDGE OF PAVEMENT OR COLD PLANE AND OVERLAY
		BANK OF RIVER OR STREAM
		BORDER OF WETLAND
		100 FT WETLAND BUFFER
		200 FT RIVERFRONT BUFFER
		STATE HIGHWAY LAYOUT
		TOWN OR CITY LAYOUT
		COUNTY LAYOUT
		RAILROAD SIDELINE
		TOWN OR CITY BOUNDARY LINE
		PROPERTY LINE OR APPROXIMATE PROPERTY LINE
		EASEMENT

TRAFFIC SYMBOLS

EXISTING	PROPOSED	DESCRIPTION
		CONTROLLER PHASE ACTUATED
		TRAFFIC SIGNAL HEAD (SIZE AS NOTED)
		WIRE LOOP DETECTOR (6' x 6' TYP UNLESS OTHERWISE SPECIFIED)
		VIDEO DETECTION CAMERA
		MICROWAVE DETECTOR
		PEDESTRIAN PUSH BUTTON, SIGN (DIRECTIONAL ARROW AS SHOWN) AND SADDLE
		EMERGENCY PREEMPTION CONFIRMATION STROBE LIGHT
		VEHICULAR SIGNAL HEAD
		VEHICULAR SIGNAL HEAD, OPTICALLY PROGRAMMED
		FLASHING BEACON
		PEDESTRIAN SIGNAL HEAD, (TYPE AS NOTED OR AS SPECIFIED)
		RAILROAD SIGNAL
		SIGNAL POST AND BASE (ALPHA-NUMERIC DESIGNATION NOTED)
		MAST ARM, SHAFT AND BASE (ARM LENGTH AS NOTED)
		HIGH MAST POLE OR TOWER
		SIGN AND POST
		SIGN AND POST (2 POSTS)
		MAST ARM WITH LUMINAIRE
		OPTICAL PRE-EMPTION DETECTOR
		CONTROL CABINET, GROUND MOUNTED
		CONTROL CABINET, POLE MOUNTED
		FLASHING BEACON CONTROL AND METER PEDESTAL
		LOAD CENTER ASSEMBLY
		PULL BOX 12"x12" (OR AS NOTED)
		ELECTRIC HANDHOLE 12"x24" (OR AS NOTED)
		TRAFFIC SIGNAL CONDUIT

PAVEMENT MARKINGS SYMBOLS

EXISTING	PROPOSED	DESCRIPTION
		PAVEMENT ARROW - WHITE
		LEGEND "ONLY" - WHITE
		STOP LINE
		CROSSWALK
		SOLID WHITE LINE
		SOLID YELLOW LINE
		BROKEN WHITE LINE
		BROKEN YELLOW LINE
		DOTTED WHITE LINE
		DOTTED YELLOW LINE
		DOTTED WHITE LINE EXTENSION
		DOTTED YELLOW LINE EXTENSION
		DOUBLE WHITE LINE
		DOUBLE YELLOW LINE

GENERAL ABBREVIATIONS

ABAN	ABANDON
ADJ	ADJUST
APPROX	APPROXIMATE
A.C.	ASPHALT CONCRETE
ACCM PIPE	ASPHALT COATED CORRUGATED METAL PIPE
BIT.	BITUMINOUS
BC	BOTTOM OF CURB
BD.	BOUND
BL	BASELINE
BLDG	BUILDING
BM	BENCHMARK
BO	BY OTHERS
BOS	BOTTOM OF SLOPE
BR.	BRIDGE
CC	CEMENT CONCRETE
CCM	CEMENT CONCRETE MASONRY
CEM	CEMENT
CI	CURB INLET
CLF	CHAIN LINK FENCE
CL	CENTERLINE
CO.	COUNTY
CONC	CONCRETE
CONT	CONTINUOUS / CONTINUED
CONST	CONSTRUCTION
CR GR	CROWN GRADE
DIA	DIAMETER
DWY	DRIVEWAY
ELEV (or EL.)	ELEVATION
EMB	EMBANKMENT
EOP	EDGE OF PAVEMENT
EQ	EQUAL
EXIST (or EX)	EXISTING
EXC	EXCAVATION
FDN.	FOUNDATION
FDP	FULL DEPTH PAVEMENT
FLDSTN	FIELDSTONE
GAR	GARAGE
GD	GROUND
GRAN	GRANITE
GRAV	GRAVEL
GRD	GUARD
HMA	HOT MIX ASPHALT
HOR	HORIZONTAL
HWY	HIGHWAY
JCT	JUNCTION
LOAM	LOAM BORROW
LSA	LANDSCAPED AREA
LT	LEFT
MAHWL	MEAN AVERAGE HIGH WATER LINE
MAX	MAXIMUM
MB	MAILBOX
MHB	MASSACHUSETTS HIGHWAY BOUND
MIN	MINIMUM
MOD	MODIFIED
MSE	MECHANICALLY STABILIZED EARTH
NERR	NEW ENGLAND RAILROAD
NIC	NOT IN CONTRACT
NO.	NUMBER
NTS	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
P.G.L.	PROFILE GRADE LINE
PREV	PREVIOUS/PREVIOUSLY
PROJ	PROJECT
PROP	PROPOSED
PSB	PLANTABLE SOIL BORROW
PVMT	PAVEMENT
R&D	REMOVE AND DISCARD
R&R	REMOVE AND RESET
R&S	REMOVE AND STACK
RD	ROAD
RDWY	ROADWAY
REB	REBUILD
REM	REMOVE
REMOD	REMODEL
RET	RETAIN
RET WALL	RETAINING WALL
ROW	RIGHT OF WAY
RR	RAILROAD
RT	RIGHT
SB	STONE BOUND
SHLD	SHOULDER
SHLO/S.H.L.O.	STATE HIGHWAY LAYOUT LINE

GENERAL ABBREVIATIONS (CONT)

ST	STREET
STA	STATION
STD	STANDARD
SW	SIDEWALK
TEMP	TEMPORARY
TC	TOP OF CURB
TOS	TOP OF SLOPE
TRANS	TRANSITION
TRM	TURF REINFORCING MAT
TYP	TYPICAL
VAR	VARIES
VERT	VERTICAL
WCR	WHEEL CHAIR RAMP
WP	WORKING POINT
X-SECT	CROSS SECTION

UTILITY ABBREVIATIONS

CB	CATCH BASIN
CBCI	CATCH BASIN WITH CURB INLET
CIP	CAST IRON PIPE
CIT	CHANGE IN TYPE
CMP	CORRUGATED METAL PIPE
CSP	CORRUGATED STEEL PIPE
DI	DROP INLET
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
F&C	FRAME AND COVER
F&G	FRAME AND GRATE
GG	GAS GATE
GI	GUTTER INLET
GIP	GALVANIZED IRON PIPE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HDW	HEADWALL
HYD	HYDRANT
INV	INVERT
LB	LEACHING BASIN
LG	LEACHING GALLEY
LPL	LIGHT POLE
MH	MANHOLE
MTR	METER
MW	MONITORING WELL
OHW	OVERHEAD WIRE
PED	PEDESTAL
PVC	POLYVINYLCHLORIDE PIPE
PWW	PAVED WATER WAY
RCP	REINFORCED CONCRETE PIPE
SMH	SEWER MANHOLE
TSV&B	TAPPING SLEEVE VALVE & BOX
UP	UTILITY POLE
WG	WATER GATE
WIP	WROUGHT IRON PIPE
WM	WATER METER/WATER MAIN

ALIGNMENT & GRADING ABBREVIATIONS

CC	CENTER OF CURVE
HP	HIGH POINT
I.T.	INTERSECTION OF TANGENT
LP	LOW POINT
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PNT	POINT
POC	POINT ON CURVE
POT	POINT ON TANGENT
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENCY
∠PT	ANGLE POINT
R	RADIUS OF CURVATURE
T	TANGENT DISTANCE OF CURVE
TAN	TANGENT
<u>25.45</u>	SPOT ELEVATION

PROFILE ABBREVIATIONS

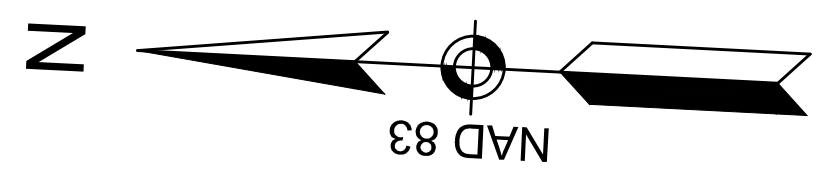
AD	ALGEBRAIC DIFFERENCE IN RATES OF GRADE
HSD	HORIZONTAL SIGHT DISTANCE
K	RATE OF VERTICAL CURVATURE
L	LENGTH OF CURVE
PVC	POINT OF VERTICAL CURVATURE
PVCC	POINT OF VERTICAL COMPOUND CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVRC	POINT OF VERTICAL REVERSE CURVATURE
PVT	POINT OF VERTICAL TANGENCY
SSD	STOPPING SIGHT DISTANCE
VC	VERTICAL CURVE

TRAFFIC & SIGNAL ABBREVIATIONS

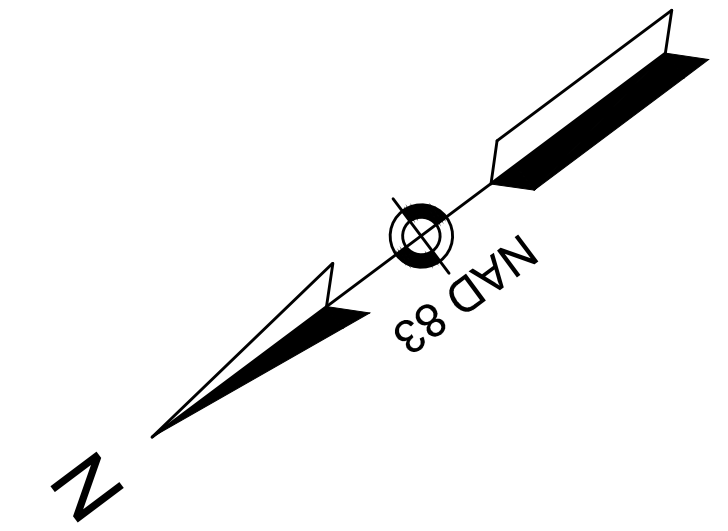
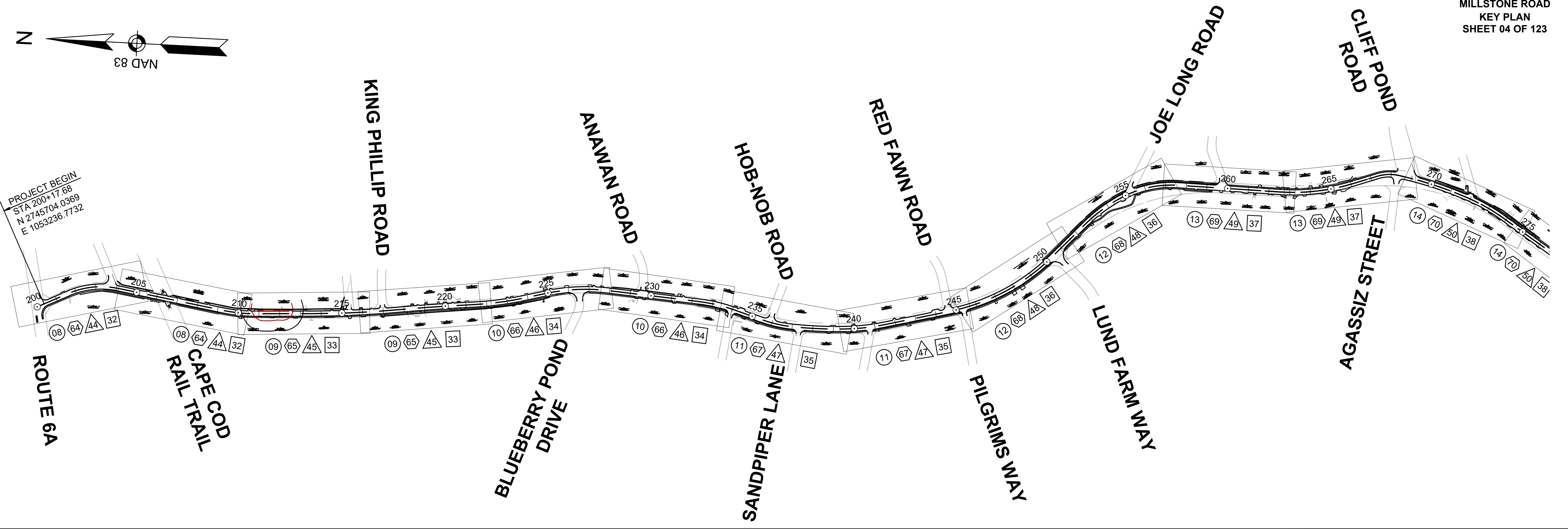
AADT	ANNUAL AVERAGE DAILY TRAFFIC
CAB.	CABINET
CCVE	CLOSED CIRCUIT VIDEO EQUIPMENT
COND	CONDUIT
CW	CROSS WALK
DW	STEADY DON'T WALK - PORTLAND ORANGE
DHV	DESIGN HOURLY VOLUME
FDW	FLASHING DON'T WALK
FR	FLASHING CIRCULAR RED
FRL	FLASHING RED LEFT ARROW
FRR	FLASHING RED RIGHT ARROW
FY	FLASHING CIRCULAR AMBER
FYL	FLASHING AMBER LEFT ARROW
FYR	FLASHING AMBER RIGHT ARROW
G	STEADY CIRCULAR GREEN
GL	STEADY GREEN LEFT ARROW
GR	STEADY GREEN RIGHT ARROW
GSL	STEADY GREEN SLASH LEFT ARROW
GSR	STEADY GREEN SLASH RIGHT ARROW
GV	STEADY GREEN VERTICAL ARROW
HH	HAND HOLE
OL	OVERLAP
PB	PULL BOX
PED	PEDESTRIAN
PTZ	PAN, TILE, ZOOM
R	STEADY CIRCULAR RED
RL	STEADY RED LEFT ARROW
RR	STEADY RED RIGHT ARROW
SL	STOP LINE
T	TRUCK %
TS OR TR SIG	TRAFFIC SIGNAL
TSC	TRAFFIC SIGNAL CONDUIT
W	STEADY WALK
Y	STEADY CIRCULAR AMBER
YL	STEADY AMBER LEFT ARROW

GENERAL NOTES:

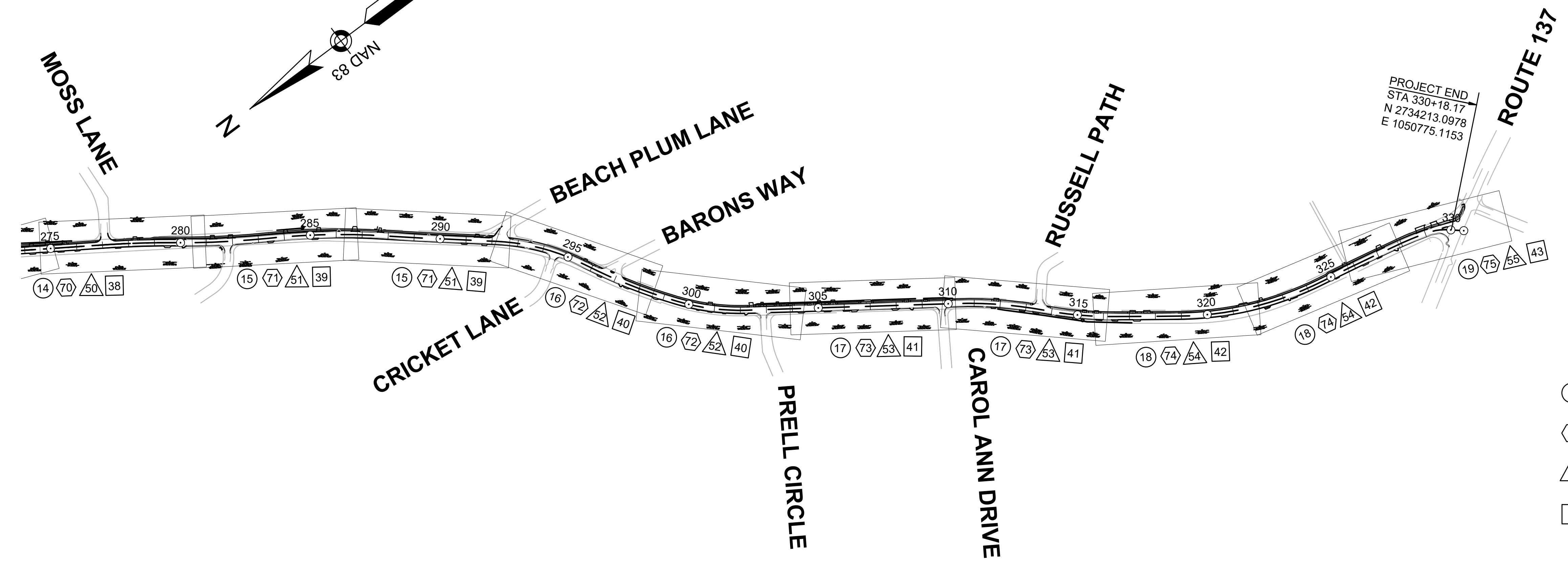
- EXISTING CONDITIONS AND TOPOGRAPHICAL INFORMATION FROM AN ACTUAL FIELD SURVEY CONDUCTED BY J.M. O'REILLY IN JULY 2018.
- THE HORIZONTAL CONTROL IS BASED ON THE MASSACHUSETTS MAINLAND STATE PLANE COORDINATE SYSTEM AND THE NATIONAL GEODETIC SURVEY (NAD83). ALL ELEVATION IS US FEET, REFERENCED TO THE NORTH AMERICA VERTICAL DATUM OF 1988 (NAVD88).
- THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND GRADES IN THE FIELD BEFORE COMMENCING WORK AND PROMPTLY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- DRAINAGE ELEVATIONS ARE PROVIDED FOR DESIGN PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY BY TEST PIT, THE LOCATIONS OF EXISTING UTILITIES WHICH MAY CONFLICT WITH THE PROPOSED DRAINAGE DESIGN. ANY FIELD ADJUSTMENTS REQUIRED WILL BE MADE AS APPROVED OR DIRECTED BY THE ENGINEER. ONLY AFTER THE CONTRACTOR VERIFIES ELEVATIONS FOR THE CONSTRUCTABILITY OF THE DRAINAGE SYSTEM SHALL ANY STRUCTURES BE ORDERED. ANY FIELD ADJUSTMENTS TO LINE & GRADE UP TO A DEPTH OF 5' SHALL BE INCLUDED IN THE COST OF THE PIPE. PIPE EXCAVATION GREATER THAN 5' WILL BE PAID UNDER CLASS B TRENCH EXCAVATION.
- THE CONTRACTOR SHALL VERIFY BY TEST PIT, THE LOCATIONS OF EXISTING UTILITIES WHICH MAY CONFLICT WITH PROPOSED UTILITIES. ANY FIELD ADJUSTMENTS REQUIRED WILL BE MADE AS APPROVED OR DIRECTED BY THE ENGINEER.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE AND SEWER STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES AND BOXES TO THE PROPOSED FINISH SURFACE GRADE. REQUIRED NEW MASONRY SHALL BE CLAY BRICK.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- EXISTING UTILITY POLES WILL BE RELOCATED BY OTHERS IF REQUIRED.
- TREES AND SHRUBS WITHIN THE LIMITS OF GRADING SHALL BE REMOVED ONLY UPON APPROVAL OF THE ENGINEER.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT NO EXPENSE TO THE OWNER.
- THE TERM "PROPOSED" (PROP) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET" (R&R).
- JOINTS BETWEEN NEW ASPHALT CONCRETE ROADWAY PAVEMENT AND SAWCUT EXISTING PAVEMENT SHALL BE SEALED WITH BITUMEN AND BACKSANDED.
- AFTER MILLING OPERATIONS AND PRIOR TO PAVING THE SUPERPAVE INTERMEDIATE OR SURFACES COURSES THE ENGINEER SHALL EVALUATE THE MILLED SURFACE AND SHALL APPLY THE APPROPRIATE REPAIR METHOD IF REQUIRED.
- ALL EXISTING STATE, COUNTY, AND TOWN LOCATION LINES AND PRIVATE PROPERTY LINES HAVE BEEN ESTABLISHED FROM AVAILABLE INFORMATION AND THEIR EXACT LOCATIONS ARE NOT GUARANTEED.
- THE CONTRACTOR SHALL EXERCISE DUE CARE WHEN WORKING AROUND ALL PROPERTY BOUNDS WHICH ARE TO REMAIN. SHOULD ANY DAMAGE TO A BOUND RESULT FROM THE ACTIONS OF THE CONTRACTOR, THE CONTRACTOR SHALL HAVE THE BOUND REPLACED AND/OR REALIGNED BY A LICENSED PROFESSIONAL SURVEYOR AS DIRECTED BY THE ENGINEER AT NO ADDITIONAL COST.
- DISPOSAL OF ALL SURPLUS MATERIAL SHALL BE AS APPROVED BY THE ENGINEER AND TOWN.
- LATERAL DRAIN PIPES SHALL BE INSTALLED WITH A PITCH OF 0.01 FOOT PER FOOT (MINIMUM) UNLESS NOTED OTHERWISE ON THE PLANS.
- THE CONTRACTOR SHALL COORDINATE THE NEW LOCATION OF ALL PRIVATE MAILBOXES THAT ARE TO BE REMOVED AND RESET WITH THE PROPERTY OWNER.
- ALL ABANDONED UNDERGROUND PIPE SHALL BE CAPPED WITH A MASONRY PLUG AS INDICATED AND ABANDONED IN PLACE UNLESS NOTED OTHERWISE.



PROJECT BEGIN
STA 200+17.68
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E 1053236.7732

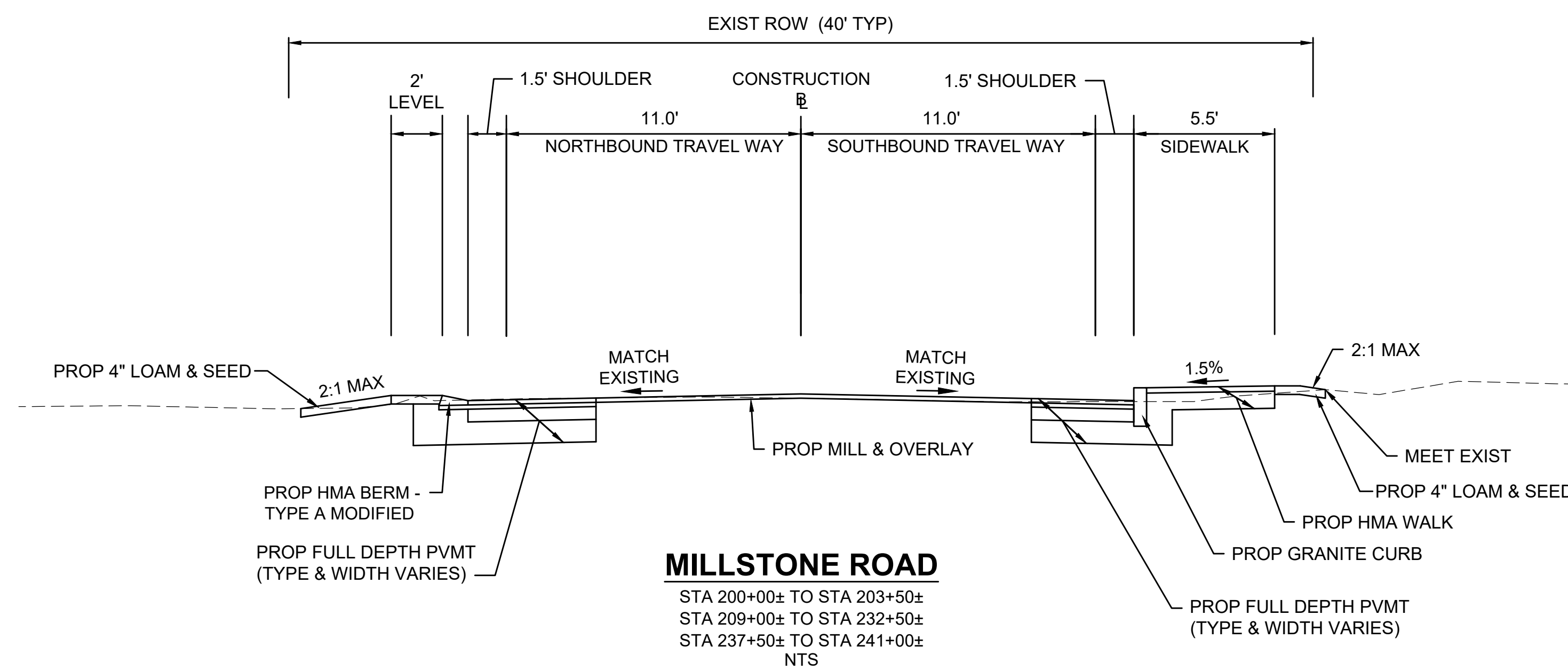
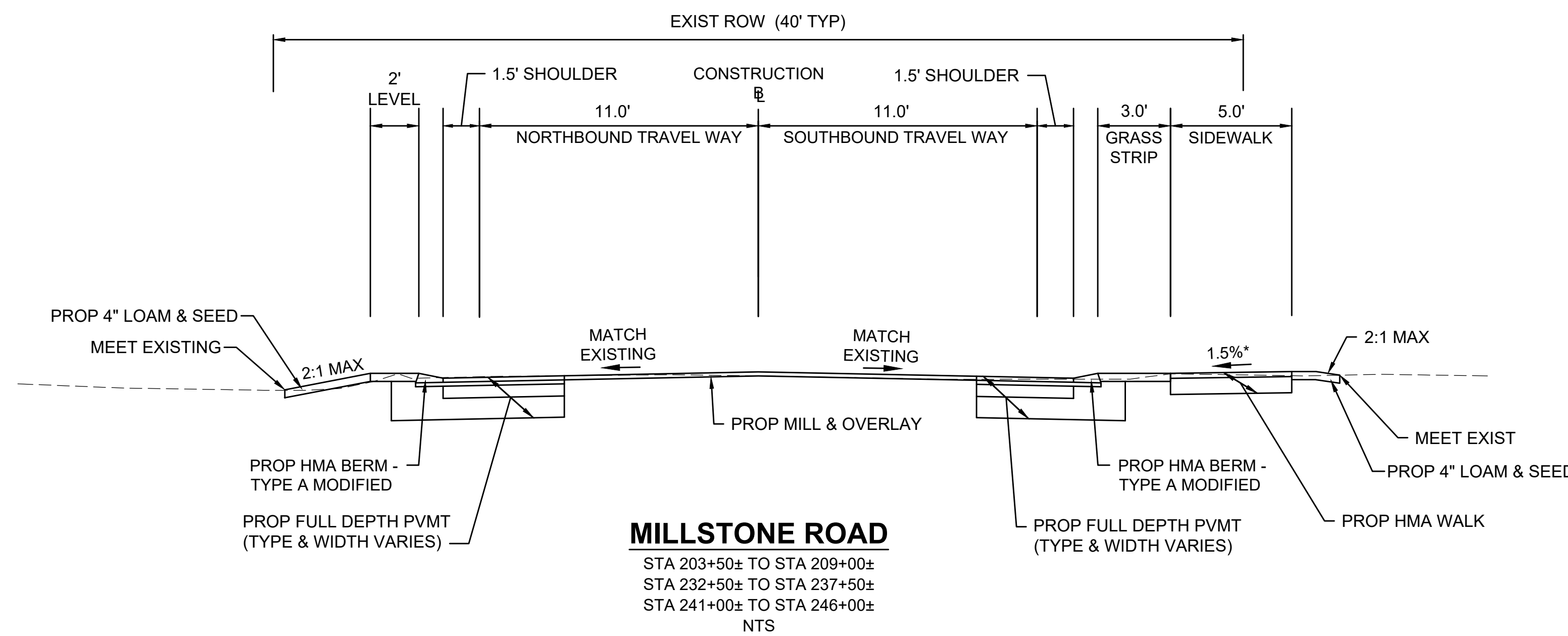
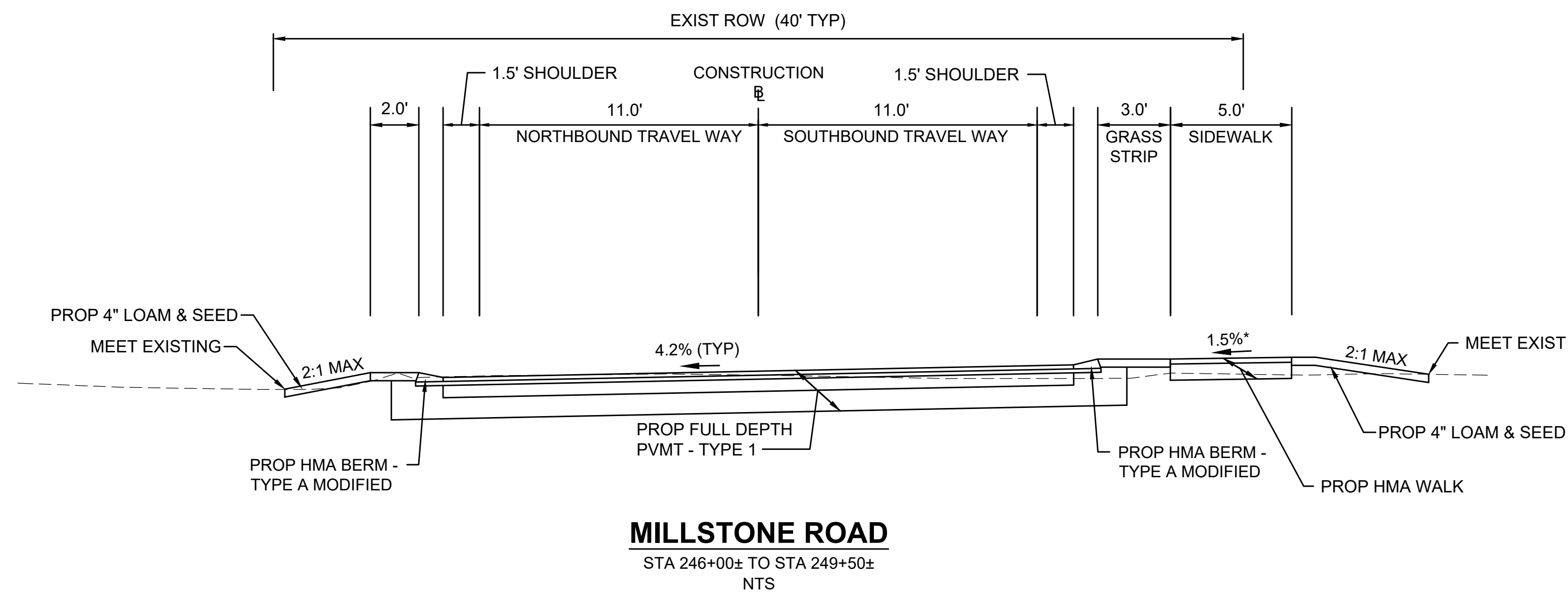


PROJECT END
STA 330+18.17
N 2734213.0978
E 1050775.1153



LEGEND

- # CONSTRUCTION PLANS
- # UTILITY PLANS
- # TRAFFIC PLANS
- # ALIGNMENT & GRADING PLANS
- # SHEET NUMBER



PAVEMENT NOTES

PROPOSED FULL DEPTH PAVEMENT (TYPE 1)

SURFACE:	1 3/4"	SUPERPAVE SURFACE COURSE 12.5 (SSC-12.5) OVER
	1 3/4"	SUPERPAVE INTERMEDIATE COURSE 12.5 (SIC-12.5)
BASE:	3.5"	SUPERPAVE BASE COURSE 25.0 (SBC-25.0)
SUBBASE:	4"	DENSE GRADED CRUSHED STONE OVER
	8"	GRAVEL BORROW, TYPE b

PROPOSED FULL DEPTH PAVEMENT (TYPE 2) - WIDTH LESS THAN 3 FEET

SURFACE:	1 3/4"	SUPERPAVE SURFACE COURSE 12.5 (SSC-12.5) OVER
	1 3/4"	SUPERPAVE INTERMEDIATE COURSE 12.5 (SIC-12.5)
BASE:	6"	CEMENT CONCRETE BASE COURSE
SUBBASE:	4"	DENSE GRADED CRUSHED STONE OVER
	8"	GRAVEL BORROW, TYPE b

PROPOSED PAVEMENT MILLING AND OVERLAY

SURFACE:	1 3/4"	SUPERPAVE SURFACE COURSE 12.5 (SSC-12.5) OVER
	2 1/4"	SUPERPAVE INTERMEDIATE COURSE 12.5 (SIC-12.5)
MILLING:	3"	PAVEMENT MICROMILLING

PROPOSED HOT MIX ASPHALT DRIVEWAY

SURFACE:	1 1/2"	SUPERPAVE SURFACE COURSE 9.5 (SSC-9.5) OVER
	2"	SUPERPAVE INTERMEDIATE COURSE 12.5 (SIC-12.5)
SUBBASE:	8"	GRAVEL BORROW, TYPE b

PROPOSED HOT MIX ASPHALT WALK

SURFACE:	1"	SUPERPAVE SURFACE COURSE 9.5 (SSC-9.5) OVER
	1 1/2"	SUPERPAVE INTERMEDIATE COURSE 12.5 (SIC-12.5)
SUBBASE:	8"	GRAVEL BORROW, TYPE b

PROPOSED CEMENT CONCRETE WHEELCHAIR RAMP

SURFACE:	4"	CEMENT CONCRETE
		AIR ENTRAINED 4000 PSI, 3/4", 610
SUBBASE:	8"	GRAVEL BORROW, TYPE b

PROPOSED SHELL DRIVEWAY

SURFACE:	4"	SHELLS
SUBBASE:	8"	GRAVEL BORROW, TYPE b

PROPOSED GRAVEL DRIVEWAY

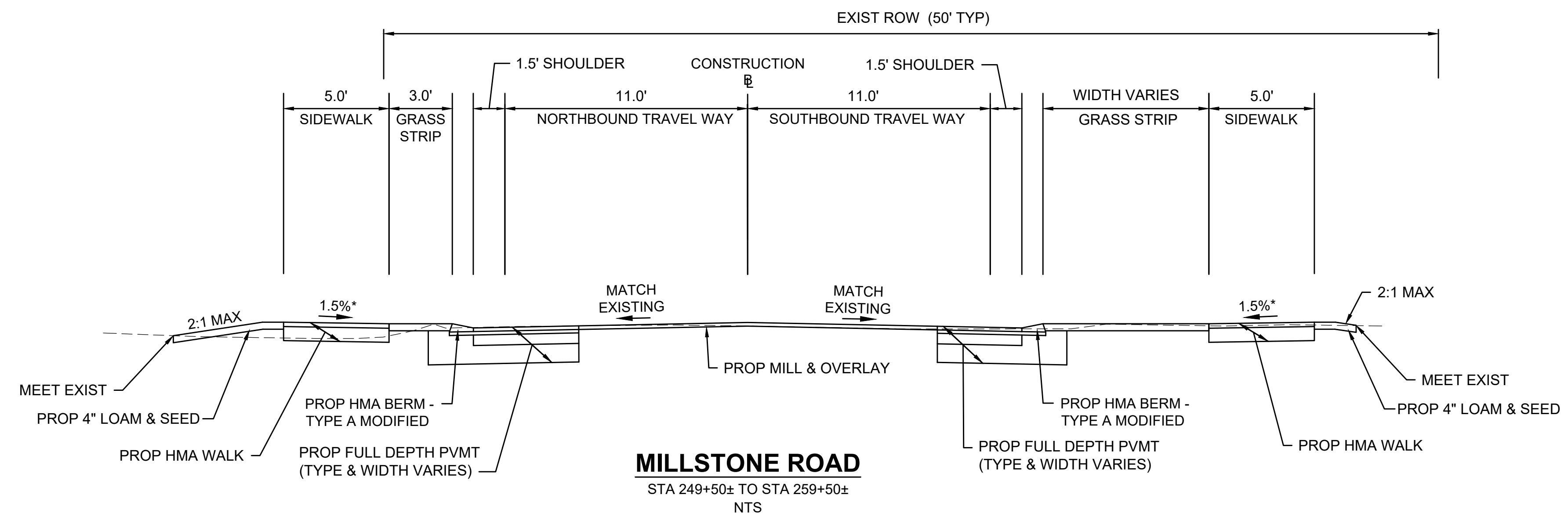
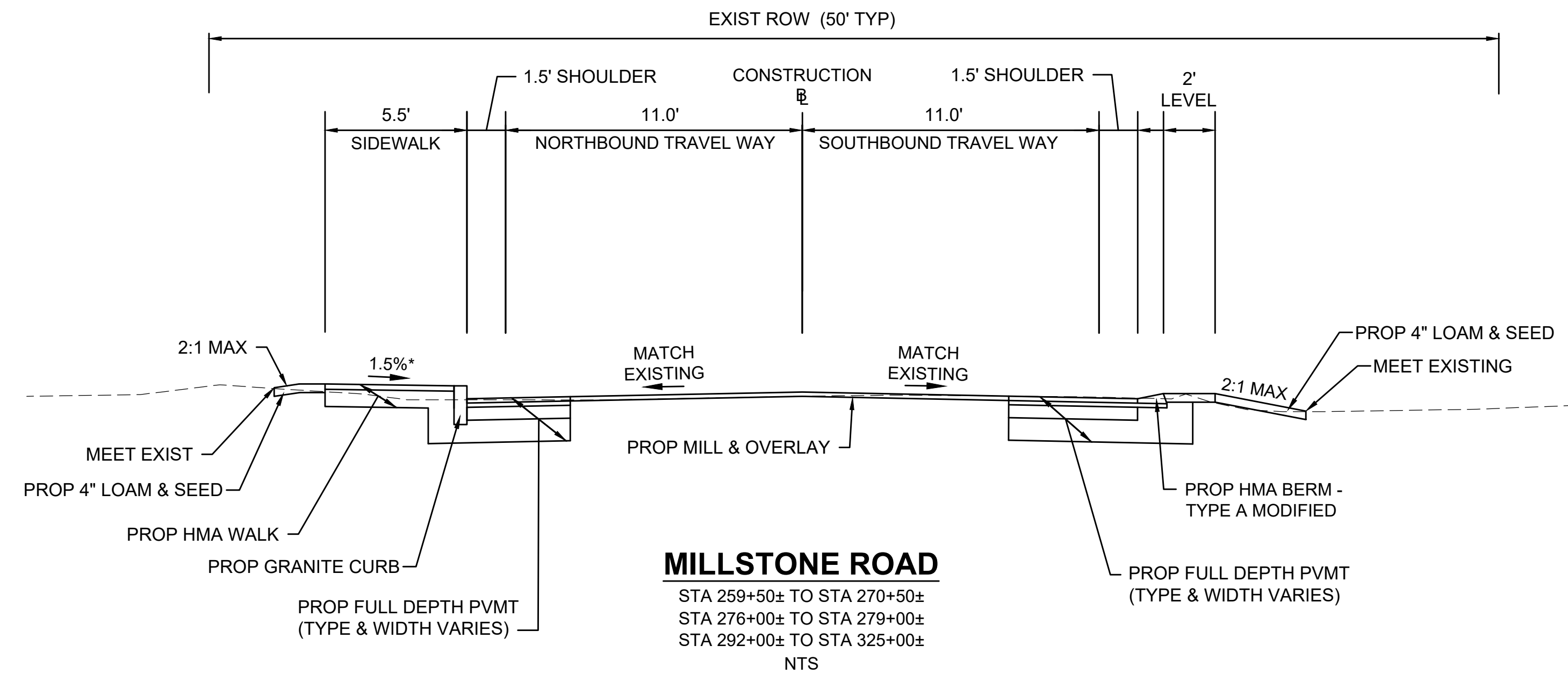
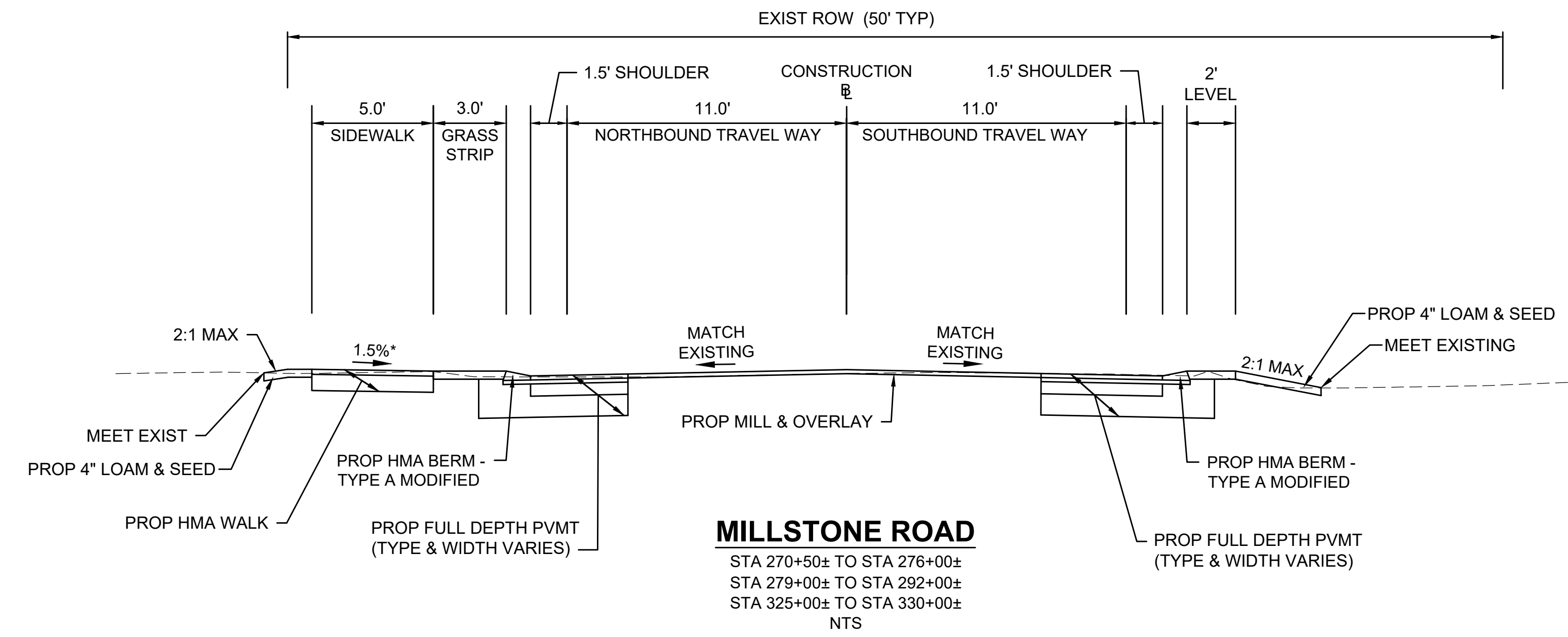
SURFACE:	8"	GRAVEL BORROW, TYPE b
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PROPOSED COBBLESTONE DRIVEWAY

SURFACE:	COBBLESTONES REMOVED AND RELAID, SET IN MORTAR	
SUBBASE:	8"	GRAVEL BORROW, TYPE b

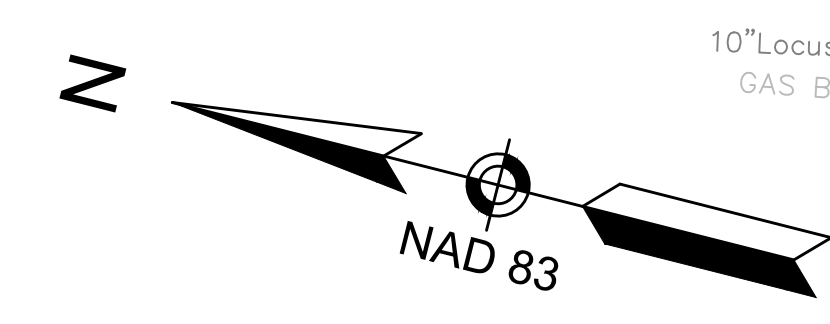
GENERAL NOTES:

1. ALL HOT MIX ASPHALT PAVEMENTS SHALL BE PER LATEST EDITION OF SECTION 450 HOT MIX ASPHALT AND SECTION M3 ASPHALTIC MATERIALS.
2. ALL HMA FOR PATCHING, ASPHALT EMULSION FOR TACK COAT, AND HMA JOINT SEALANT SHALL BE APPLIED PER SECTION 450 AND M3.
3. HMA JOINT SEALANT (ITEM 453.) SHALL BE APPLIED IN SURFACE COURSE AT ALL VERTICAL COLD JOINTS PRIOR TO HMA PAVING.
4. ALL HOT MIX ASPHALT WALKS AND DRIVEWAYS SHALL BE ESTIMATED AND PAID FOR UNDER ITEM 702 OF STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
5. SURFACE PAVING TO BE COMPLETED AT THE END OF THE PROJECT AND AS DIRECTED WHEN IT CAN BE PLACED IN ITS ENTIRETY.
6. ALL FRAMES AND SERVICE BOXES SHALL BE ADJUSTED TO INTERMEDIATE COURSE AND ADJUSTED LEVEL WITH SURFACE COURSE PRIOR TO PAVING WITH HMA JOINT SEALANT.
7. WHERE EXISTING CROSS SLOPE EXCEEDS 6% USE A LEVELING COURSE TO REDUCE SLOPE TO 6%.



MILLSTONE RD ALIGNMENT CONSTRUCTION BASELINE DATA								
NUMBER	STARTING STATION	NORTHING	EASTING	CURVE DATA	LINE DATA	ENDING STATION	NORTHING	EASTING
L1	200+00.00	2745719.9080	1053228.9749		S26°10'03"E 164.63'	201+64.63	2745572.1515	1053301.5759
C1	201+64.63	2745572.1515	1053301.5759	R= 400.00' Δ= 35°06'04" L=245.05' T=126.51'		204+09.68	2745333.6367	1053337.7199
L2	204+09.68	2745333.6367	1053337.7199		S8°56'01"W 515.48'	209+25.16	2744824.4131	1053257.6713
C2	209+25.16	2744824.4131	1053257.6713	R= 765.00' Δ= 11°59'30" L=160.11' T=80.35'		210+85.27	2744664.8064	1053249.4802
L3	210+85.27	2744664.8064	1053249.4802		S3°03'29"E 267.32'	213+52.58	2744397.8697	1053263.7405
C3	213+52.58	2744397.8697	1053263.7405	R= 5000.00' Δ= 4°53'49" L=427.33' T=213.80'		217+79.92	2743972.6406	1053304.7331
C4	217+79.92	2743972.6406	1053304.7331	R= 9000.00' Δ= 2°16'36" L=357.63' T=178.84'		221+37.55	2743617.5605	1053347.1770
C5	221+37.55	2743617.5605	1053347.1770	R= 1500.00' Δ= 9°13'44" L=241.61' T=121.07'		223+79.15	2743380.0969	1053390.2989
L4	223+79.15	2743380.0969	1053390.2989		S14°54'24"E 106.28'	224+85.43	2743277.3948	1053417.6389
C6	224+85.43	2743277.3948	1053417.6389	R= 950.00' Δ= 18°54'03" L=313.39' T=158.13'		227+98.82	2742966.8410	1053447.3034
L5	227+98.82	2742966.8410	1053447.3034		S3°59'38"W 435.02'	232+33.84	2742532.8788	1053417.0037
C7	232+33.84	2742532.8788	1053417.0037	R= 770.00' Δ= 12°34'05" L=168.90' T=84.79'		234+02.74	2742367.0202	1053386.9280
L6	234+02.74	2742367.0202	1053386.9280		S16°33'43"W 152.11'	235+54.85	2742221.2170	1053343.5675
C8	235+54.85	2742221.2170	1053343.5675	R= 620.00' Δ= 13°18'28" L=144.00' T=72.33'		236+98.86	2742079.6792	1053318.8447
C9	236+98.86	2742079.6792	1053318.8447	R= 2000.00' Δ= 7°30'58" L=262.37' T=131.37'		239+61.22	2741817.5114	1053321.1506
C10	239+61.22	2741817.5114	1053321.1506	R= 1050.00' Δ= 10°12'17" L=187.01' T=93.75'		241+48.24	2741633.2359	1053351.5397
L7	241+48.24	2741633.2359	1053351.5397		S14°28'00"E 322.53'	244+70.77	2741320.9316	1053432.1141
C11	244+70.77	2741320.9316	1053432.1141	R= 978.00' Δ= 33°02'50" L=564.09' T=290.13'		250+34.86	2740844.0369	1053718.5521
L8	250+34.86	2740844.0369	1053718.5521		S47°30'50"E 224.12'	252+58.98	2740692.6642	1053883.8270
C12	252+58.98	2740692.6642	1053883.8270	R= 765.00' Δ= 16°13'24" L=216.61' T=109.03'		254+75.59	2740525.8456	1054020.8641
C13	254+75.59	2740525.8456	1054020.8641	R= 510.00' Δ= 32°09'05" L=286.18' T=146.97'		257+61.77	2740253.3015	1054094.9888
L9	257+61.77	2740253.3015	1054094.9888		S0°51'39"W 490.16'	262+51.93	2739763.1964	1054087.6254
C15	268+35.49	2739195.1641	1054196.5995	R= 1820.00' Δ= 11°21'19" L=360.70' T=180.94'		271+96.18	2738847.7032	1054102.0060
C16	271+96.18	2738847.7032	1054102.0060	R= 900.00' Δ= 12°00'31" L=188.63' T=94.66'		273+84.81	2738679.8088	1054016.7875
L10	273+84.81	2738679.8088	1054016.7875		S32°54'55"W 331.56'	277+16.37	2738401.4724	1053836.6181

MILLSTONE RD ALIGNMENT CONSTRUCTION BASELINE DATA								
NUMBER	STARTING STATION	NORTHING	EASTING	CURVE DATA	LINE DATA	ENDING STATION	NORTHING	EASTING
C17	277+16.37	2738401.4724	1053836.6181	R= 3500.00' Δ= 4°19'28" L=264.16' T=132.14'		279+80.53	2738185.3440	1053684.8476
C18	279+80.53	2738185.3440	1053684.8476	R= 3250.00' Δ= 6°20'59" L=360.18' T=180.27'		283+40.71	2737887.1234	1053483.2046
C19	283+40.71	2737887.1234	1053483.2046	R= 2700.00' Δ= 9°41'37" L=456.81' T=228.95'		287+97.51	2737516.7722	1053216.7202
C20	287+97.51	2737516.7722	1053216.7202	R= 6790.00' Δ= 1°14'20" L=146.81' T=73.41'		289+44.32	2737404.2533	1053122.4255
L11	289+44.32	2737404.2533	1053122.4255		S39°20'41"W 271.53'	292+15.85	2737194.2691	1052950.2813
C21	292+15.85	2737194.2691	1052950.2813	R= 835.00' Δ= 24°16'38" L=353.80' T=179.60'		295+69.65	2736975.5849	1052675.5211
C22	295+69.65	2736975.5849	1052675.5211	R= 2100.00' Δ= 10°32'17" L=386.24' T=193.66'		299+55.89	2736773.2187	1052347.1827
C23	299+55.89	2736773.2187	1052347.1827	R= 850.00' Δ= 18°08'07" L=269.04' T=135.66'		302+24.93	2736580.5468	1052161.0147
L12	302+24.93	2736580.5468	1052161.0147		S34°56'56"W 805.77'	310+30.70	2735920.0888	1051699.4352
C24	310+30.70	2735920.0888	1051699.4352	R= 1570.00' Δ= 12°28'18" L=341.75' T=171.55'		313+72.44	2735663.4005	1051474.8424
C25	313+72.44	2735663.4005	1051474.8424	R= 1400.00' Δ= 11°01'57" L=269.57' T=135.20'		316+42.02	2735463.0781	1051295.0755
L13	316+42.02	2735463.0781	1051295.0755		S36°23'18"W 245.74'	318+87.75	2735265.2563	1051149.2916
C26	318+87.75	2735265.2563	1051149.2916	R= 1250.00' Δ= 26°28'16" L=577.51' T=294.00'		324+65.26	2734738.9711	1050924.2395
C27	324+65.26	2734738.9711	1050924.2395	R= 8000.00' Δ= 2°24'54" L=337.18' T=168.62'		328+02.44	2734408.1495	1050859.1870
C28	328+02.44	2734408.1495	1050859.1870	R= 1200.00' Δ= 5°13'17" L=109.36' T=54.72'		329+11.80	2734302.5251	1050830.9979
C29	329+11.80	2734302.5251	1050830.9979	R= 195.00' Δ= 22°38'19" L=77.05' T=39.03'		329+88.85	2734235.4923	1050794.0351
L14	329+88.85	2734235.4923	1050794.0351		S40°11'32"W 61.15'	330+50.00	2734188.7838	1050754.5740



MILLSTONE ROAD RECORD BASELINE ADJUSTED TO MATCH ROAD BOUNDS LOCATED IN THE FIELD. STATION 130+42.81 MILLSTONE ROAD 2018 LAYOUT EQUALS STATION 130+41.88 1965 LAYOUT

STATION 130+42.81 MILLSTONE ROAD EQUALS STATION 311+21.34 STATE HIGHWAY - ROUTE 6A

R&R CURB
R&S CURB
PROP CEM CONC PCR
R&R CURB

ROUTE 6A
(STATE HIGHWAY - VARIABLE WIDTH)

LIMIT OF WORK STA 200+17.68 N 2745704.0369 E 1053236.7732

LIMIT OF WORK MATCH EXIST

PROP TEMP EASEMENT (TYP)

PROP CLEARING AND GRUBBING STA 200+46 TO STA 200+74

PROP TREE PROTECTION (TYP)

PROP COBBLESTONE DRIVE

PROP LOAM & SEED (TYP)

PROP FULL DEPTH PVMT - TYPE 2

PROP CLEARING & GRUBBING STA 202+42 TO STA 203+29

APPROX LIMIT OF GRADING (TYP)

RET BOUND

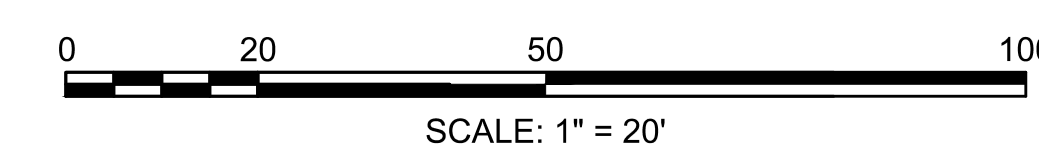
"PURITAN DRIVE"

PROP HMA BERM TYPE A MOD.

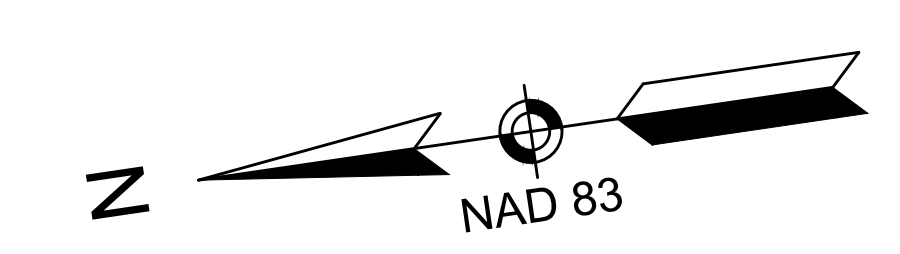
LEGEND

PCR NO.

DRIVEWAY NO.



FOR PROFILE SEE SHEET 20



N/F KEVIN L & KERRIE M OTIPOBY
45 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 101/75
DEED BOOK/PAGE: 27169/203

N/F PEARL K. & ALAN G. SIEGAL
CO-TRUSTEES / SIEGAL FAMILY TR
8 WHITE SWALLOW CARTWAY
ASSESSORS' MAP/PARCEL: 101/76
DEED BOOK/PAGE: 23314/258

N/F KOI POND REALTY LLC
99 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 101
DEED BOOK/PAGE: 30170/

MILLSTONE ROAD
(TOWN WAY - 40' WIDE)

CAPE COD RAIL TRAIL
(DEPARTMENT OF CONSERVATION & RECREATION 40' WIDE)

PROP HMA BERM TYPE A MOD. (TYP)

RET FENCE

APPROX LIMIT OF GRADING (TYP)

PROP FULL DEPTH PVMT - TYPE 1

PROP FULL DEPTH PVMT - TYPE 2

REM TREE

PROP MILL & OVERLAY

RET BOUND

R&R BOULDER

R&D POST

R&R BOULDER

PROP FULL DEPTH PVMT - TYPE 1

MILLSTONE RD CONST BL

MILLSTONE RD RECORD BL

PROP SAWCUT (TYP)

PROP LOAM & SEED (TYP)

PROP FULL DEPTH PVMT - TYPE 1

END HMA BERM TYPE A MOD; BEGIN GRAN CURB

PROP FULL DEPTH PVMT - TYPE 1

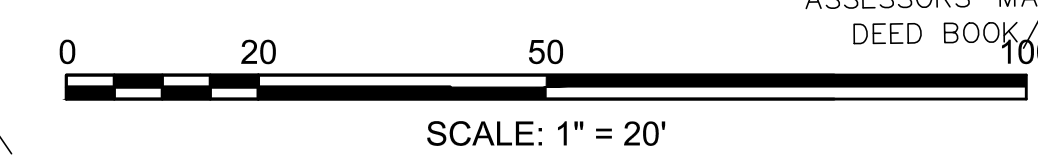
N/F BENTON W JONES & JOANNE P. JONES
3090 MAIN STREET
ASSESSORS' MAP/PARCEL: 24
DEED BOOK/PAGE: 7839 / PAGE 086

N/F MICHAEL REVERUZZI
O MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 101/23
DEED BOOK/PAGE: 2925/92

LEGEND

PCR NO.

DRIVEWAY NO.

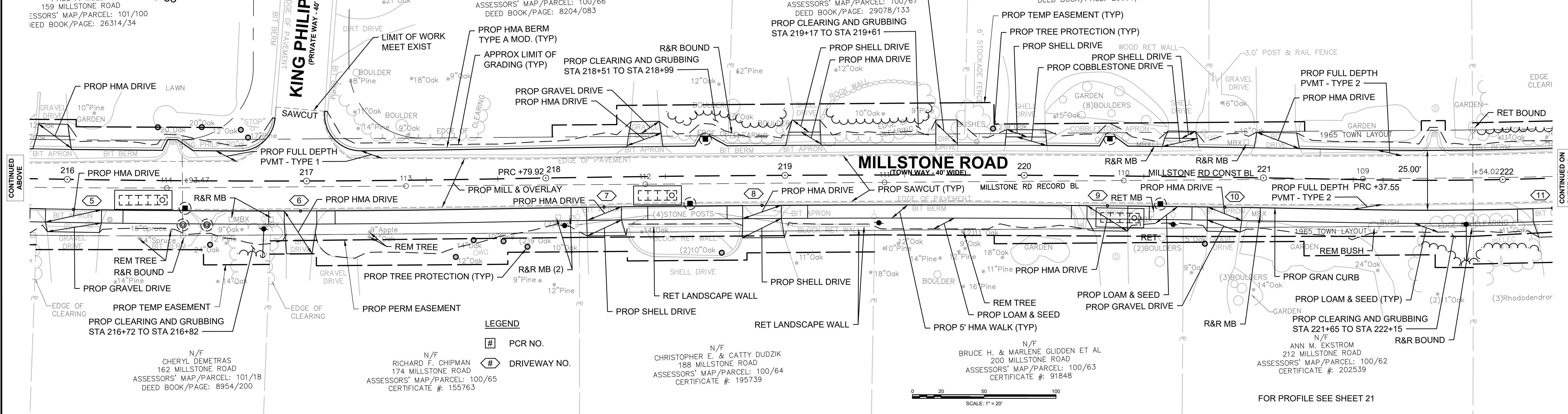
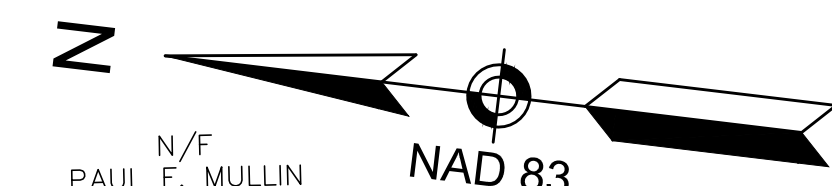
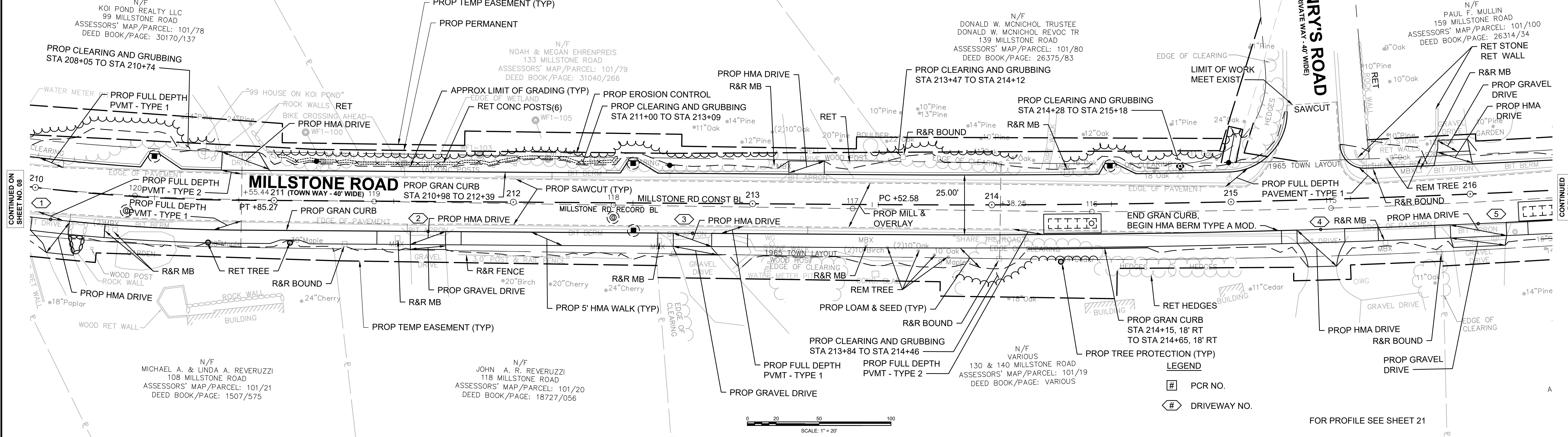


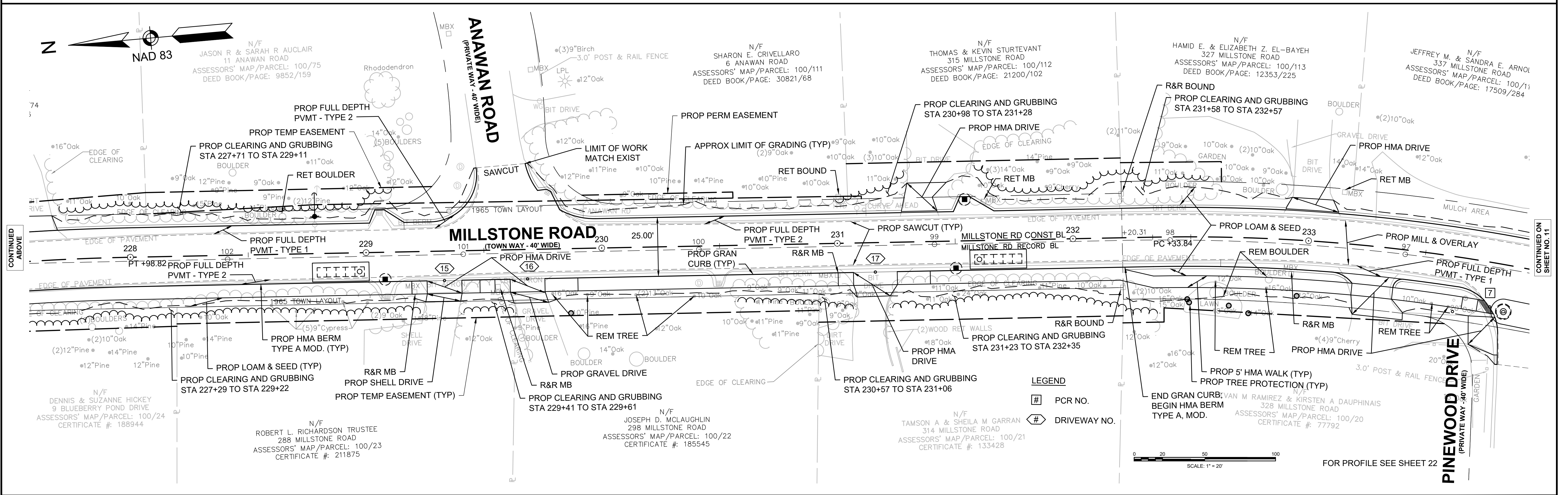
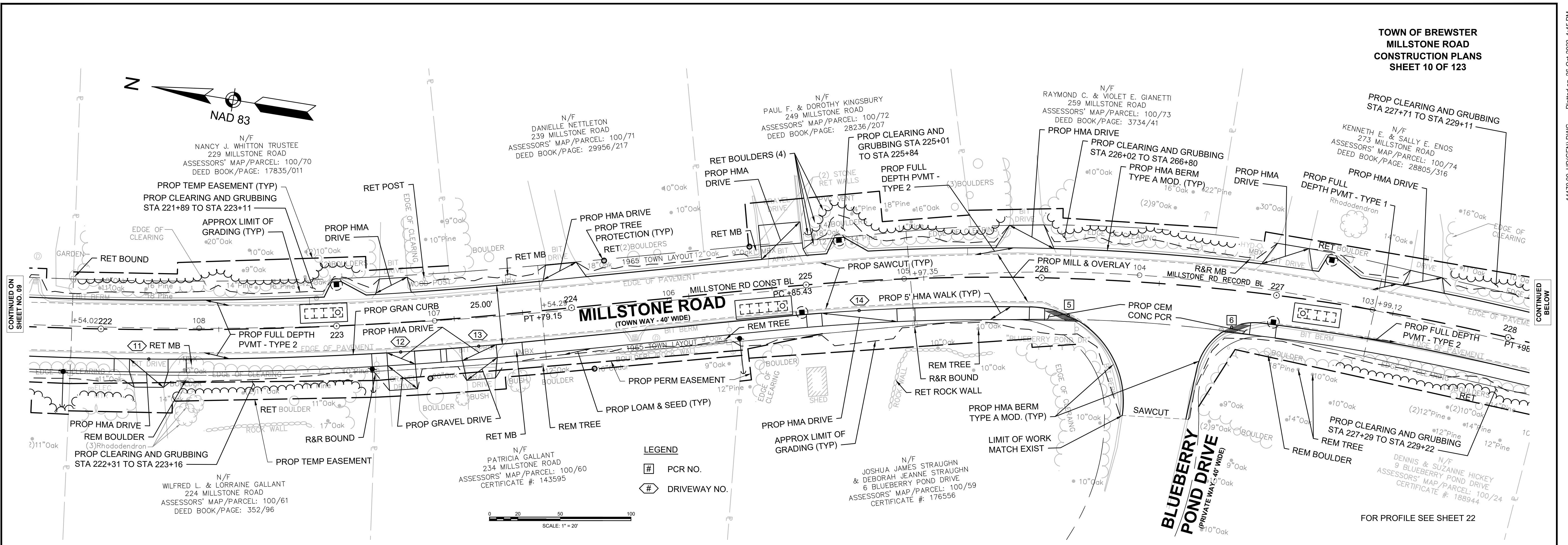
FOR PROFILE SEE SHEET 20

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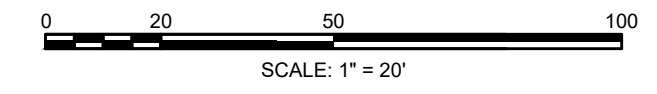
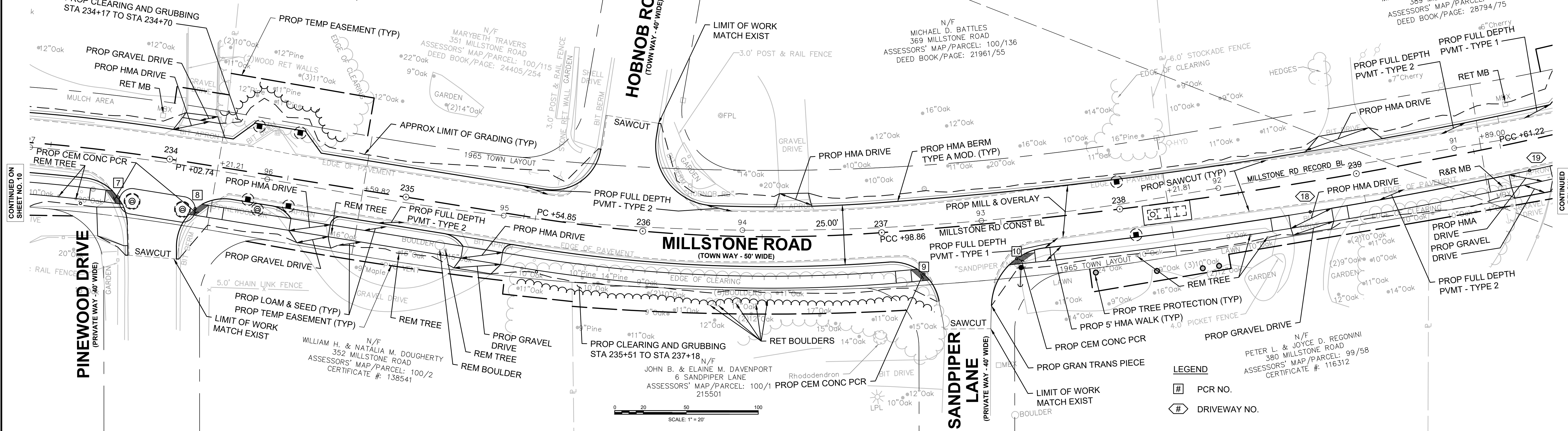
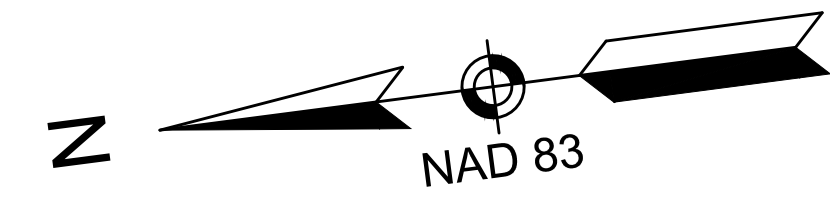
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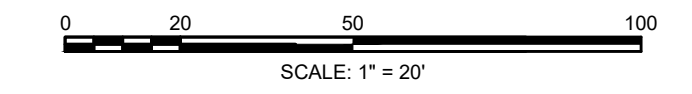
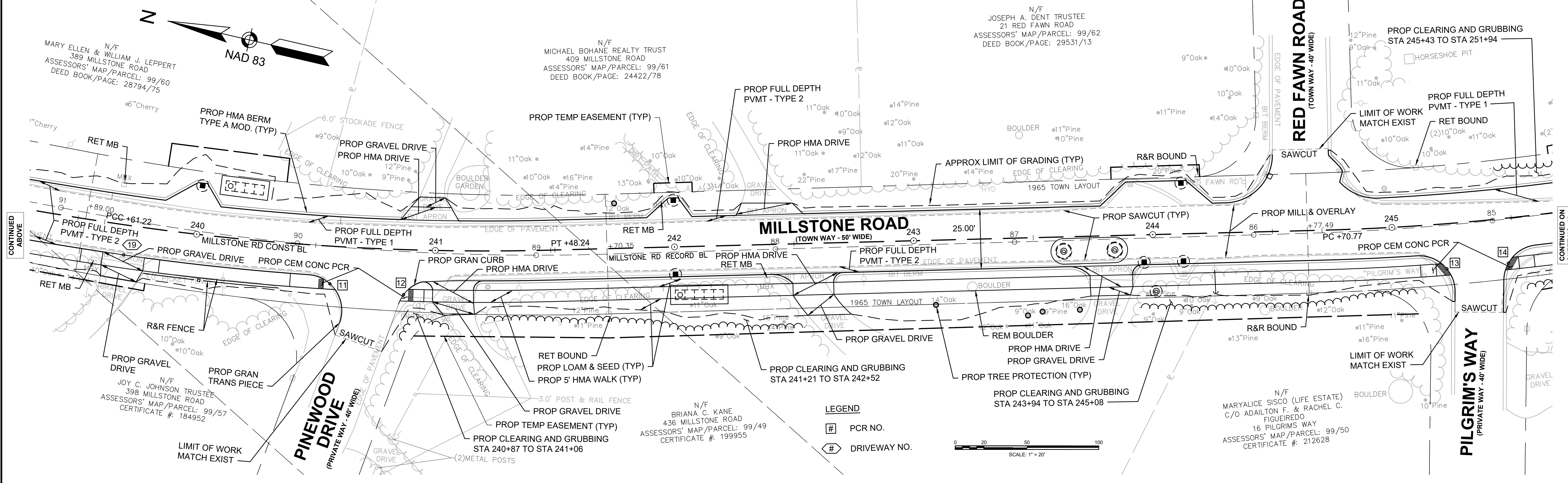




WILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 100/114
DEED BOOK/PAGE: 17509/284



LEGEND
PCR NO.
DRIVEWAY NO.



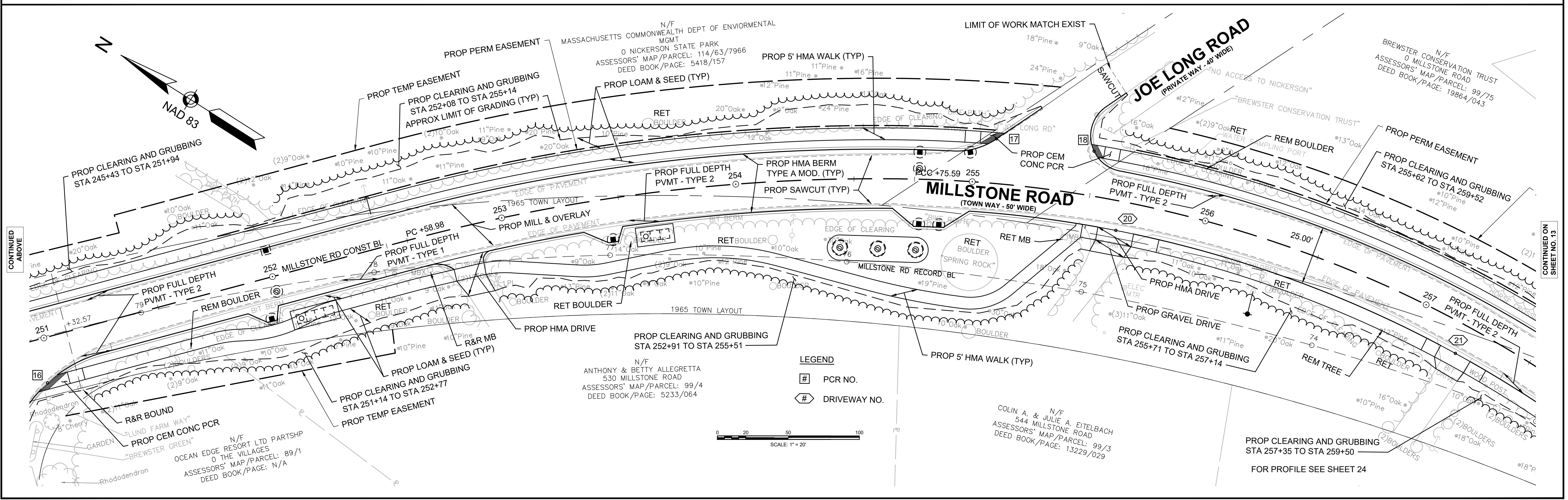
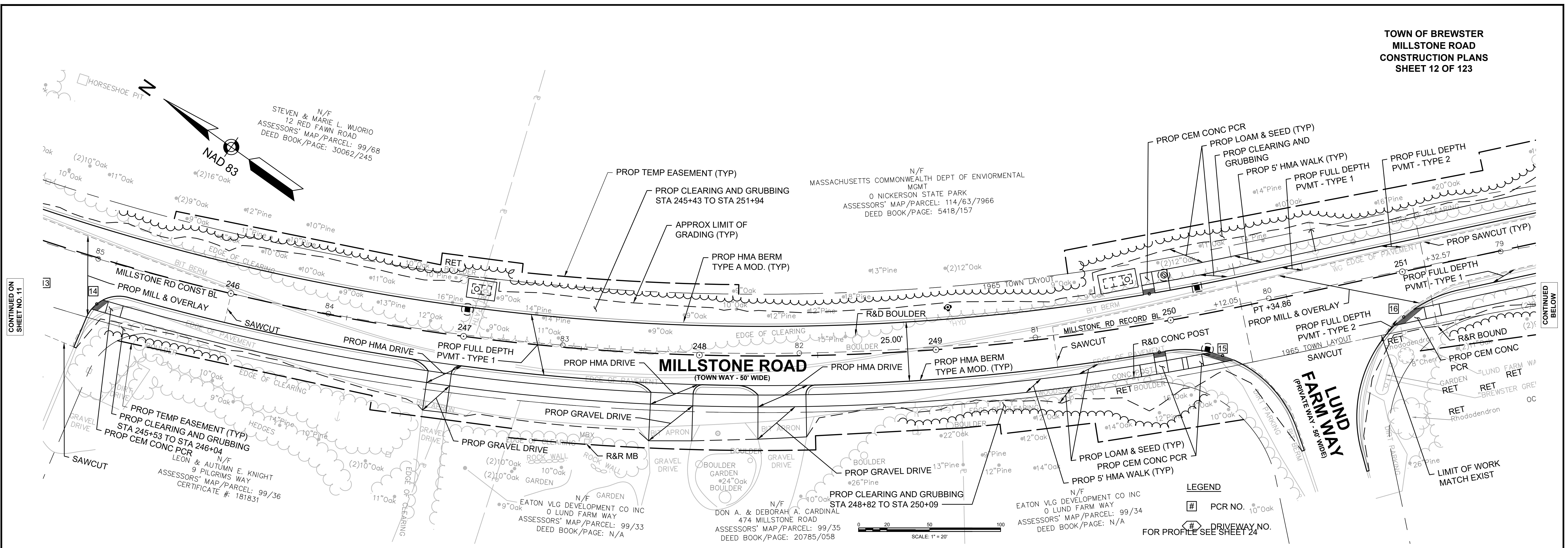
LEGEND
PCR NO.
DRIVEWAY NO.

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CONTINUED ON SHEET NO. 12



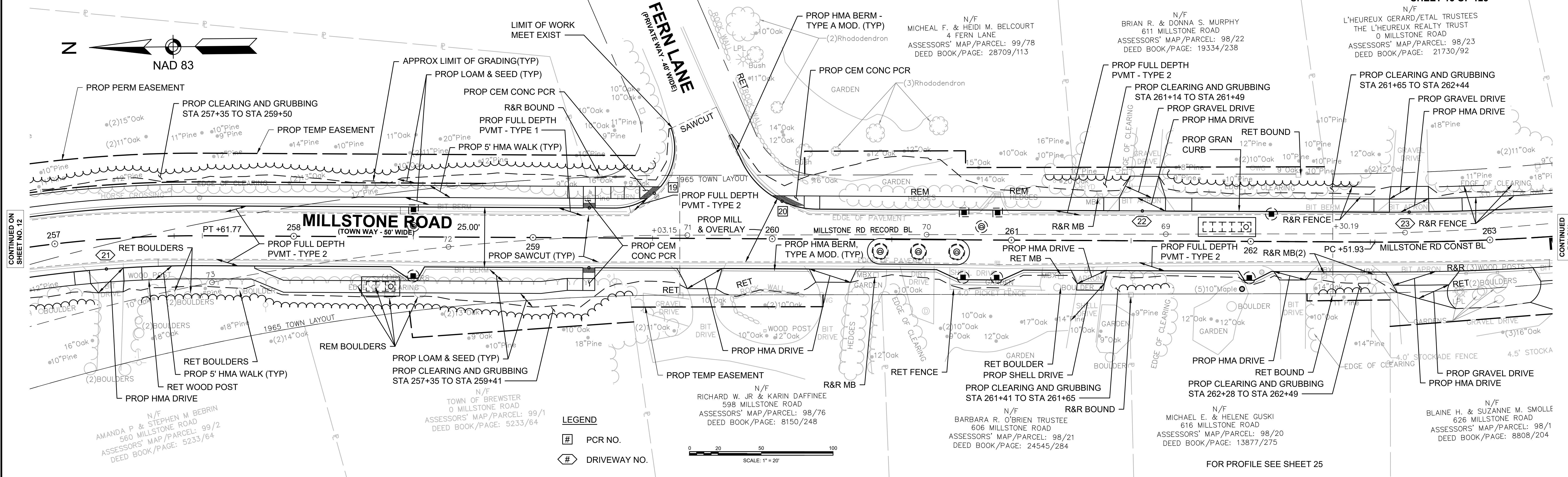
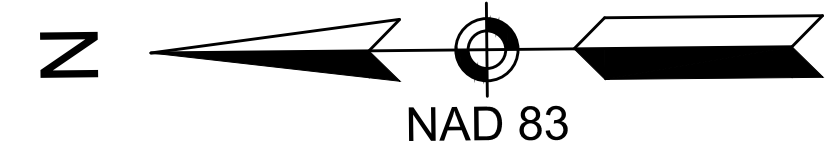
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SHEET NO. 11

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SHEET NO. 13

CONTINUED ABOVE

CONTINUED ON
SHEET NO. 13

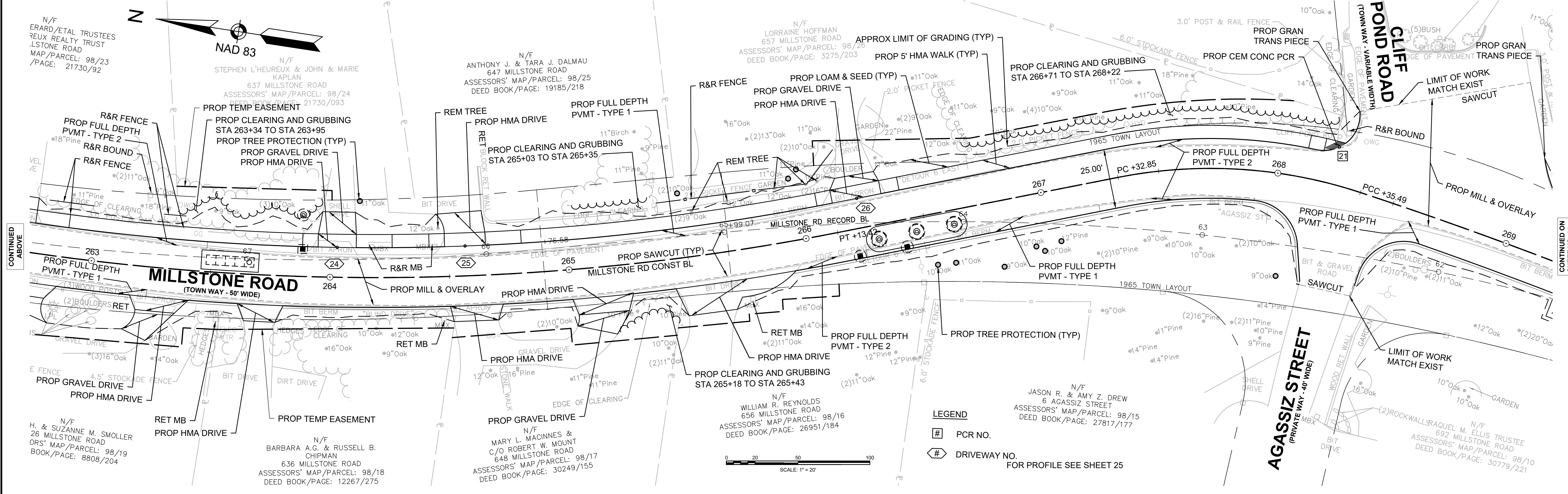
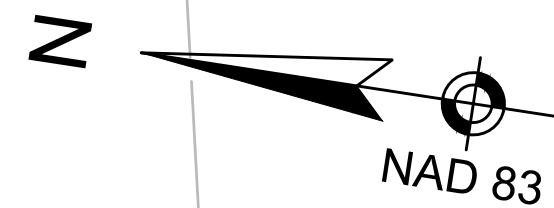
**TOWN OF BREWSTER
MILLSTONE ROAD
CONSTRUCTION PLANS
SHEET 13 OF 123**



CONTINUED ON
SHEET NO. 12

CONTINUED
BELOW

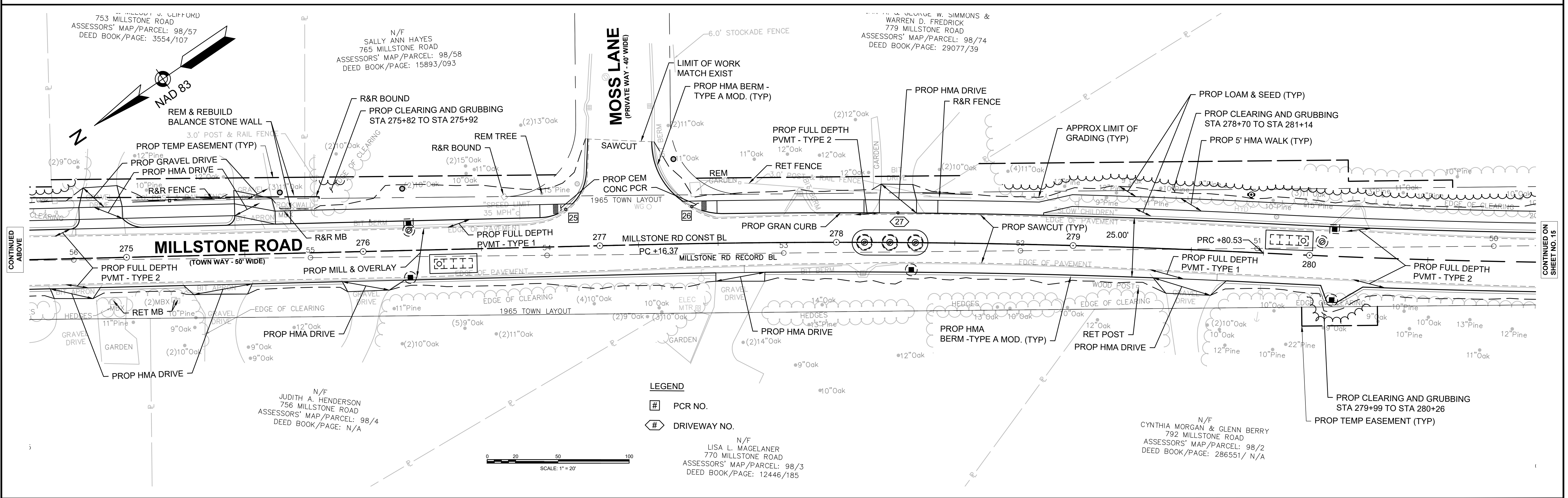
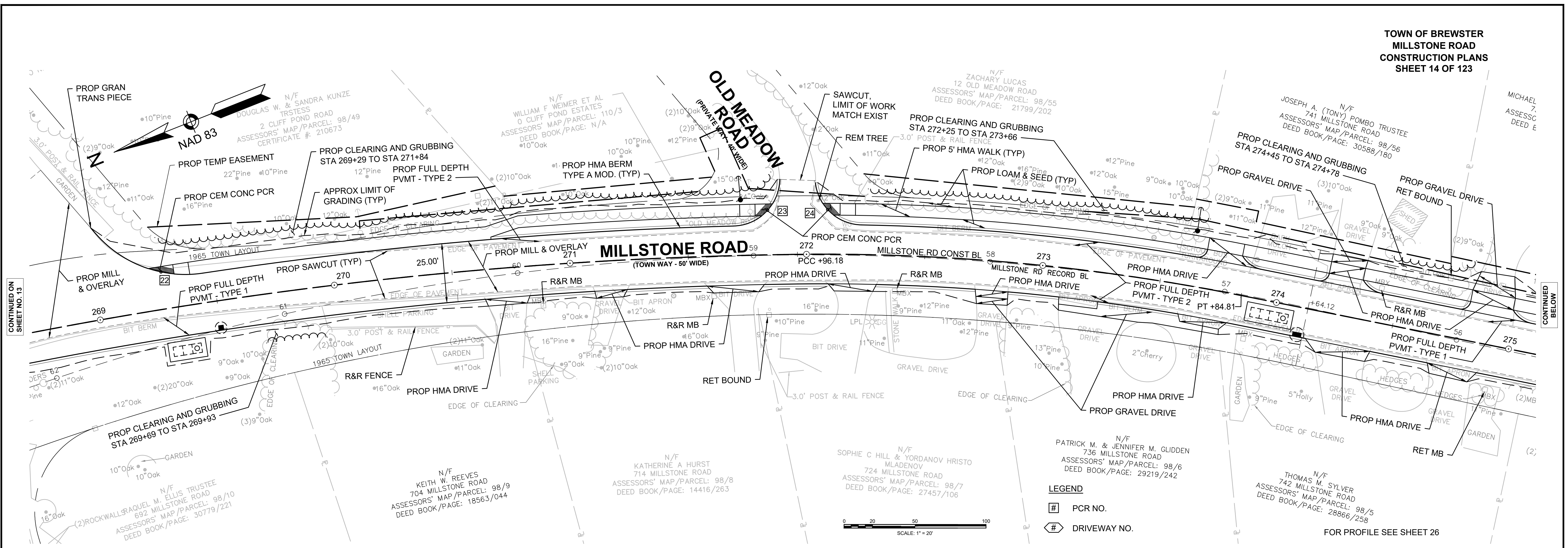
FOR PROFILE SEE SHEET 25



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CONTINUED ON
SHEET NO. 14

FOR PROFILE SEE SHEET 25

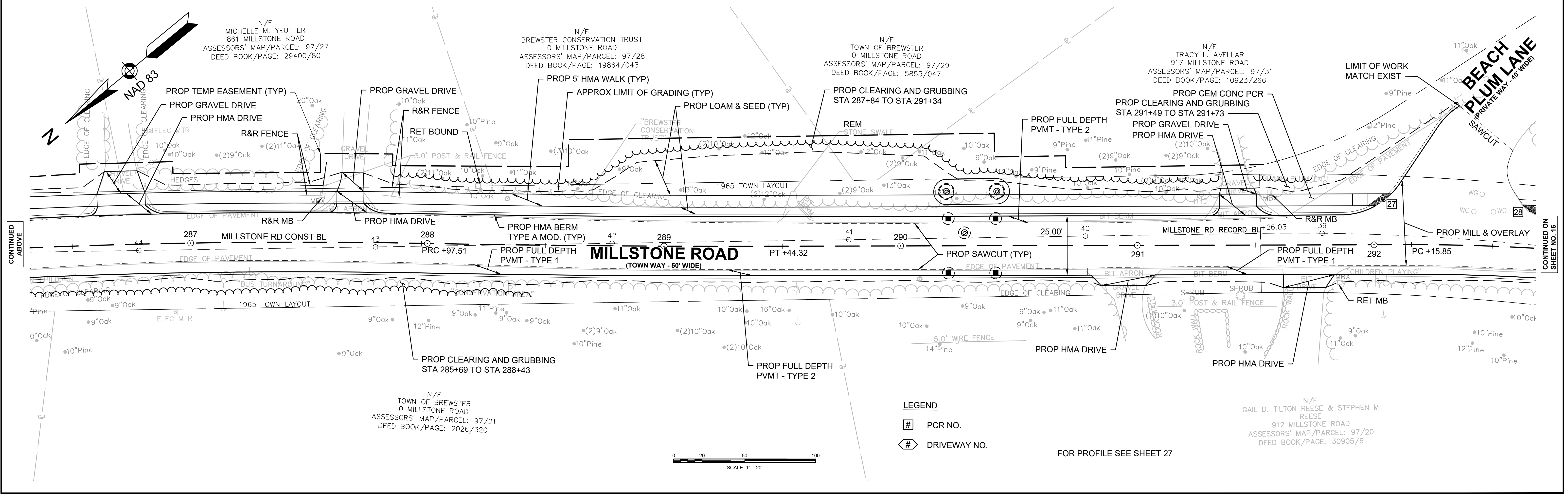
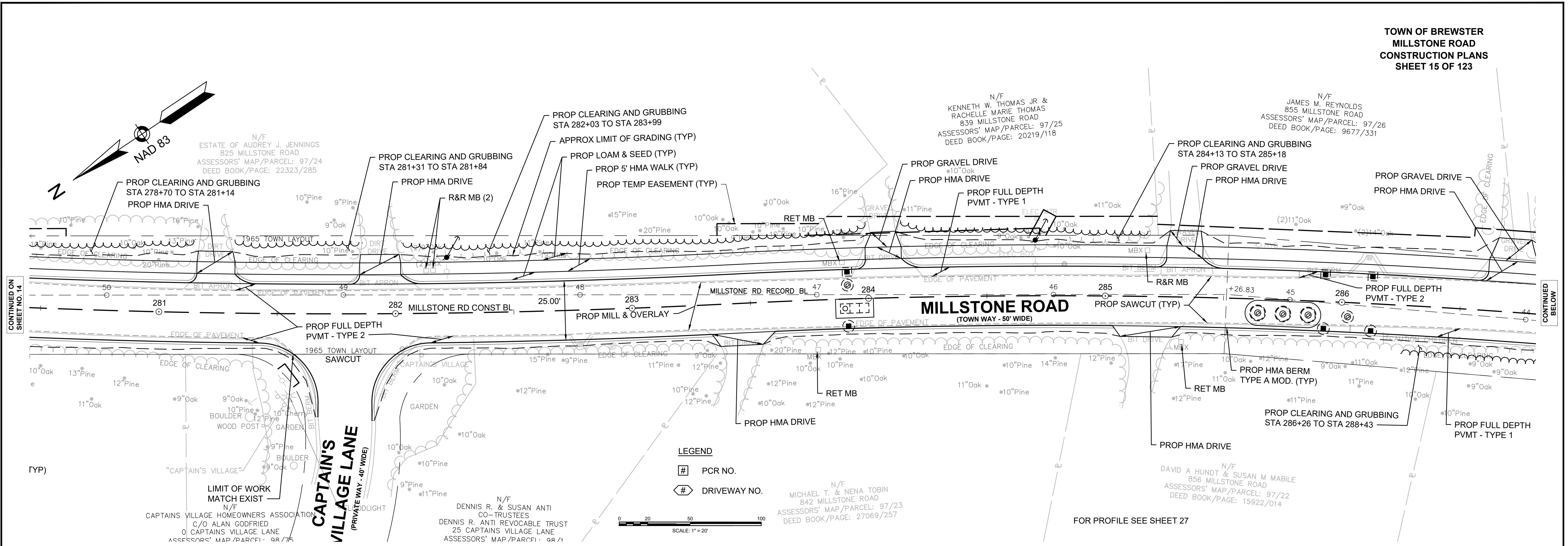


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ABOVE

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SHEET NO. 15

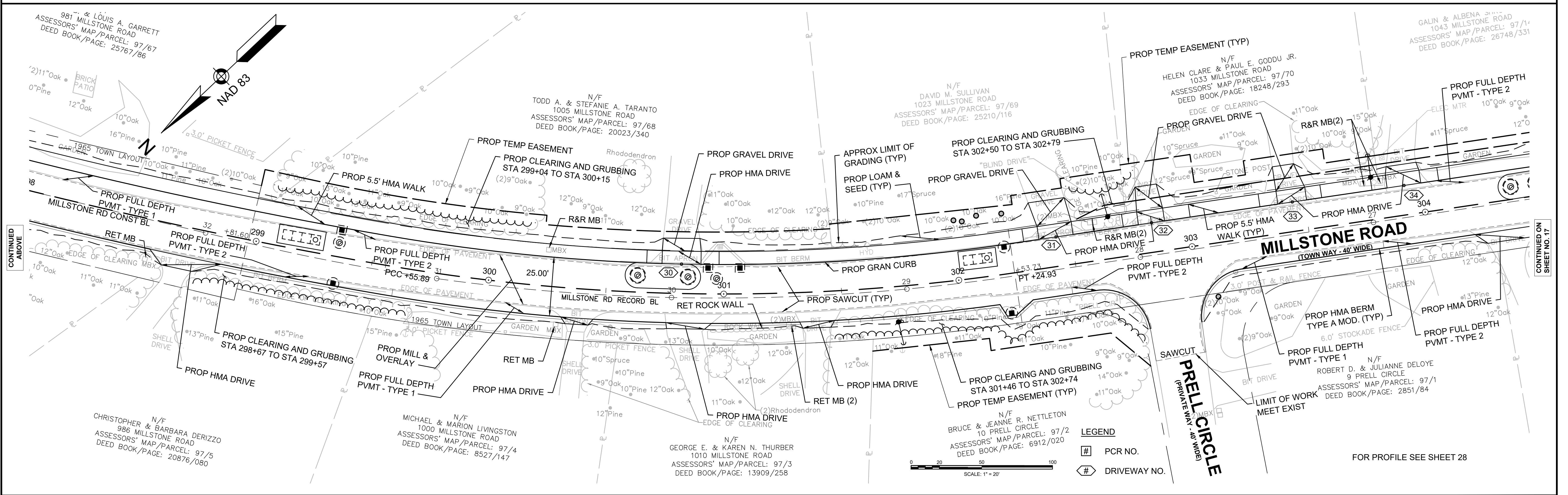
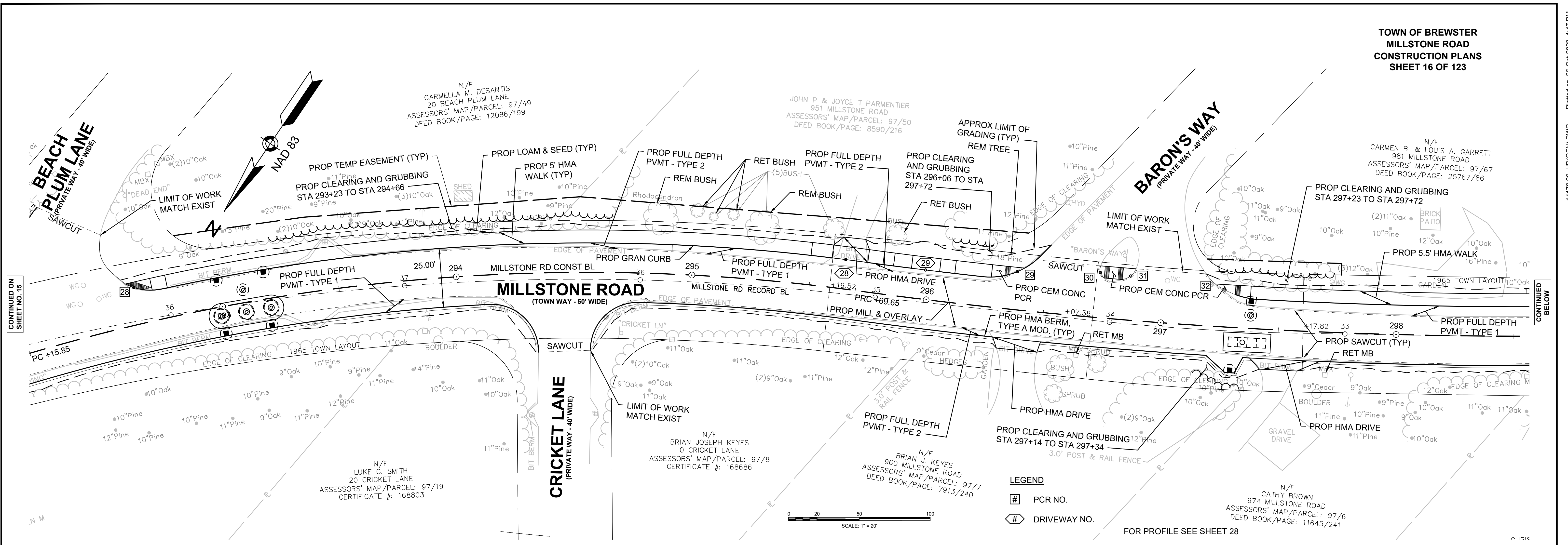


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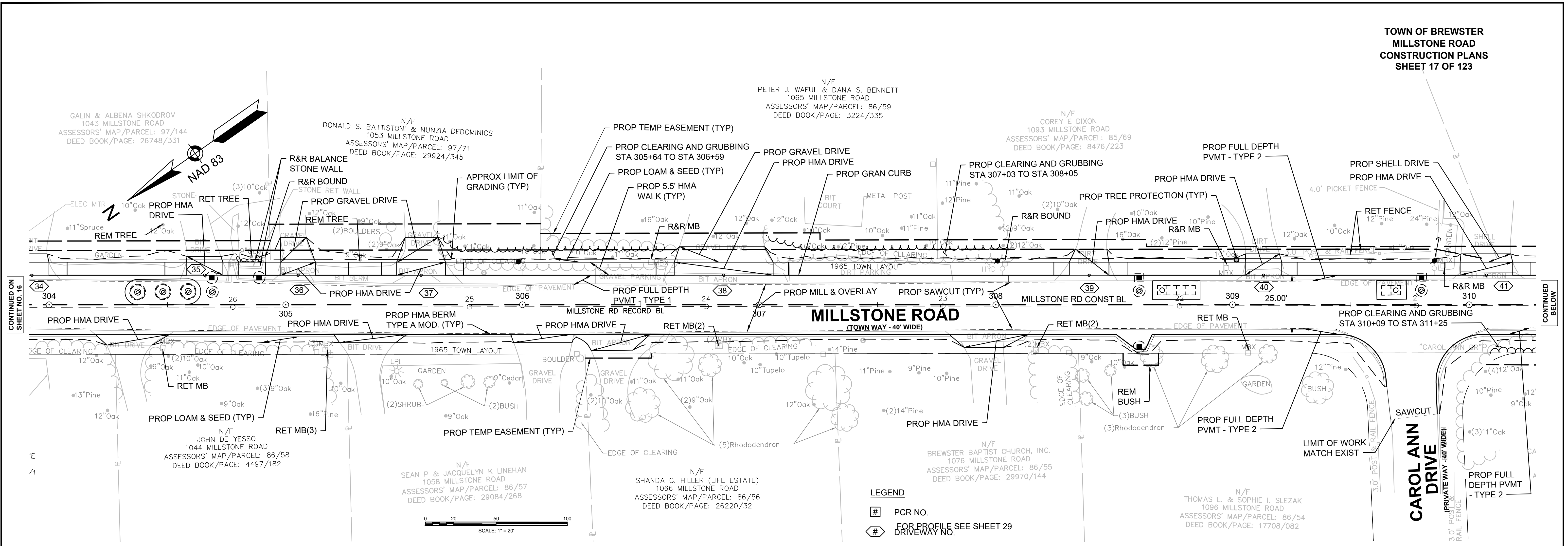
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ON
SHEET NO. 16

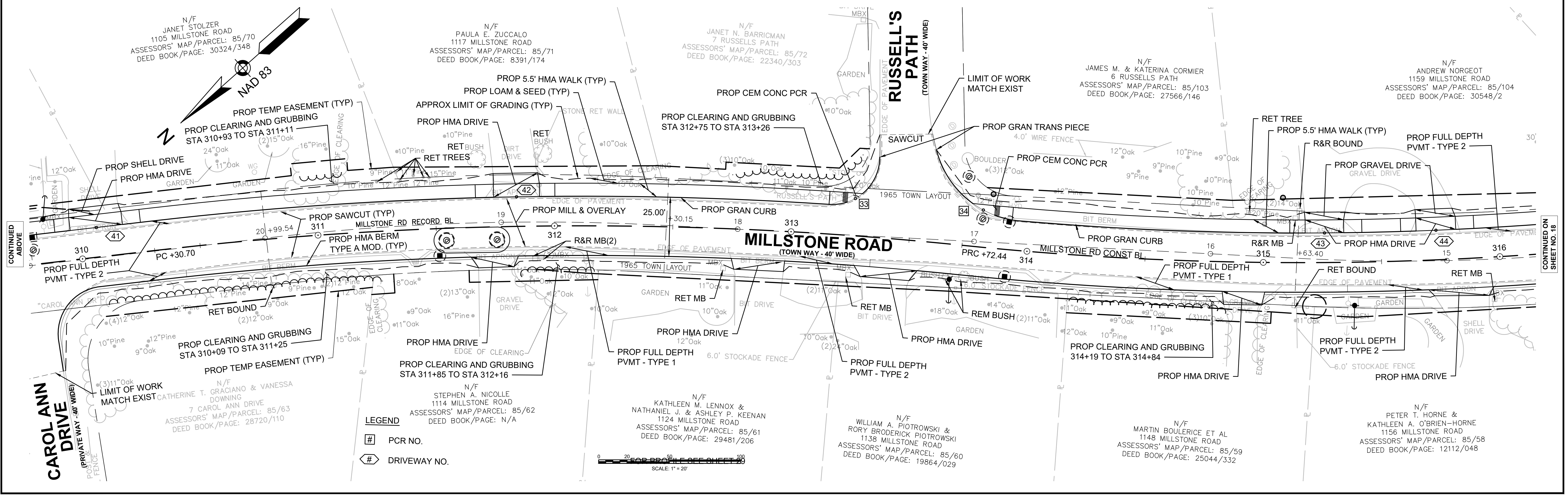


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Plotted on: 28-Oct-2023 1:47 PM



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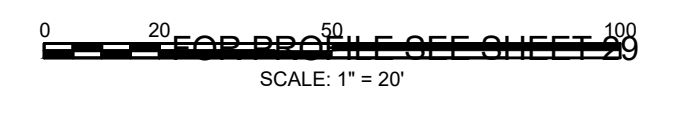
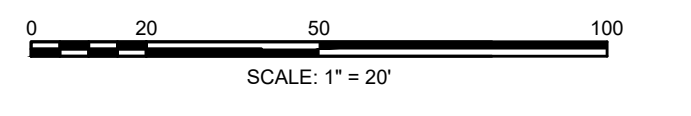
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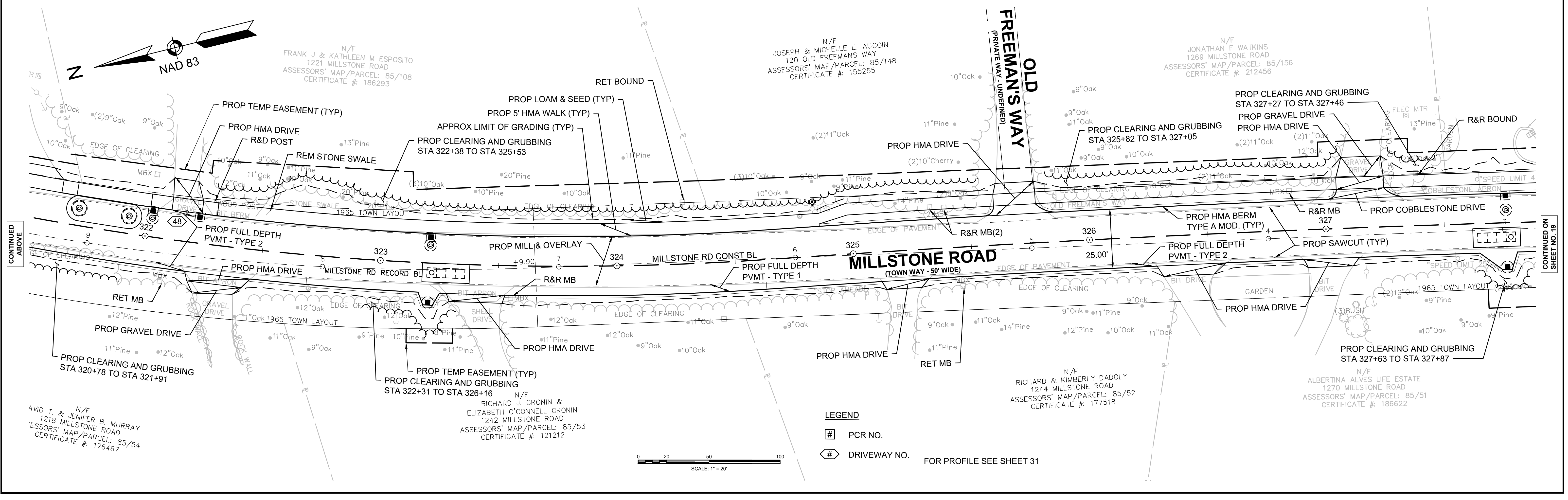
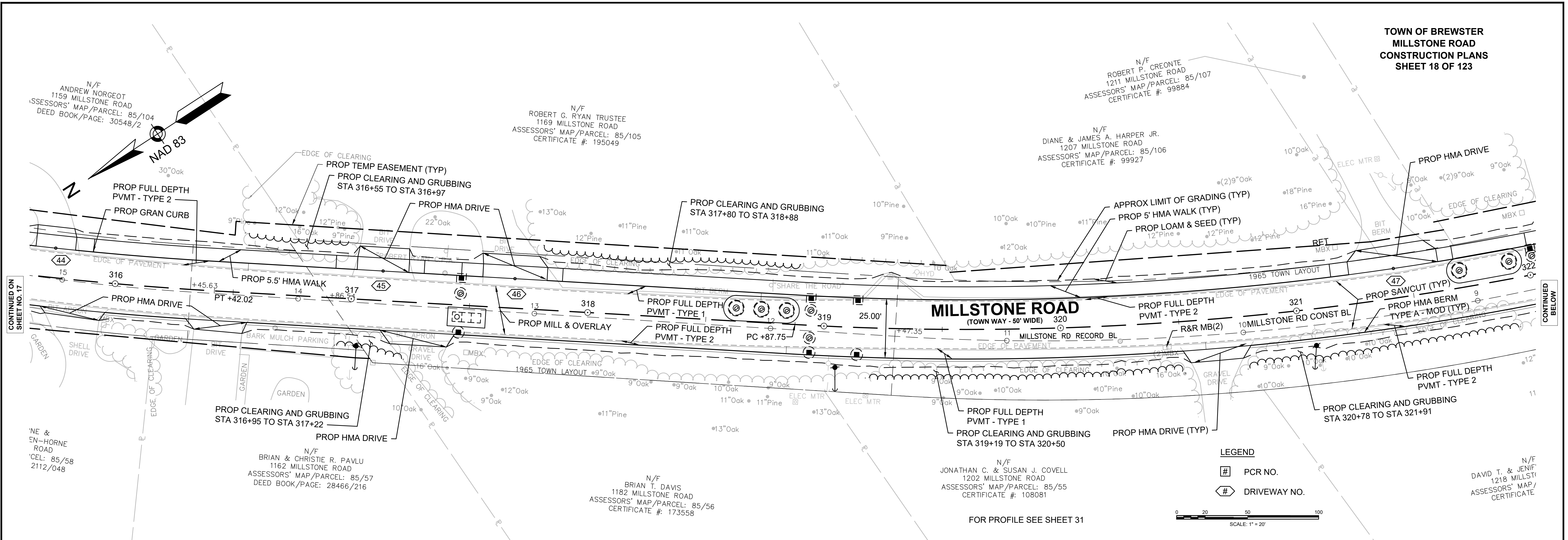


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SHEET NO. 18

LEGEND
PCR NO.
FOR PROFILE SEE SHEET 29 DRIVEWAY NO.





14170.00_HD(GEN).DWG Plotted on: 26-Oct-2023 1:48 PM

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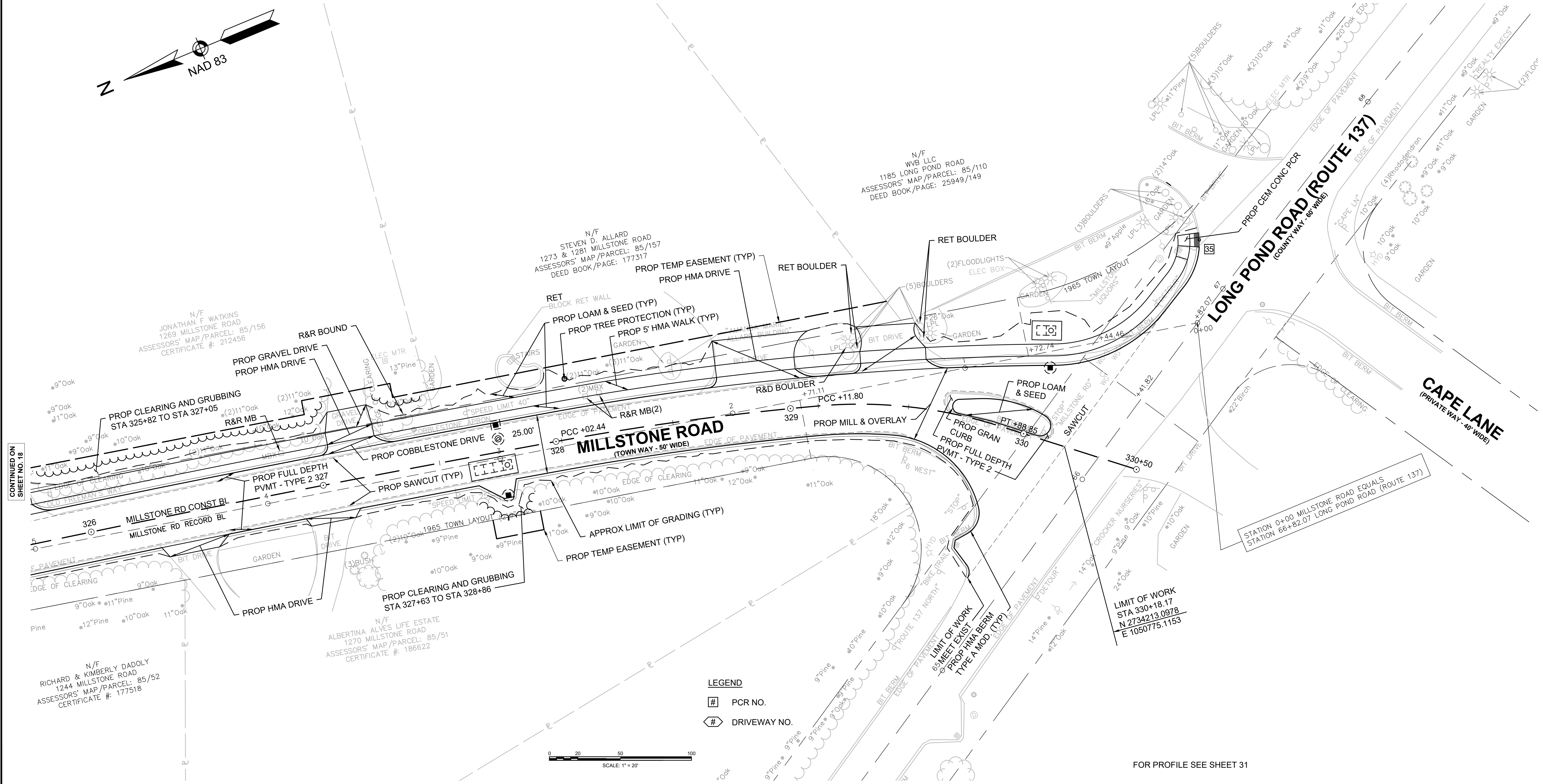
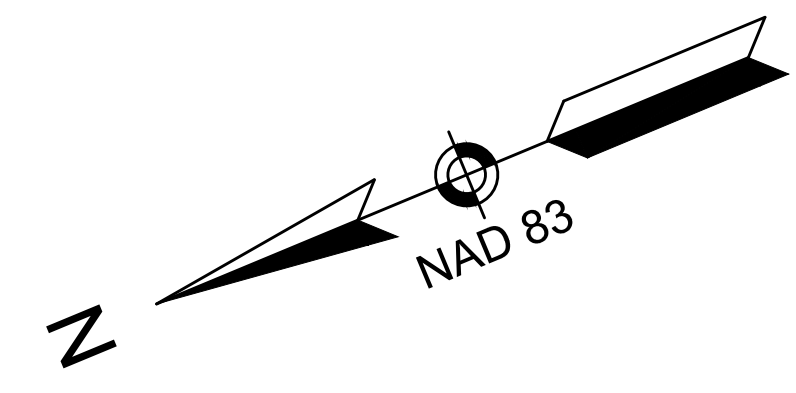
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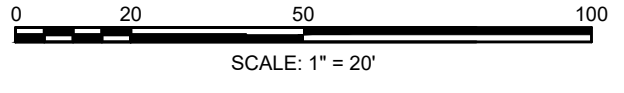
FOR PROFILE SEE SHEET 31

FOR PROFILE SEE SHEET 31



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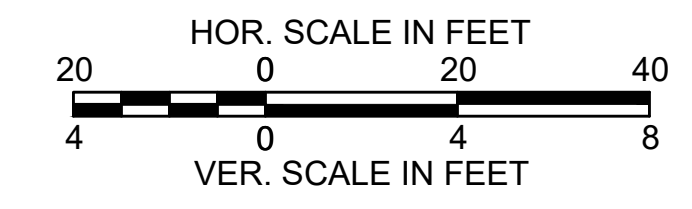
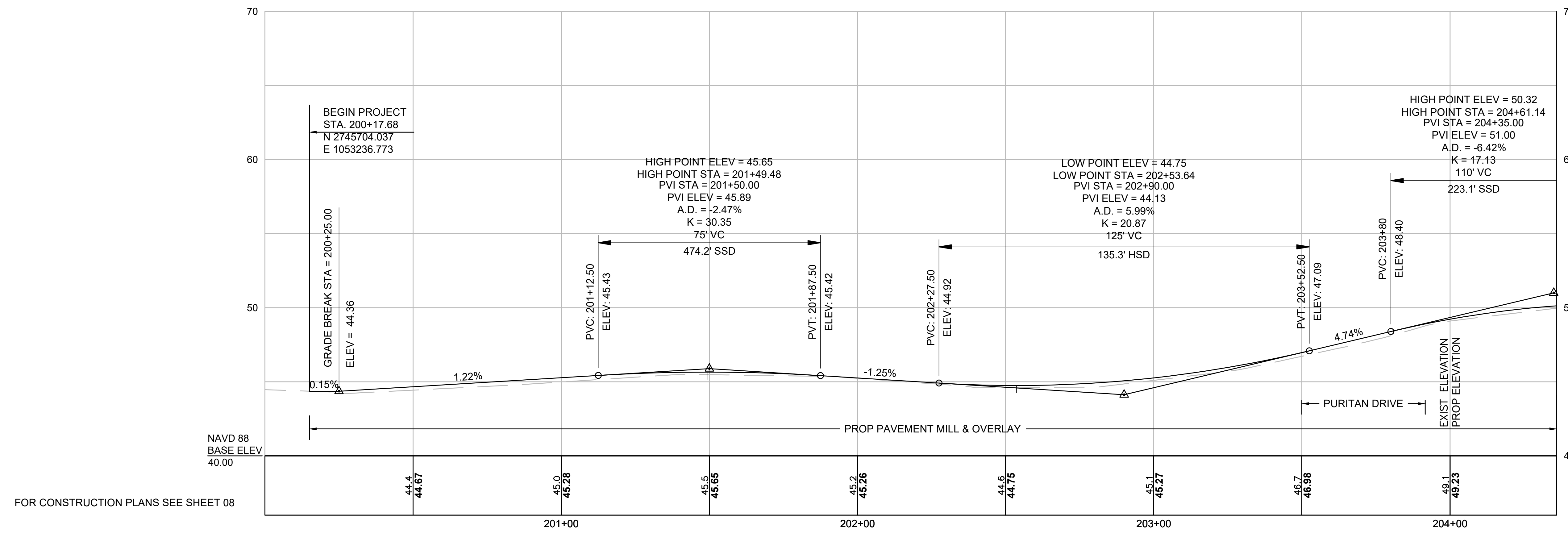
LEGEND
PCR NO.
◊ DRIVEWAY NO.



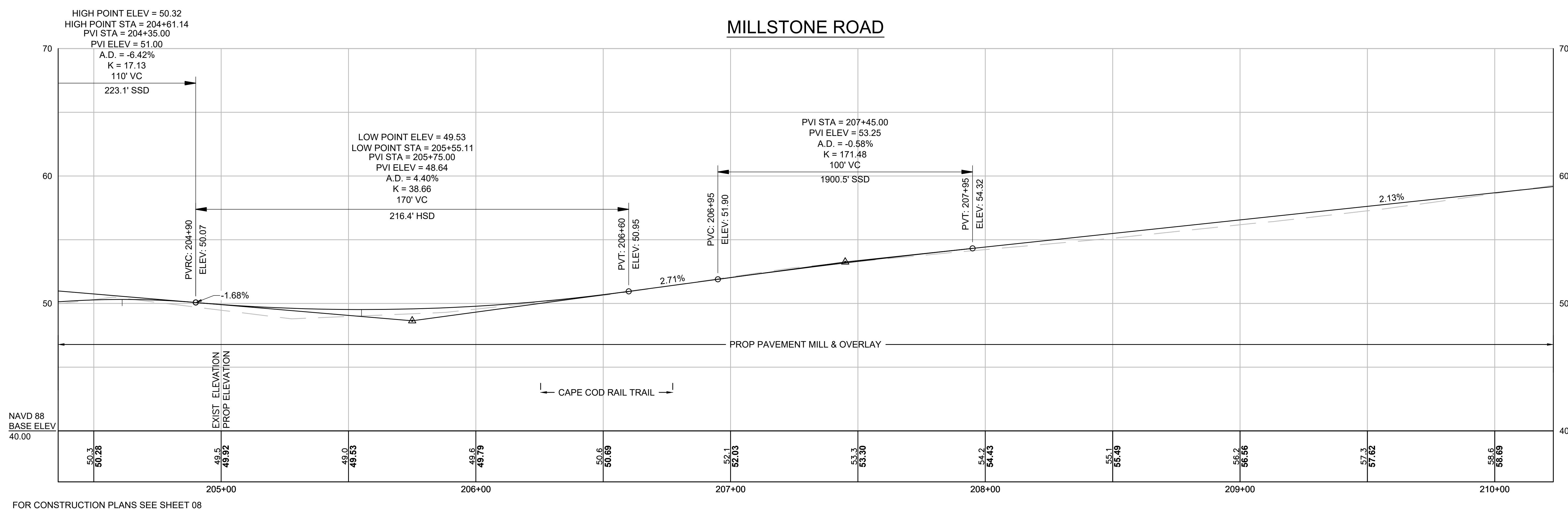
FOR PROFILE SEE SHEET 31

NOTE:
PROPOSED PROFILE IN MILL & OVERLAY SECTIONS SHOWN FOR INFORMATION ONLY

MILLSTONE ROAD



MILLSTONE ROAD



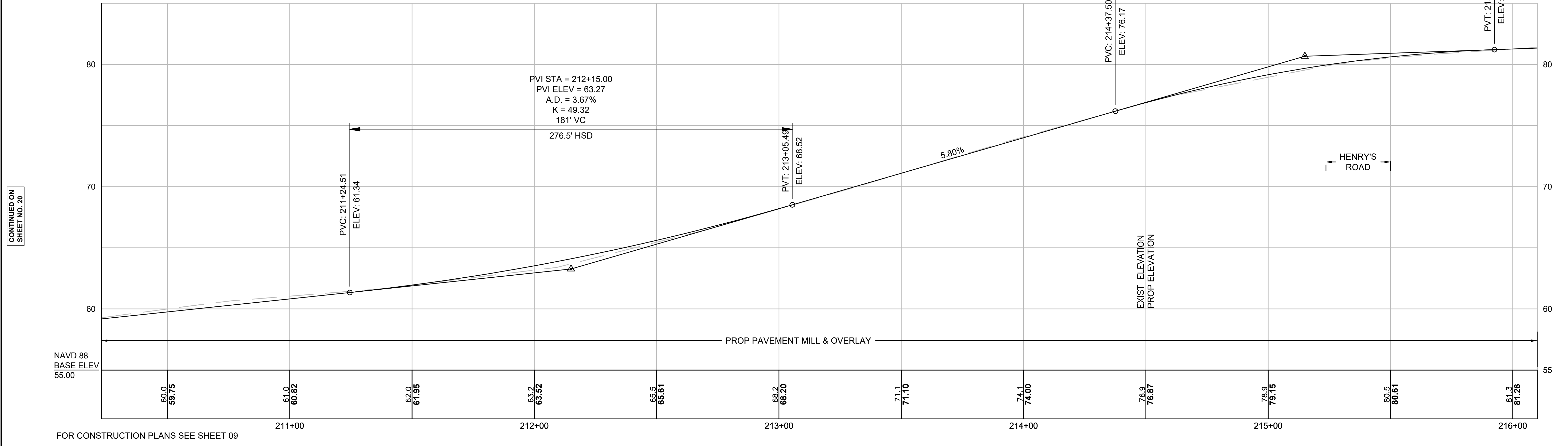
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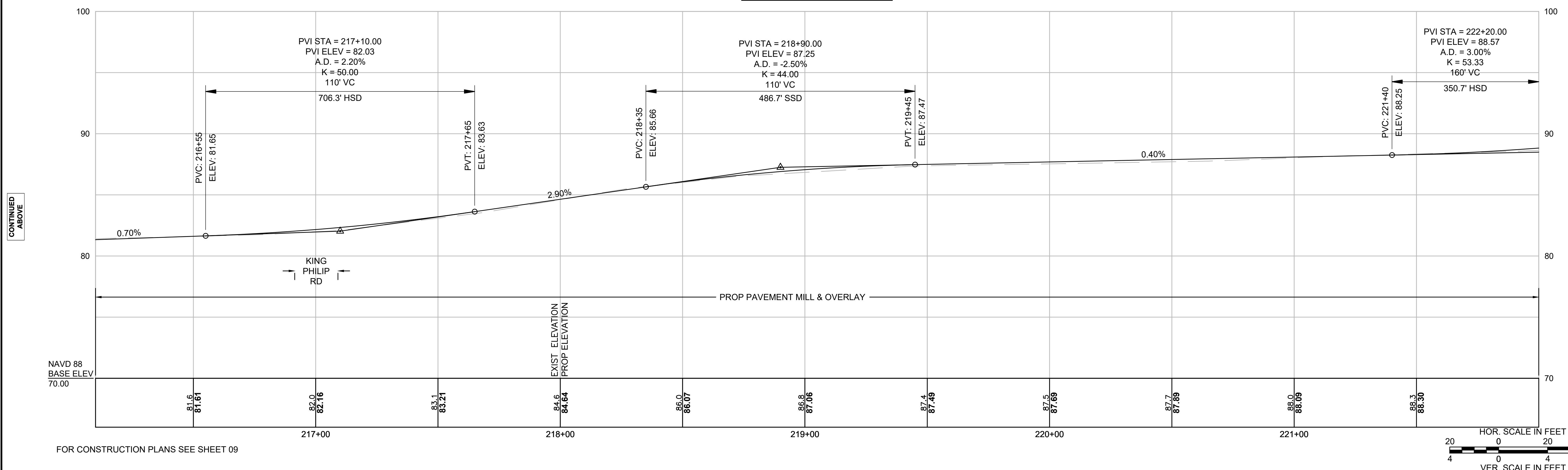
NOTE:
 PROPOSED PROFILE IN MILL & OVERLAY SECTIONS SHOWN FOR INFORMATION ONLY

PVI STA = 215+15.00
 PVI ELEV = 80.67
 A.D. = -5.10%
 K = 30.39
 155' VC
 289.1' SSD

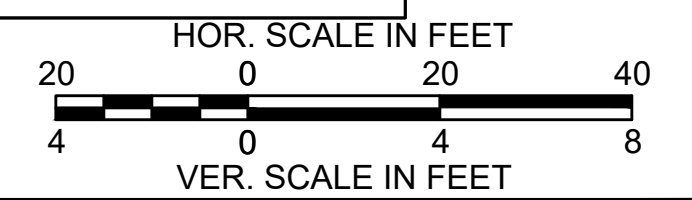
MILLSTONE ROAD



FOR CONSTRUCTION PLANS SEE SHEET 09



FOR CONSTRUCTION PLANS SEE SHEET 09



CONTINUED ON
 SHEET NO. 20

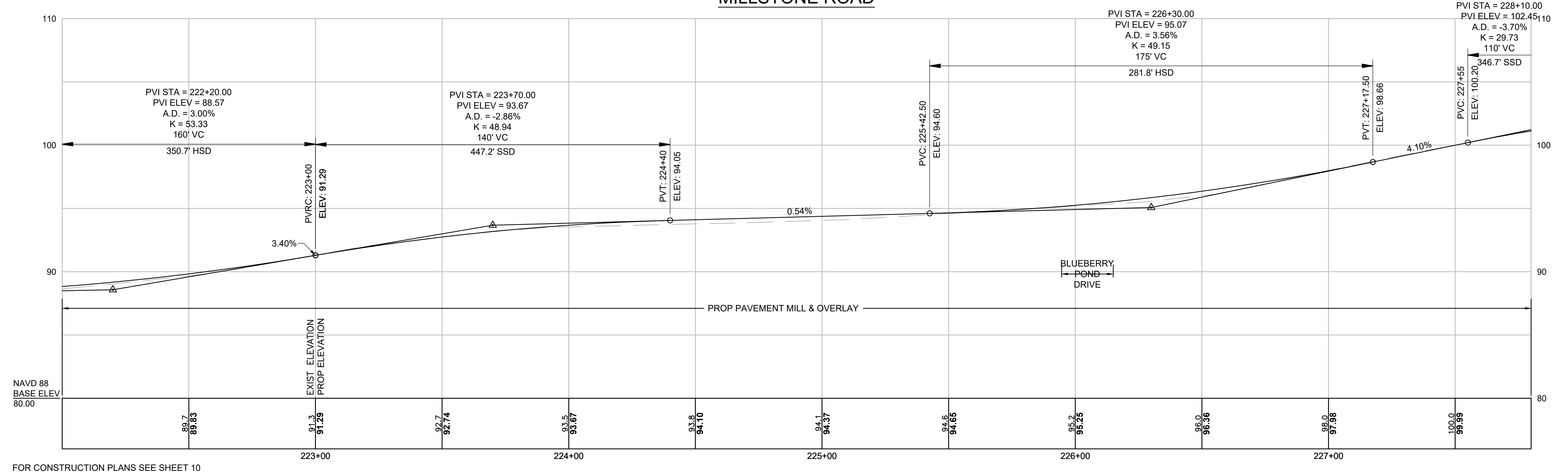
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CONTINUED ON
 SHEET NO. 22

NOTE:
PROPOSED PROFILE IN MILL & OVERLAY SECTIONS SHOWN FOR INFORMATION ONLY

MILLSTONE ROAD

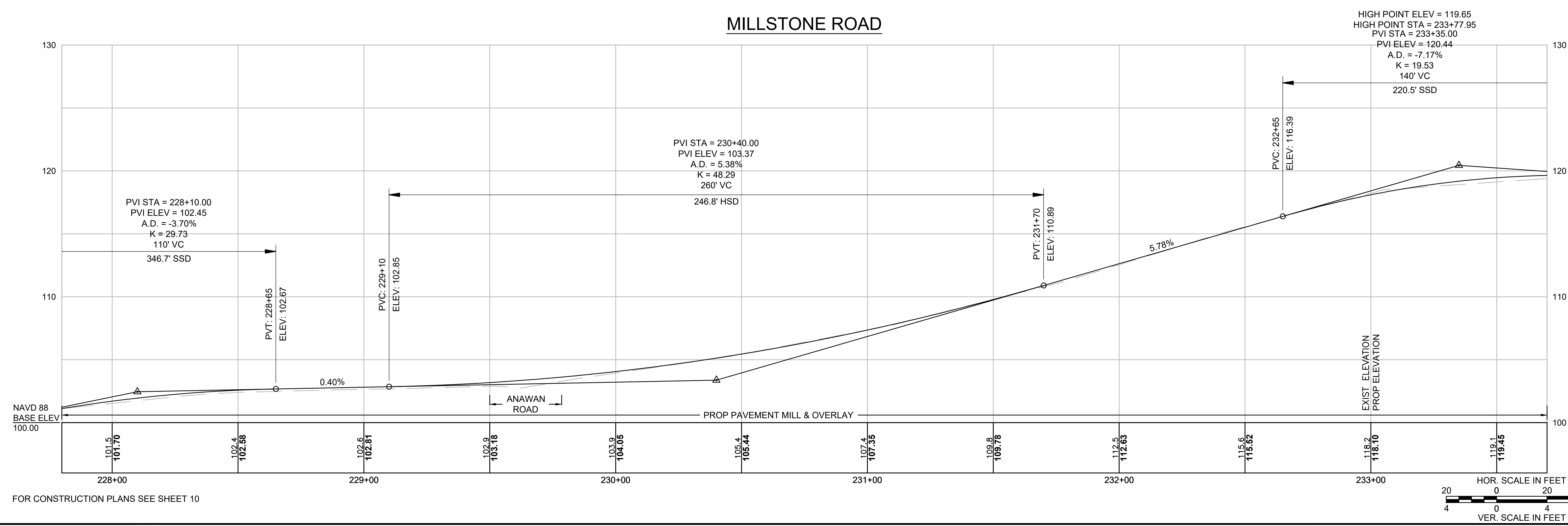


FOR CONSTRUCTION PLANS SEE SHEET 10

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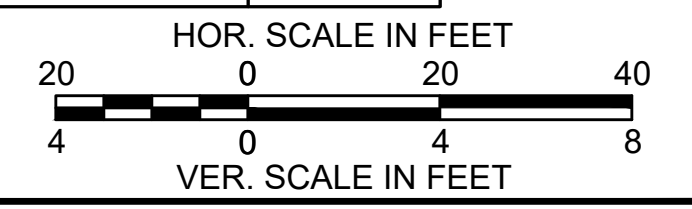
MILLSTONE ROAD



FOR CONSTRUCTION PLANS SEE SHEET 10

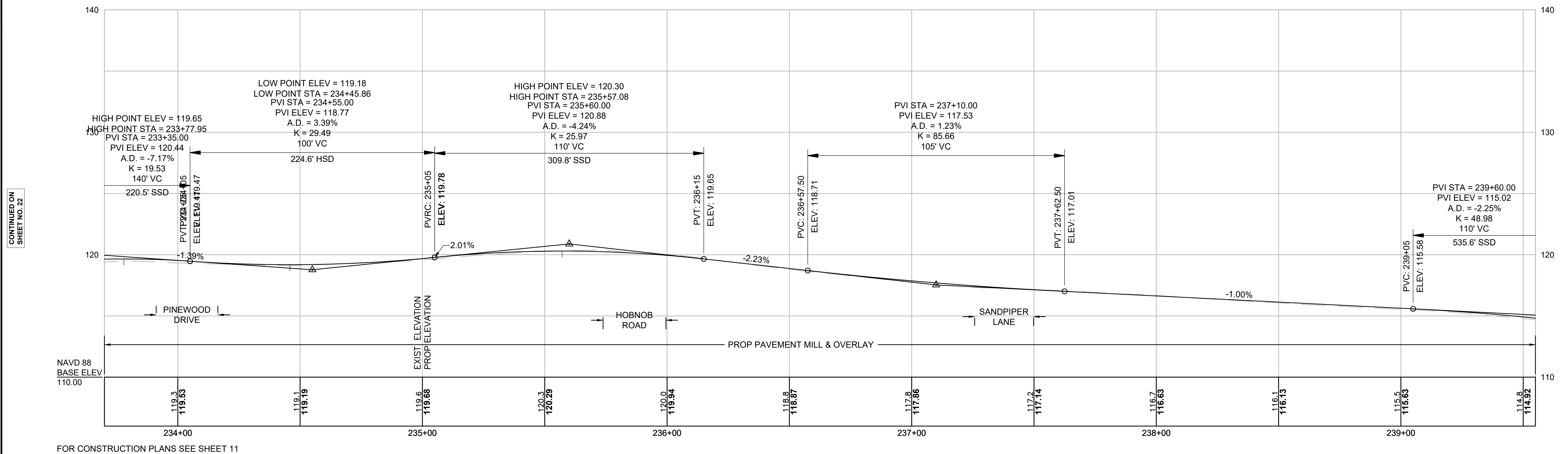
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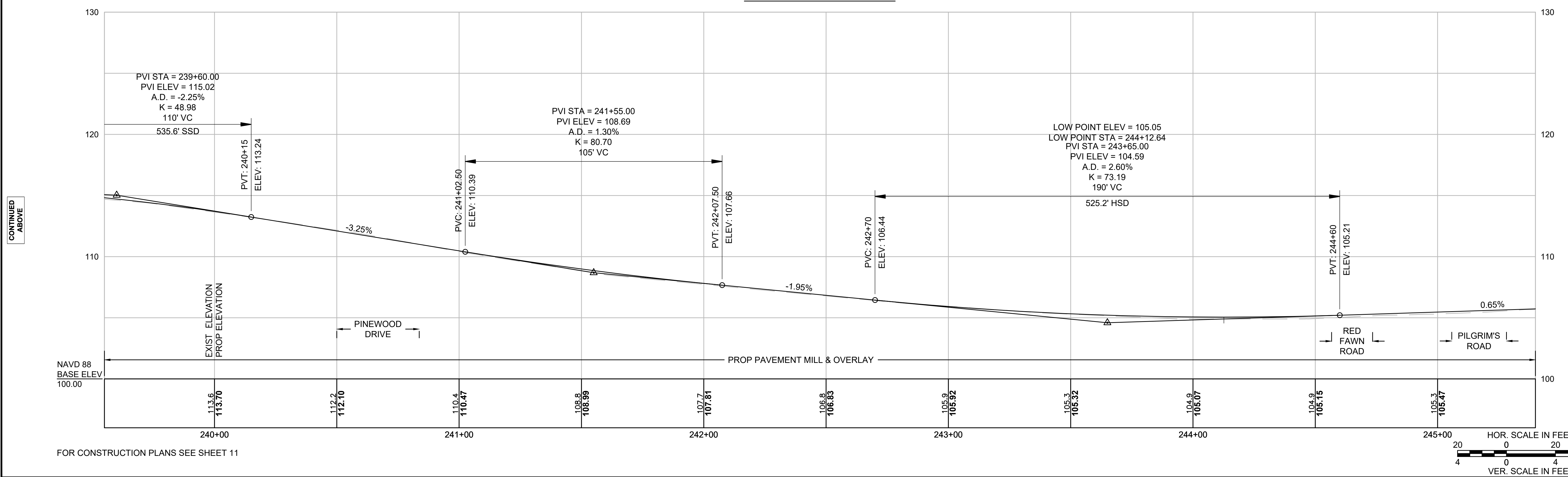
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MILLSTONE ROAD

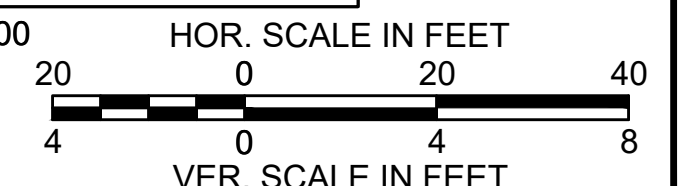


FOR CONSTRUCTION PLANS SEE SHEET 11

MILLSTONE ROAD



FOR CONSTRUCTION PLANS SEE SHEET 11



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SHEET NO. 22

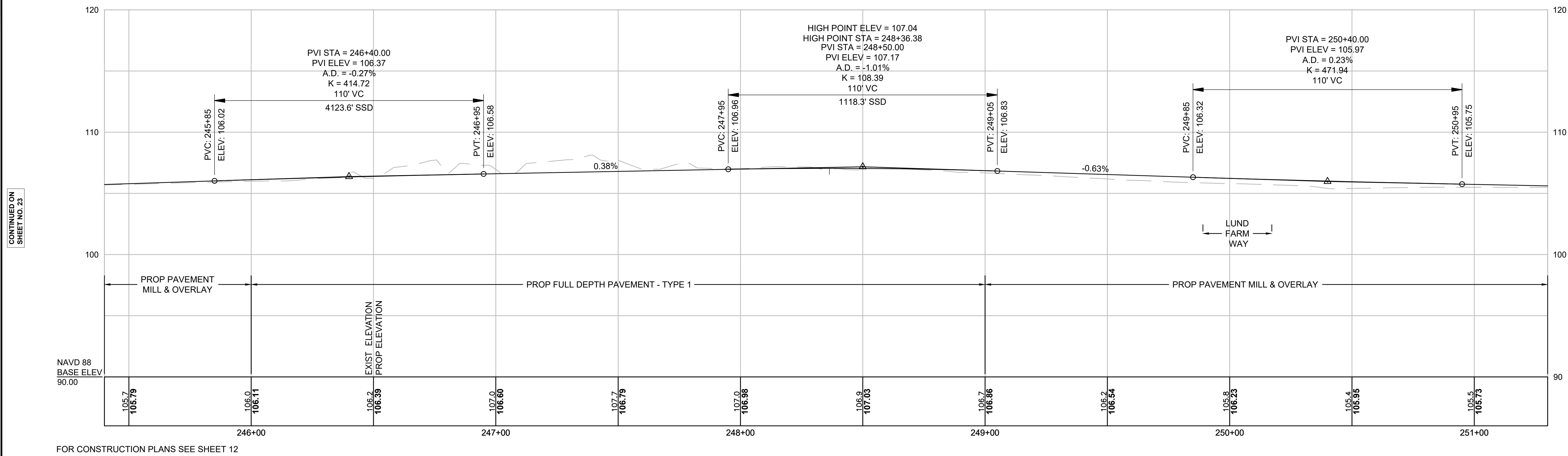
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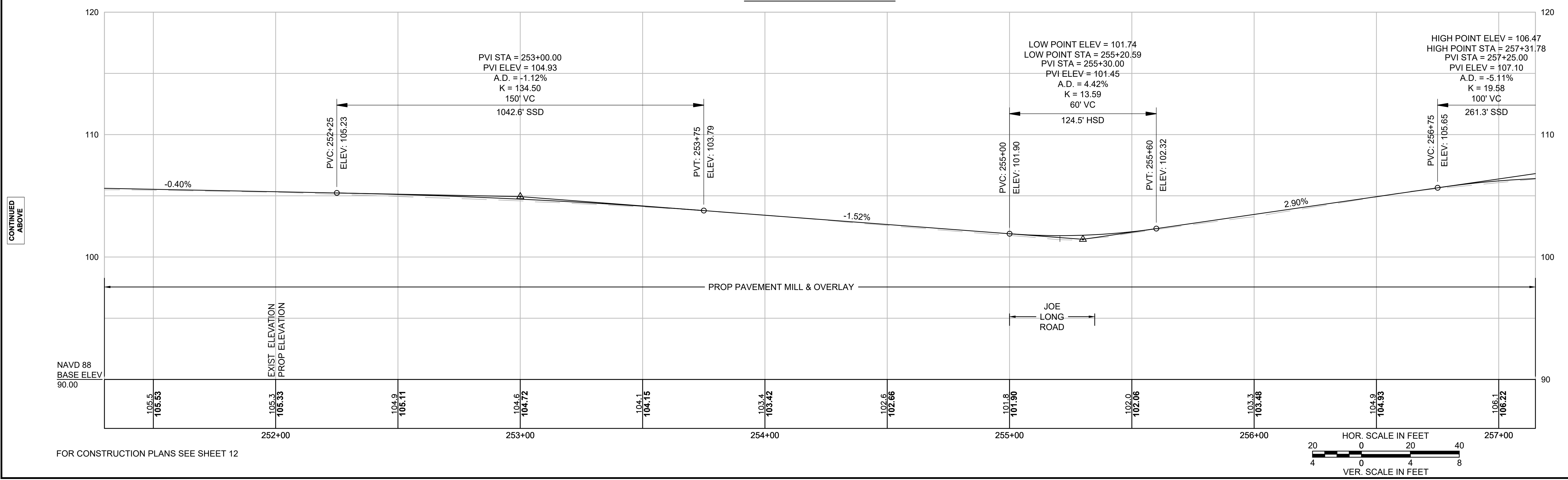
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PROPOSED PROFILE IN MILL & OVERLAY SECTIONS SHOWN FOR INFORMATION ONLY

MILLSTONE ROAD

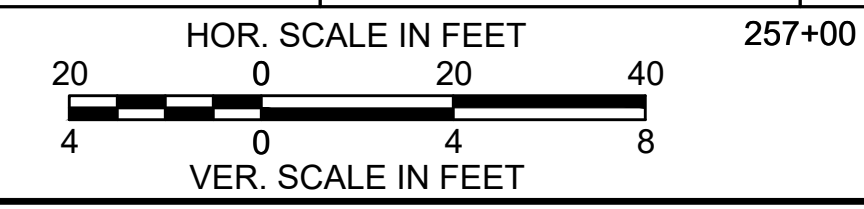


FOR CONSTRUCTION PLANS SEE SHEET 12

MILLSTONE ROAD



FOR CONSTRUCTION PLANS SEE SHEET 12



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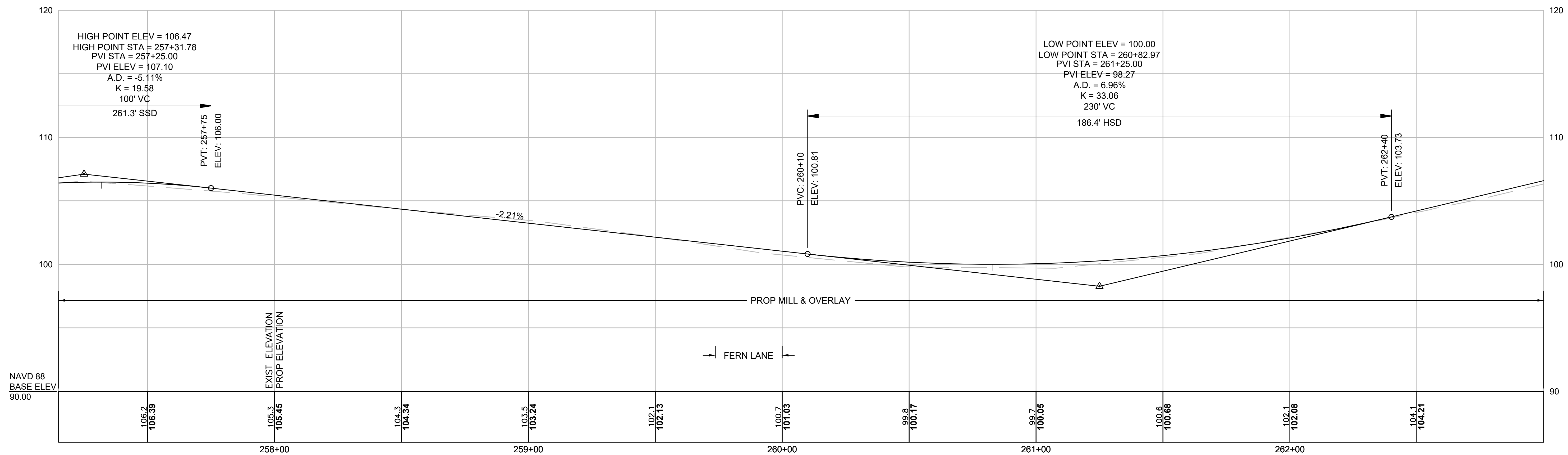
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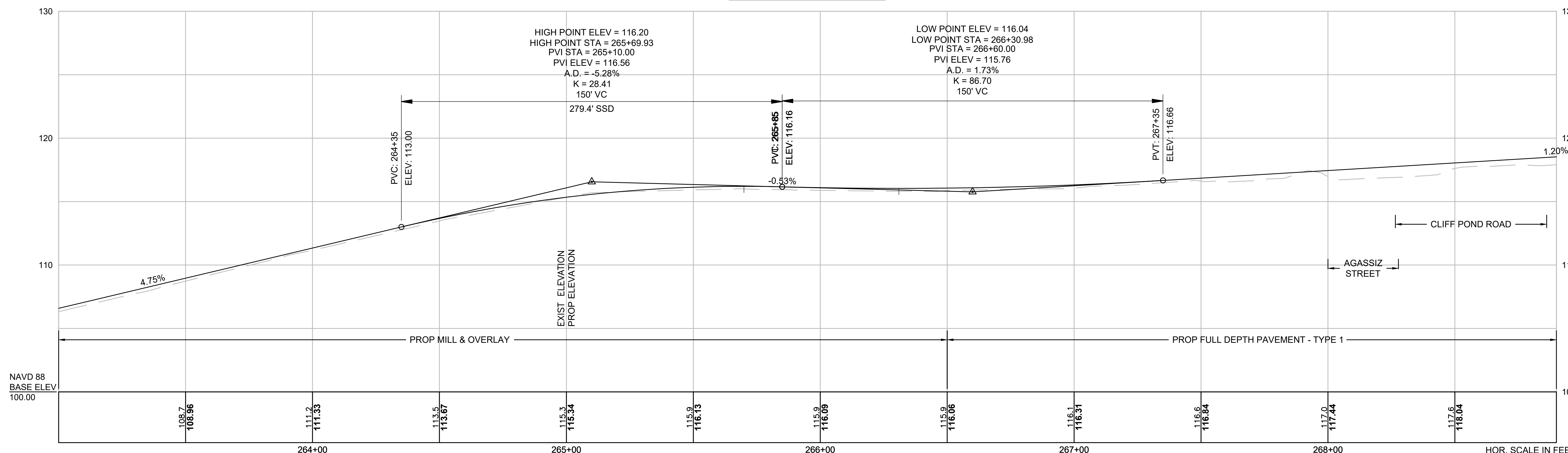


FOR CONSTRUCTION PLANS SEE SHEET 13

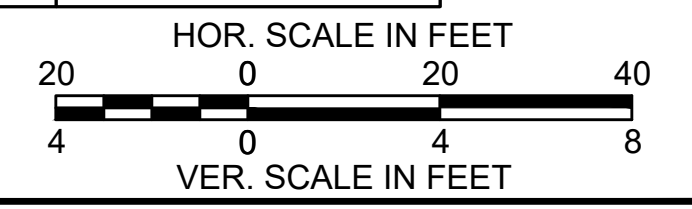
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MILLSTONE ROAD



FOR CONSTRUCTION PLANS SEE SHEET 13

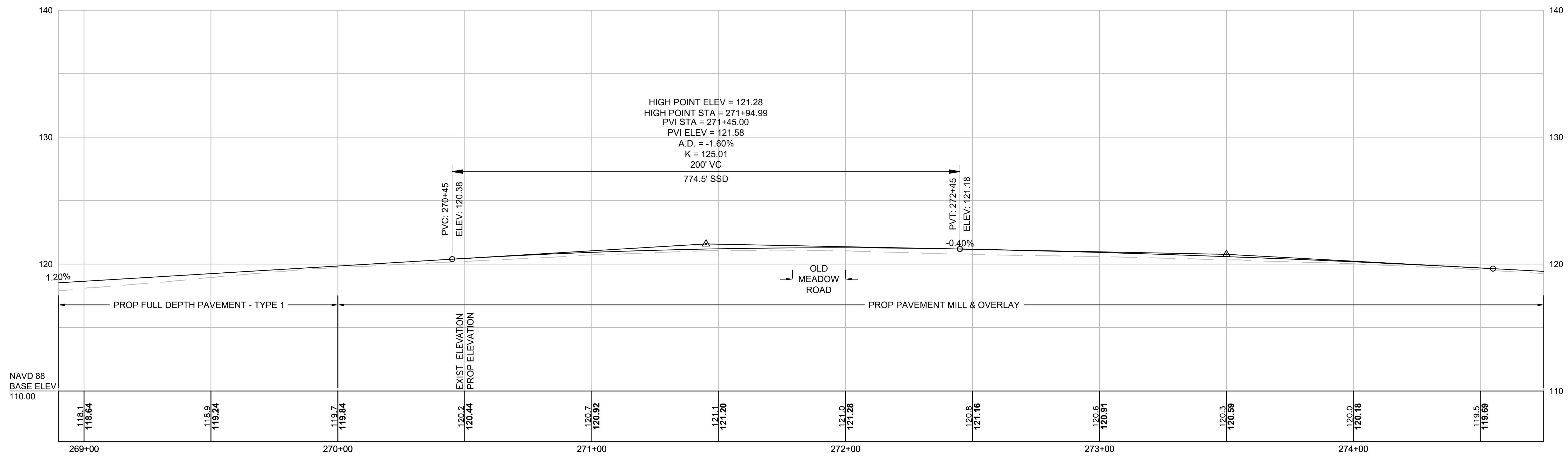


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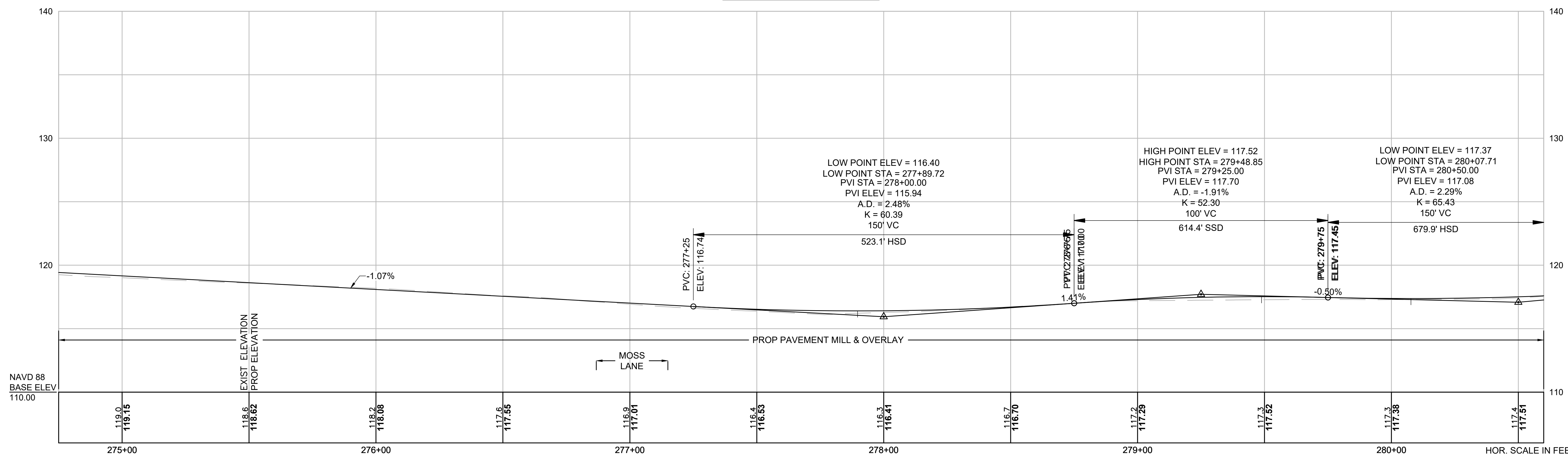
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MILLSTONE ROAD

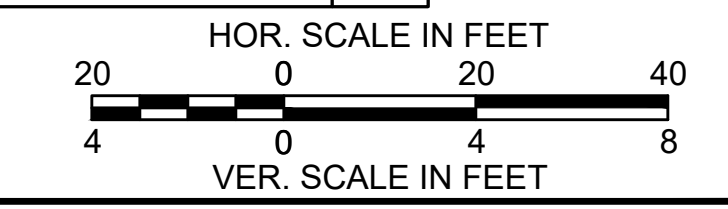


FOR CONSTRUCTION PLANS SEE SHEET 14

MILLSTONE ROAD



FOR CONSTRUCTION PLANS SEE SHEET 14



CONTINUED ON
SHEET NO. 25

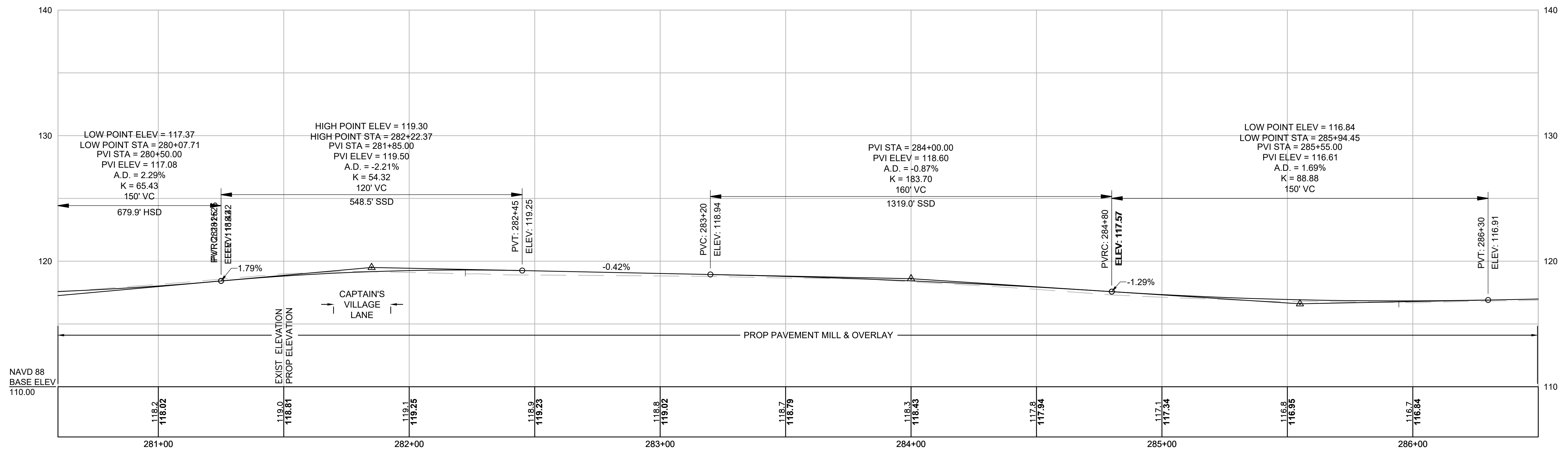
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SHEET NO. 27

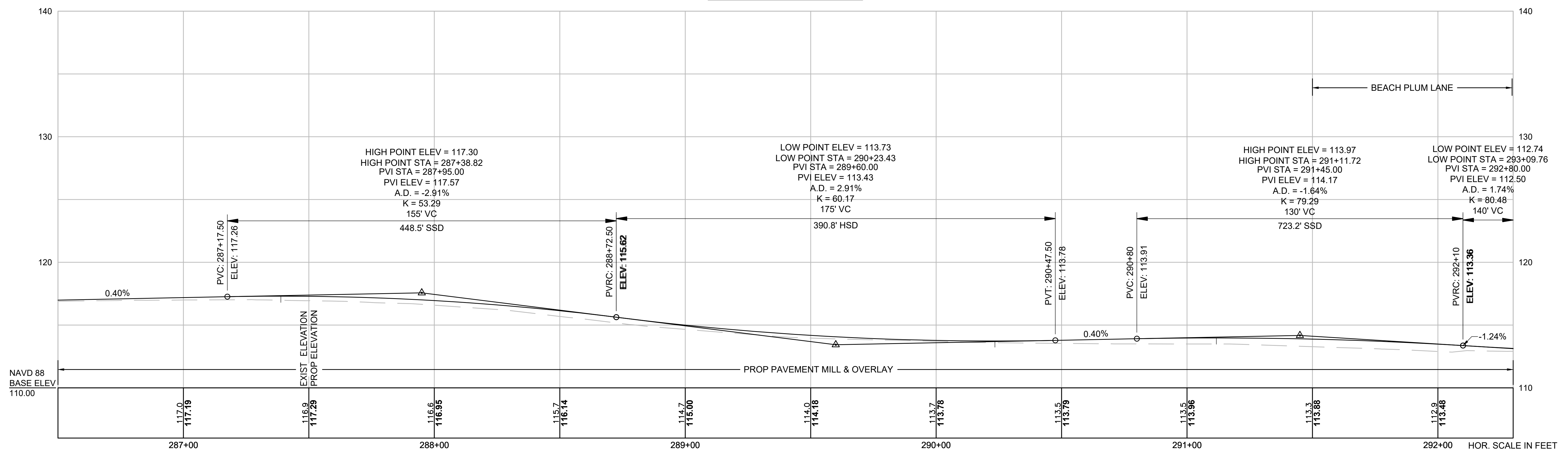
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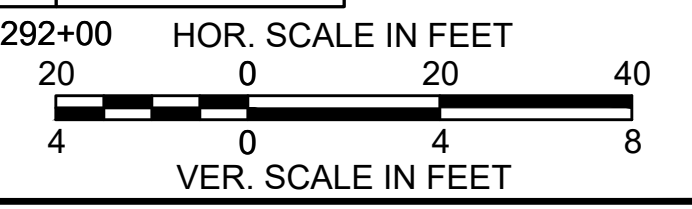


FOR CONSTRUCTION PLANS SEE SHEET 15

MILLSTONE ROAD



FOR CONSTRUCTION PLANS SEE SHEET 15



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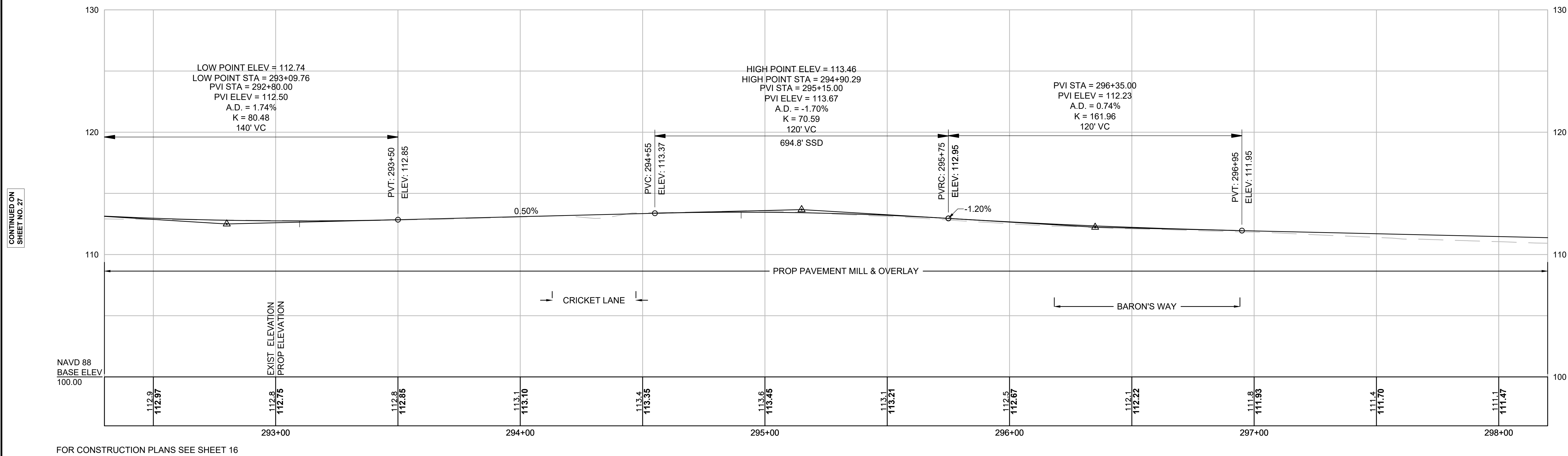
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NOTE:
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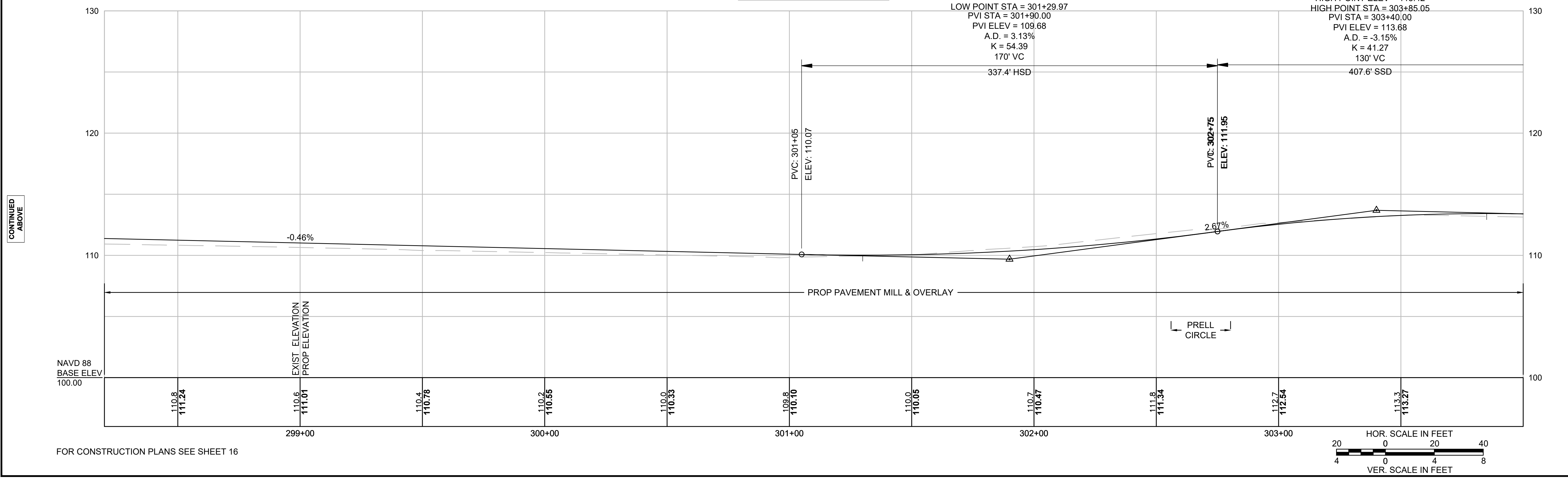


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FOR CONSTRUCTION PLANS SEE SHEET 16

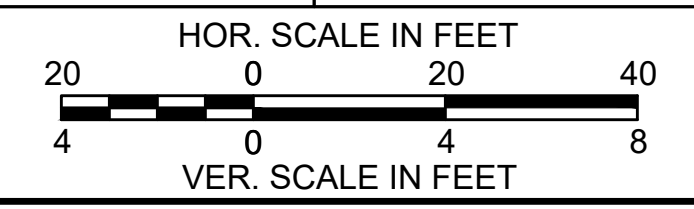
MILLSTONE ROAD



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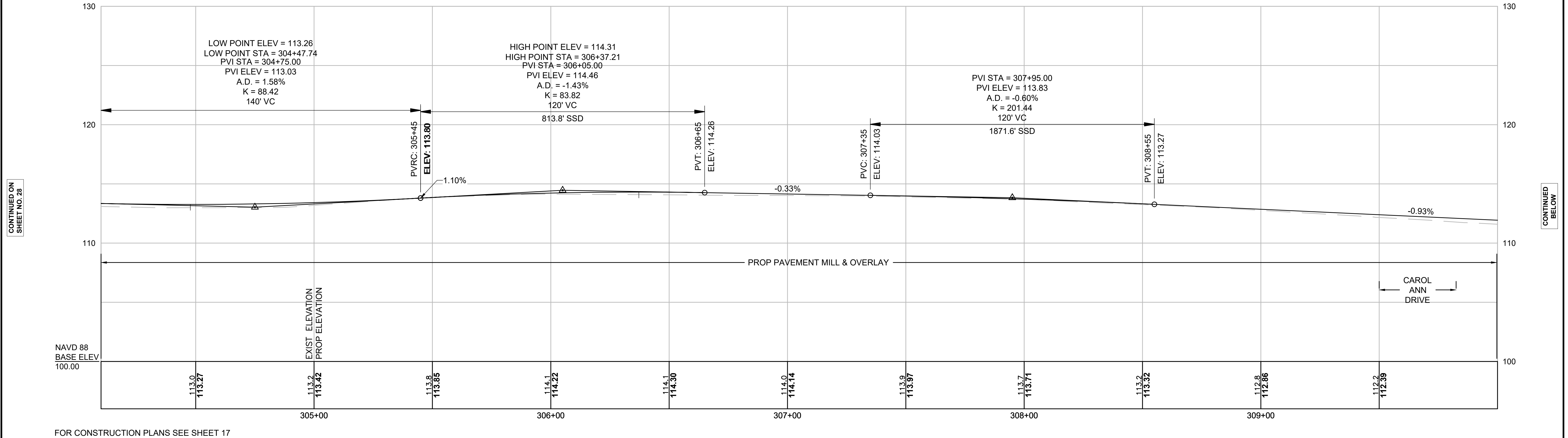
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FOR CONSTRUCTION PLANS SEE SHEET 16



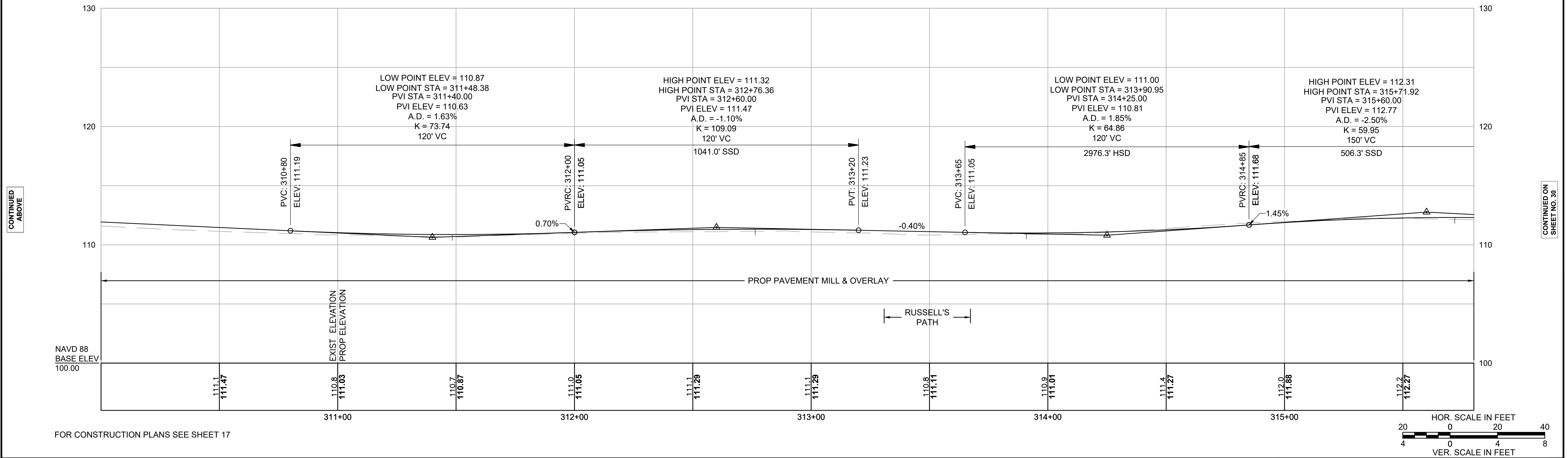
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MILLSTONE ROAD

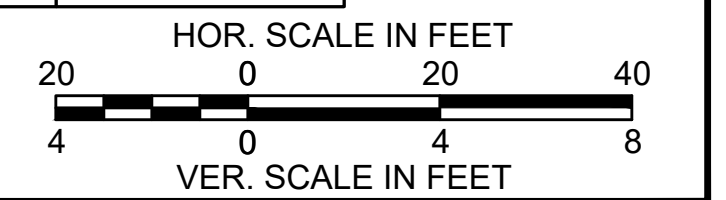


FOR CONSTRUCTION PLANS SEE SHEET 17

MILLSTONE ROAD



FOR CONSTRUCTION PLANS SEE SHEET 17



CONTINUED ON
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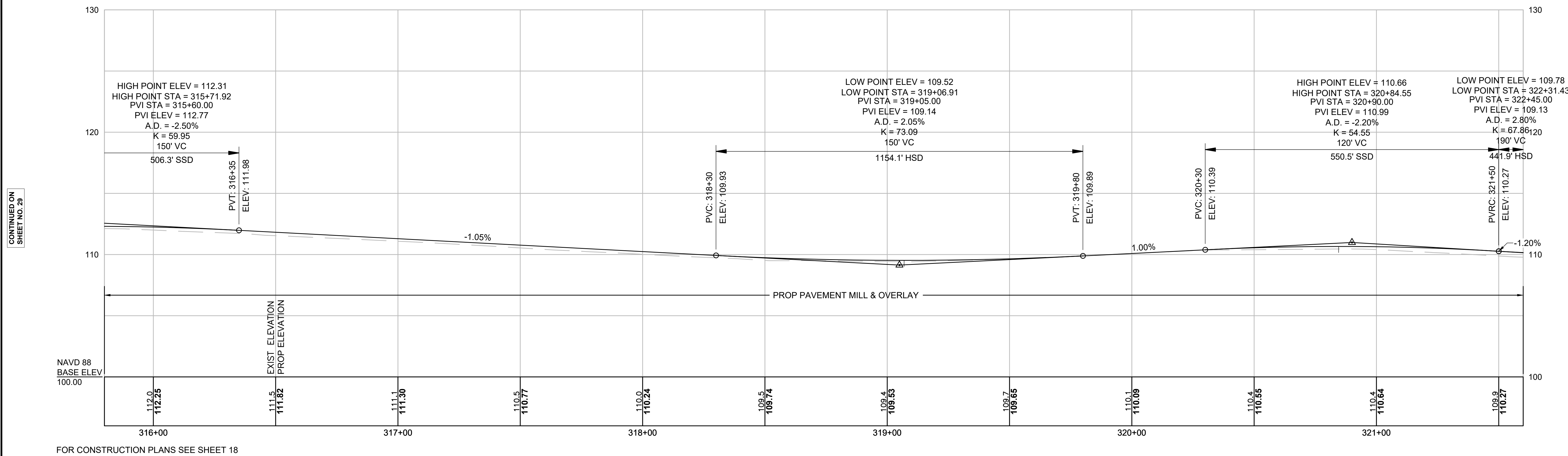
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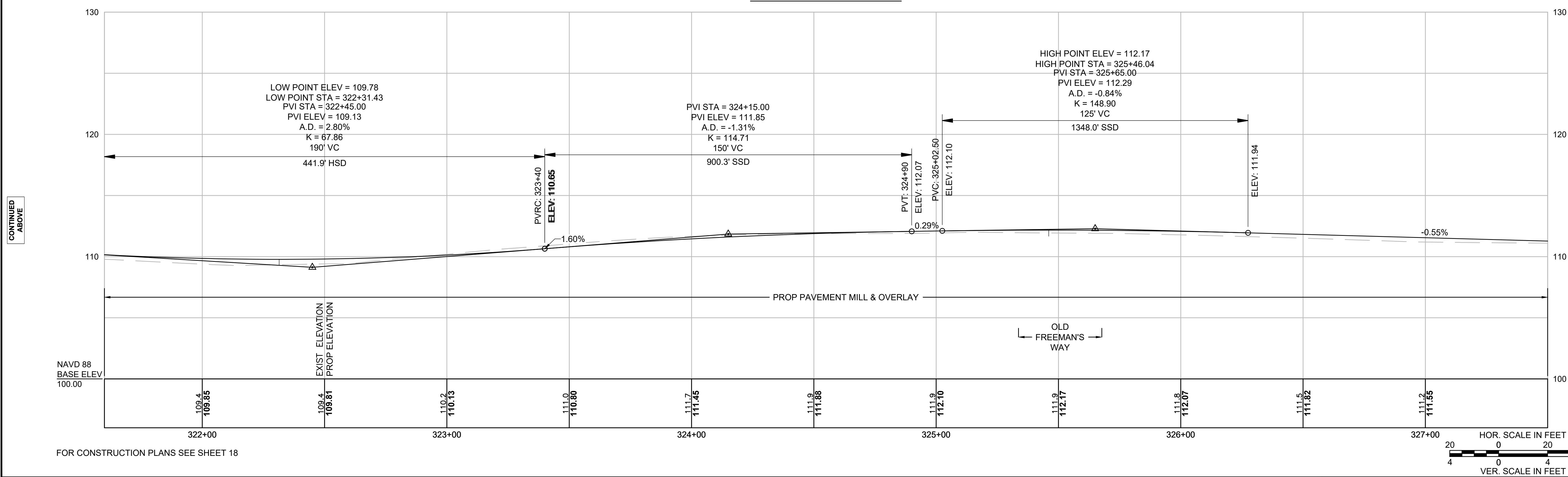
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MILLSTONE ROAD

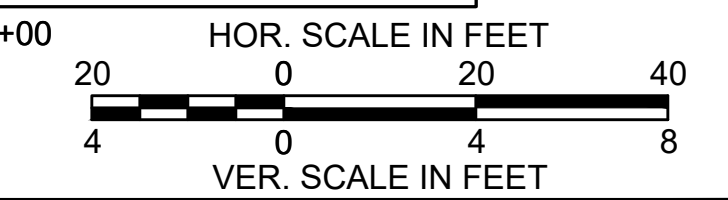


FOR CONSTRUCTION PLANS SEE SHEET 18

MILLSTONE ROAD



FOR CONSTRUCTION PLANS SEE SHEET 18



CONTINUED ON
SHEET NO. 29

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BELOW

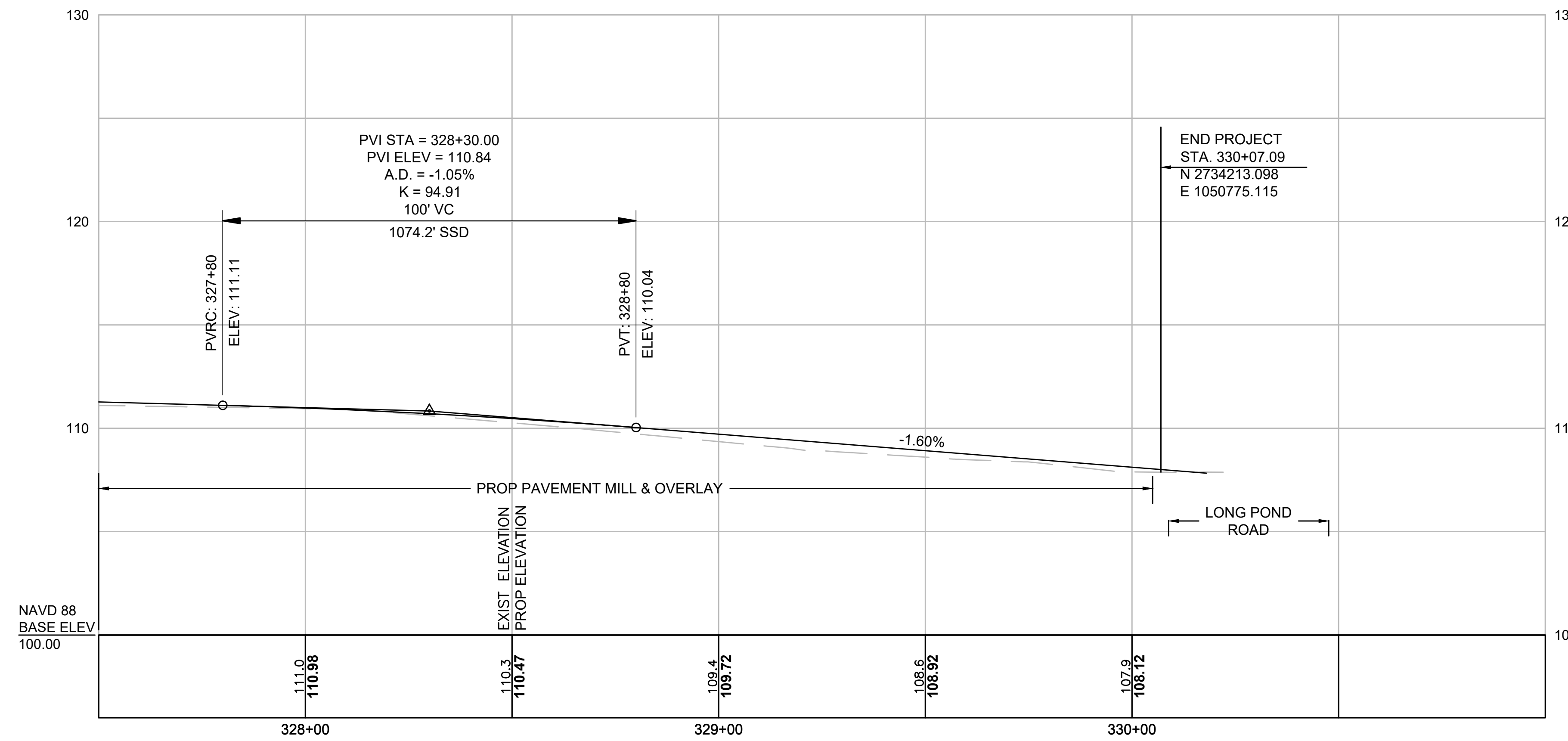
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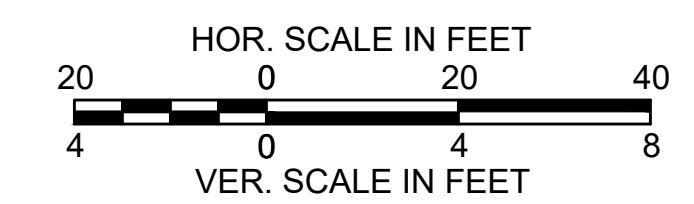
PROPOSED PROFILE IN MILL & OVERLAY SECTIONS SHOWN FOR INFORMATION ONLY

MILLSTONE ROAD



CONTINUED ON
SHEET NO. 30

FOR CONSTRUCTION PLANS SEE SHEET 19



**TOWN OF BREWSTER
MILLSTONE ROAD
ALIGNMENT & GRADING PLANS
SHEET 33 OF 123**

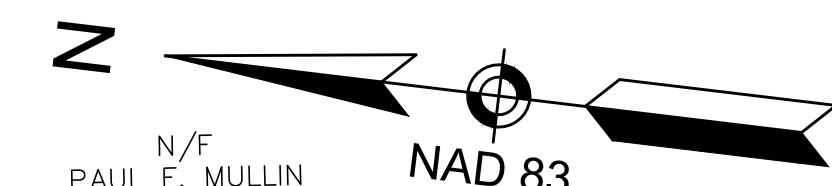
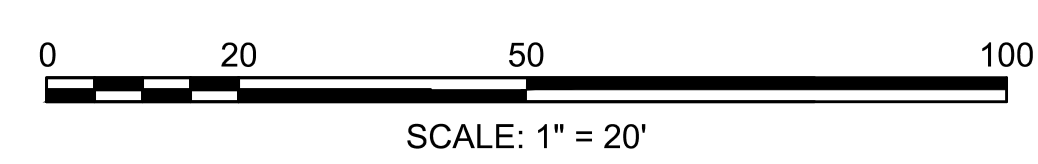
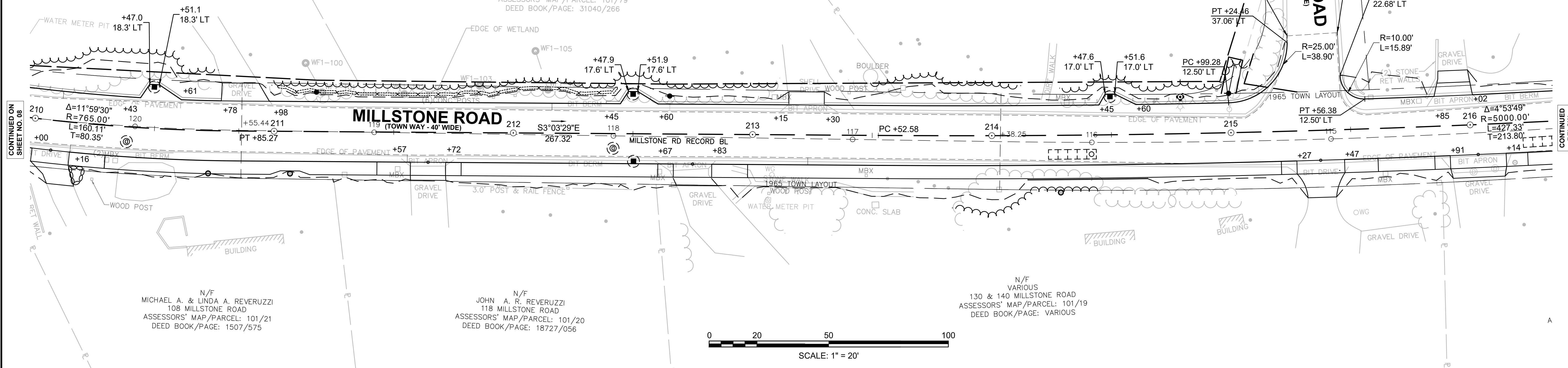


NAD 83
N/F
KOI POND REALTY LLC
99 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 101/78
DEED BOOK/PAGE: 30170/137

N/F
NOAH & MEGAN EHRENPREIS
133 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 101/79
DEED BOOK/PAGE: 31040/266

N/F
DONALD W. MCNICHOL TRUSTEE
DONALD W. MCNICHOL REVOC TR
139 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 101/80
DEED BOOK/PAGE: 26375/83

N/F
PAUL F. MULLIN
159 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 101/100
DEED BOOK/PAGE: 26314/34



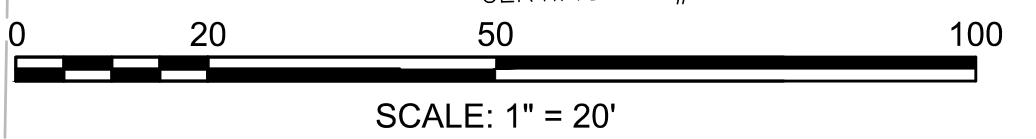
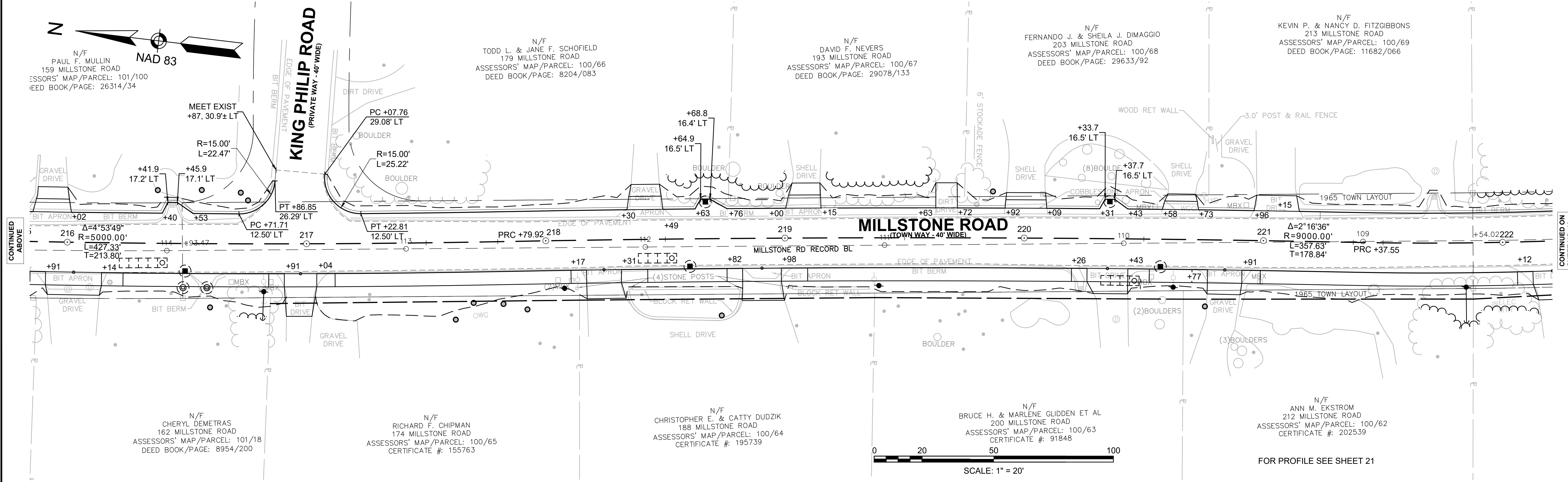
NAD 83
N/F
PAUL F. MULLIN
159 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 101/100
DEED BOOK/PAGE: 26314/34

N/F
TODD L. & JANE F. SCHOFIELD
179 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 100/66
DEED BOOK/PAGE: 8204/083

N/F
DAVID F. NEVERS
193 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 100/67
DEED BOOK/PAGE: 29078/133

N/F
FERNANDO J. & SHEILA J. DIMAGGIO
203 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 100/68
DEED BOOK/PAGE: 29633/92

N/F
KEVIN P. & NANCY D. FITZGIBBONS
213 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 100/69
DEED BOOK/PAGE: 11682/066



FOR PROFILE SEE SHEET 21

N/F
CHERYL DEMETRAS
162 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 101/18
DEED BOOK/PAGE: 8954/200

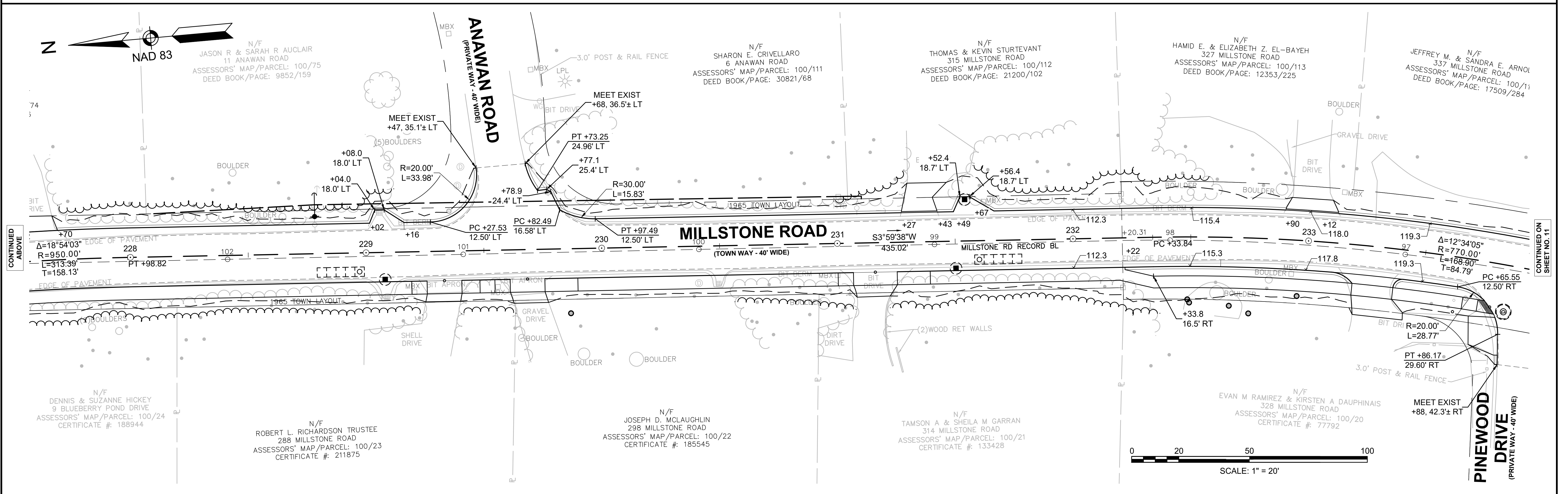
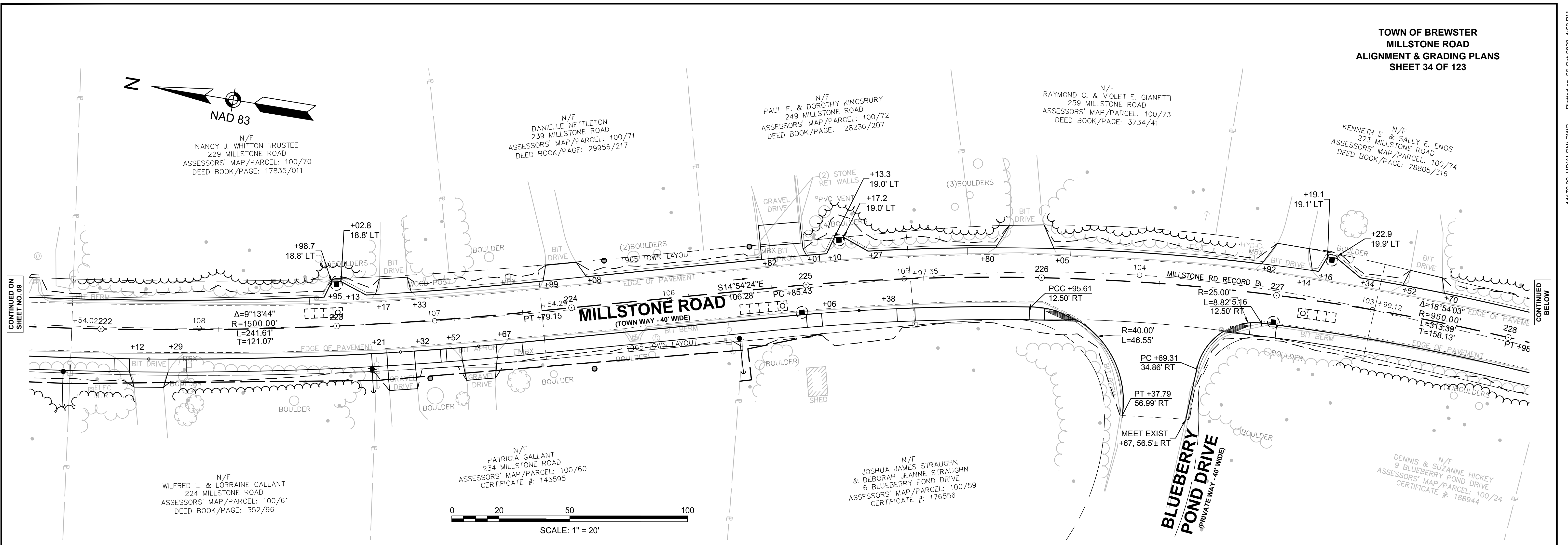
N/F
RICHARD F. CHIPMAN
174 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 100/65
CERTIFICATE #: 155763

N/F
CHRISTOPHER E. & CATTY DUDZIK
188 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 100/64
CERTIFICATE #: 195739

N/F
BRUCE H. & MARLENE GLIDDEN ET AL
200 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 100/63
CERTIFICATE #: 91848

N/F
ANN M. EKSTROM
212 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 100/62
CERTIFICATE #: 202539

TOWN OF BREWSTER
MILLSTONE ROAD
ALIGNMENT & GRADING PLANS
SHEET 34 OF 123



14170.00_HD\ALGN\DWG Plotted on: 28-Oct-2023 1:53 PM

CONTINUED ON SHEET NO. 09

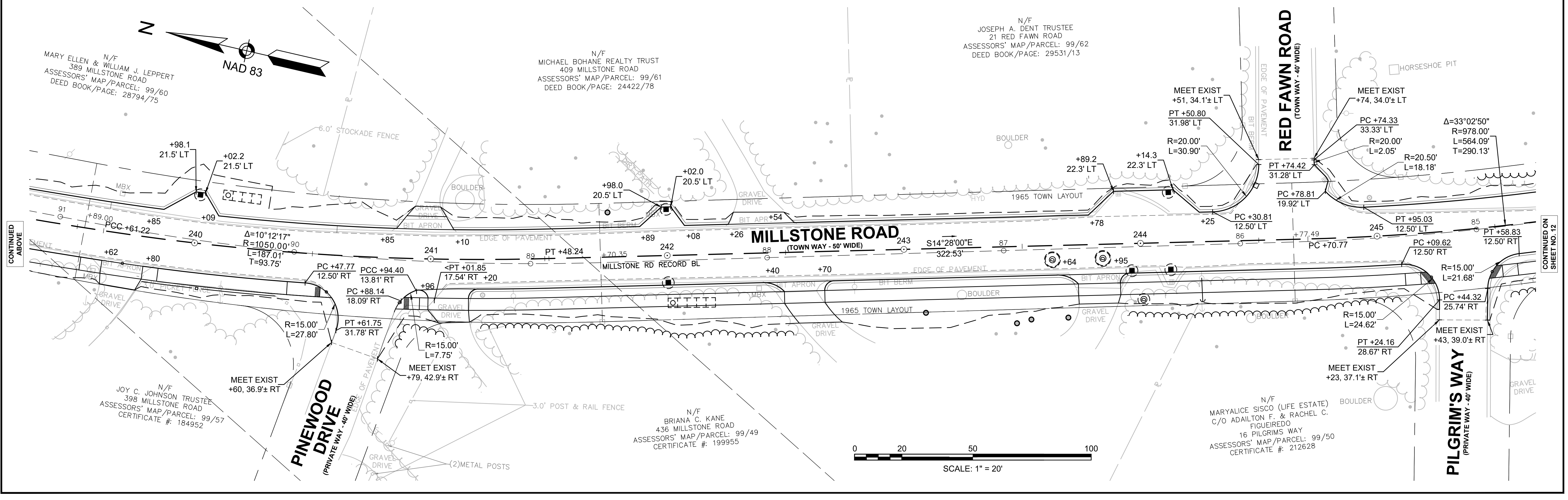
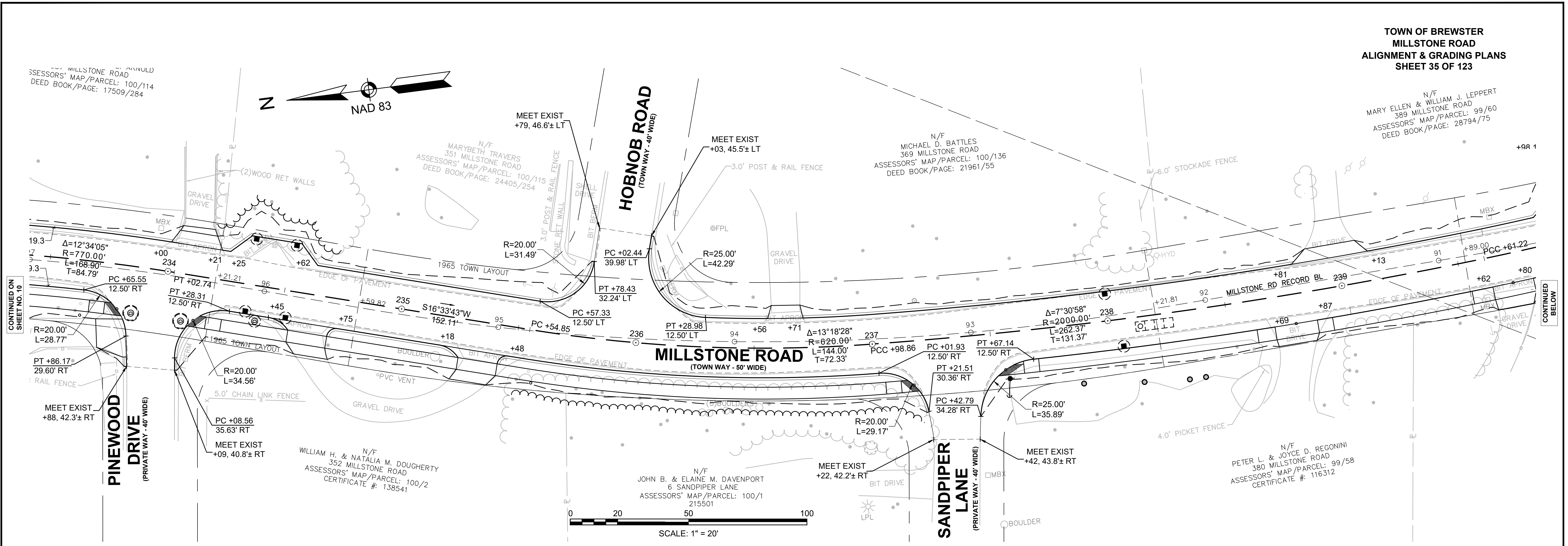
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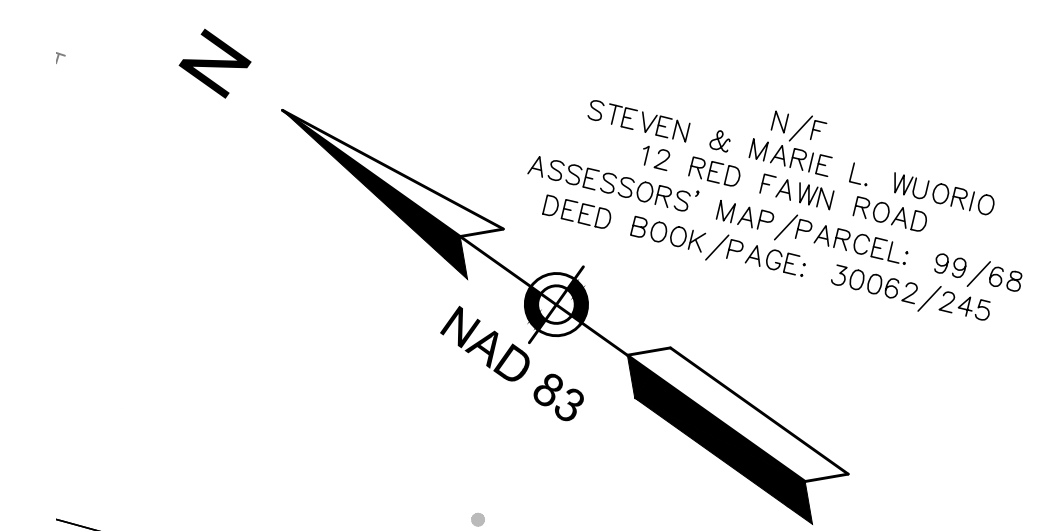
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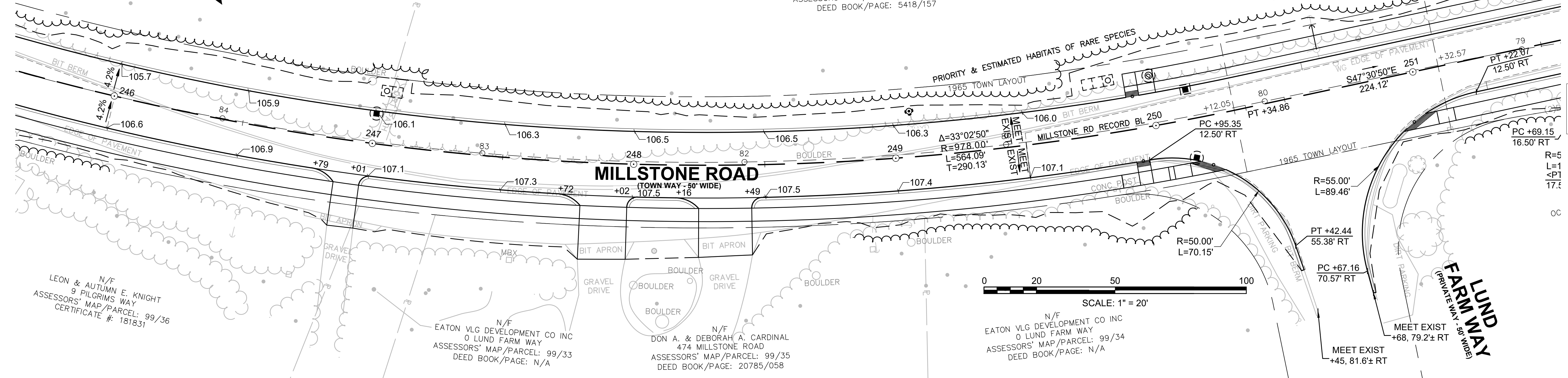
**TOWN OF BREWSTER
MILLSTONE ROAD
ALIGNMENT & GRADING PLANS
SHEET 35 OF 123**

14170.00_HD(ALGN)DWG Plotted on: 28-Oct-2023 1:54 PM





N/F
MASSACHUSETTS COMMONWEALTH DEPT OF ENVIORMENTAL
MGMT
0 NICKERSON STATE PARK
ASSESSORS' MAP/PARCEL: 114/63/7966
DEED BOOK/PAGE: 5418/157



N/F
LEON & AUTUMN E. KNIGHT
9 PILGRIMS WAY
ASSESSORS' MAP/PARCEL: 99/36
CERTIFICATE #: 181831

N/F
EATON VLG DEVELOPMENT CO INC
0 LUND FARM WAY
ASSESSORS' MAP/PARCEL: 99/33
DEED BOOK/PAGE: N/A

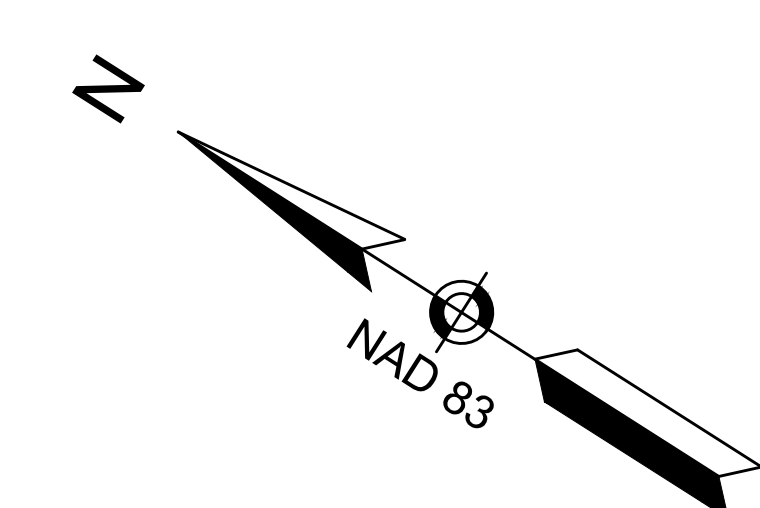
N/F
DON A. & DEBORAH A. CARDINAL
474 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 99/35
DEED BOOK/PAGE: 20785/058

N/F
EATON VLG DEVELOPMENT CO INC
0 LUND FARM WAY
ASSESSORS' MAP/PARCEL: 99/34
DEED BOOK/PAGE: N/A

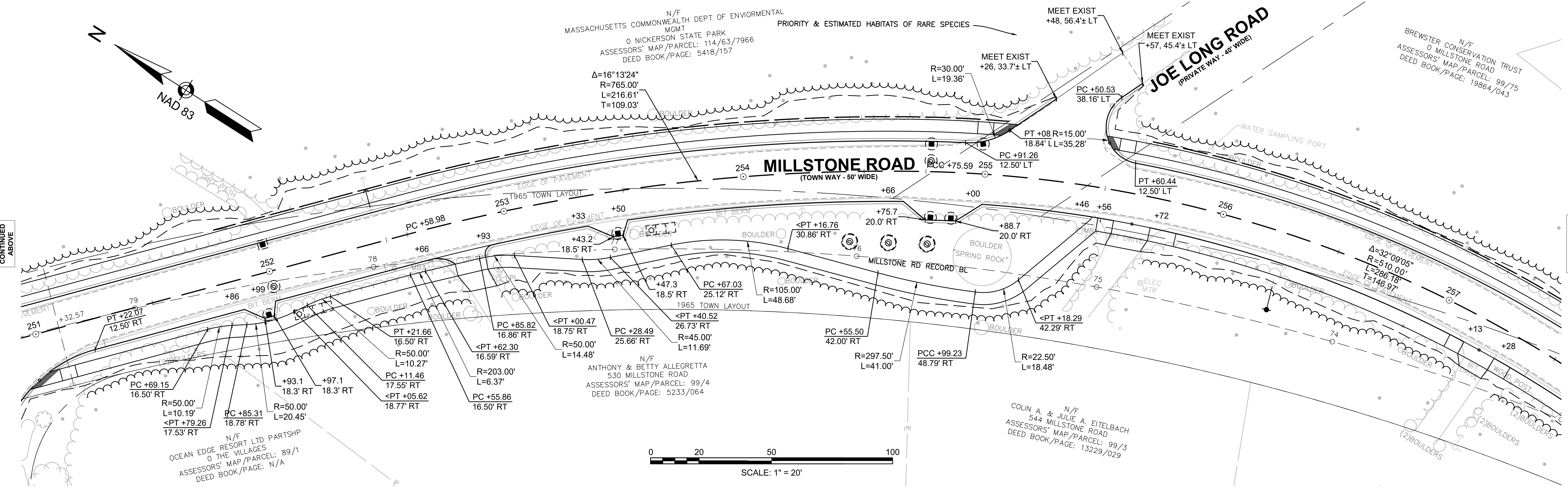
N/F
LUND FARM WAY
PRIVATE WAY - 40' WIDE
MEET EXIST
+68, 79.2± RT
MEET EXIST
+45, 81.6± RT

CONTINUED ON
SHEET NO. 11

CONTINUED
BELOW



N/F
MASSACHUSETTS COMMONWEALTH DEPT OF ENVIORMENTAL
MGMT
0 NICKERSON STATE PARK
ASSESSORS' MAP/PARCEL: 114/63/7966
DEED BOOK/PAGE: 5418/157



N/F
OCEAN EDGE RESORT LTD PARTSHIP
0 THE VILLAGES
ASSESSORS' MAP/PARCEL: 89/1
DEED BOOK/PAGE: N/A

N/F
ANTHONY & BETTY ALLEGRETTA
530 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 99/4
DEED BOOK/PAGE: 5233/064

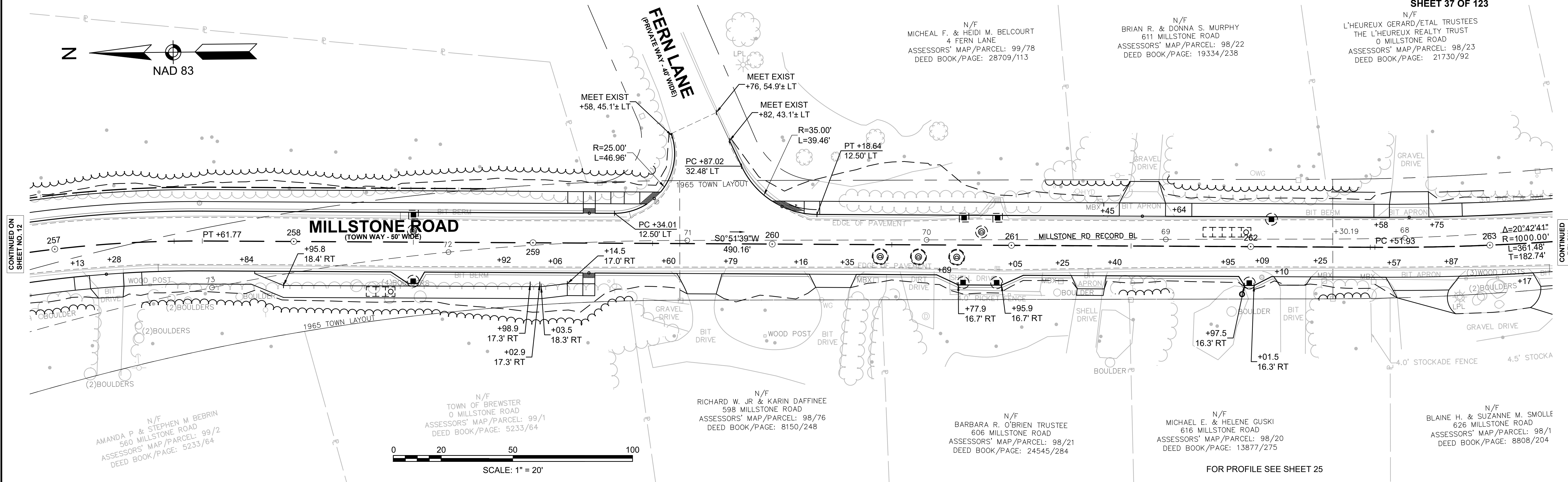
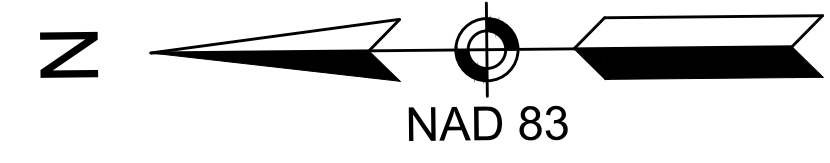
N/F
COLIN A. & JULIE A. EITELBACH
544 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 99/3
DEED BOOK/PAGE: 13229/029

N/F
BREWSTER CONSERVATION TRUST
0 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 99/75
DEED BOOK/PAGE: 19864/043

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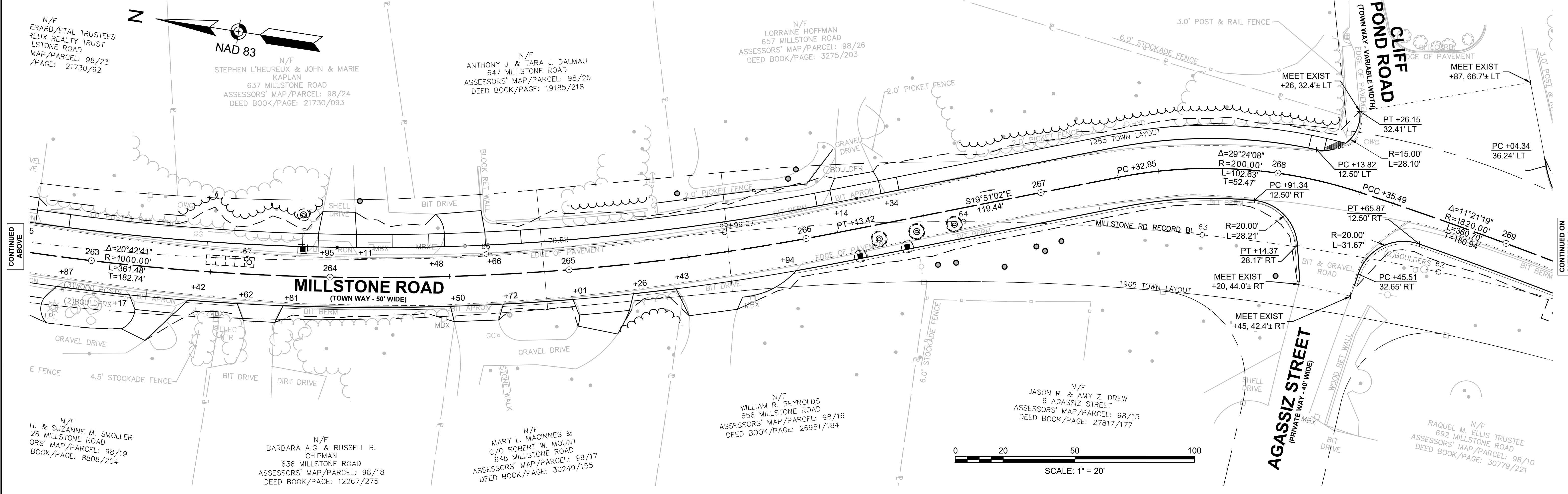
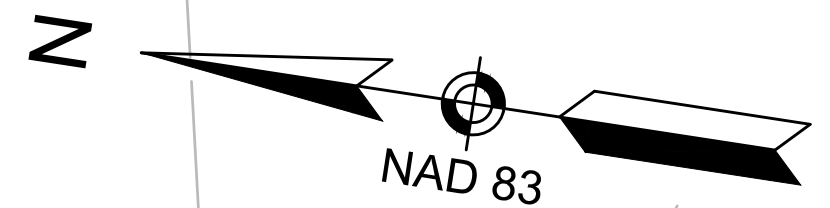
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**TOWN OF BREWSTER
MILLSTONE ROAD
ALIGNMENT & GRADING PLANS
SHEET 37 OF 123**



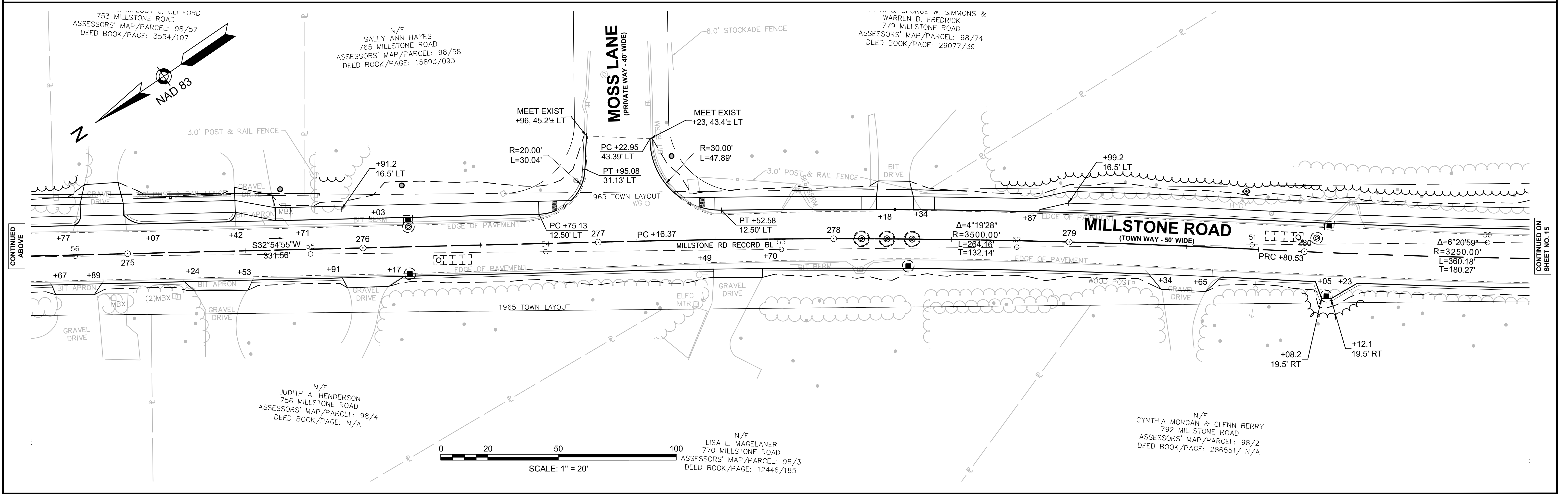
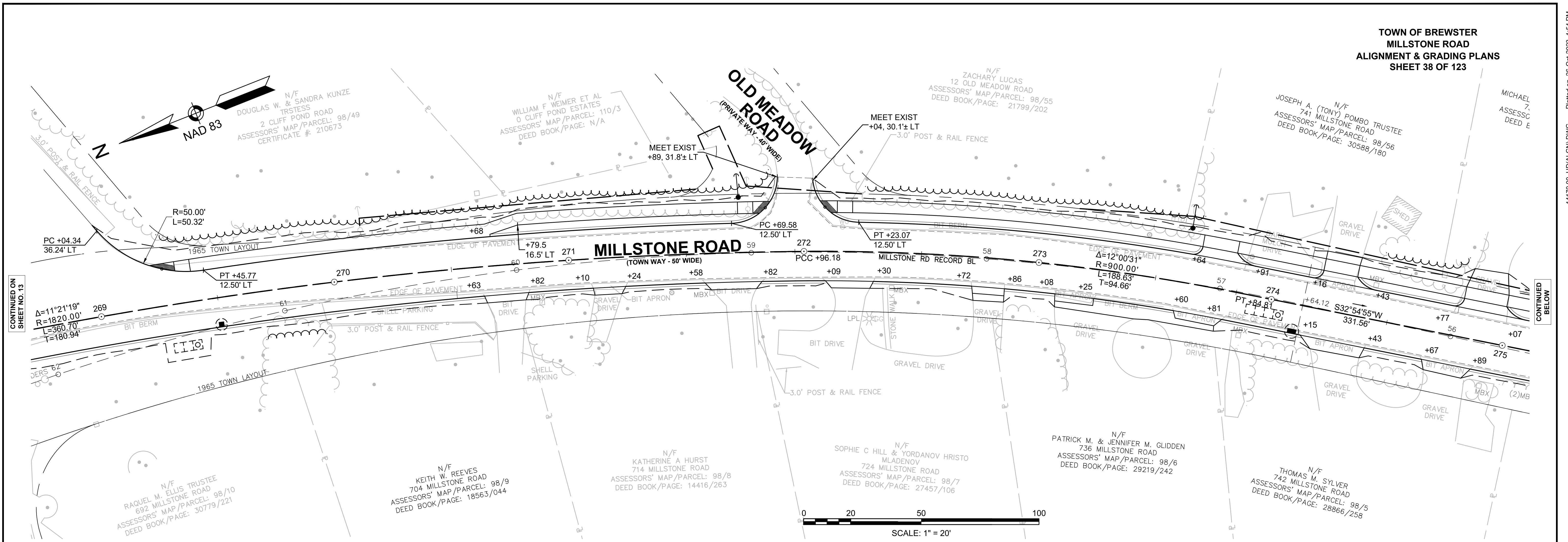
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BELOW



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ABOVE

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SHEET NO. 14



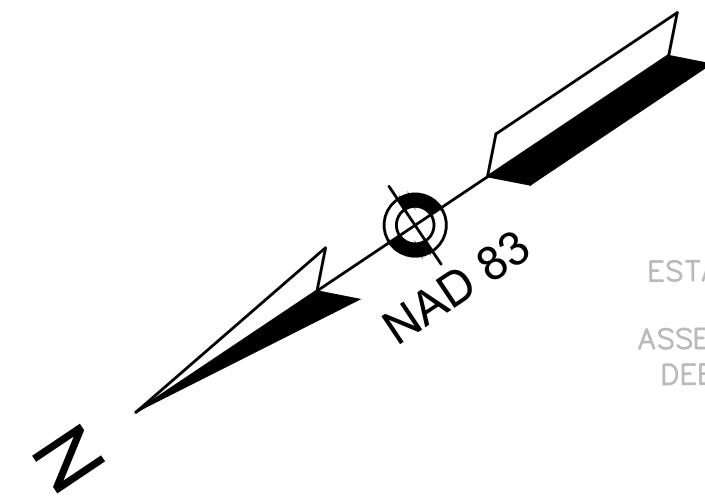
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SHEET NO. 13

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SHEET NO. 15

TOWN OF BREWSTER
MILLSTONE ROAD
ALIGNMENT & GRADING PLANS
SHEET 39 OF 123



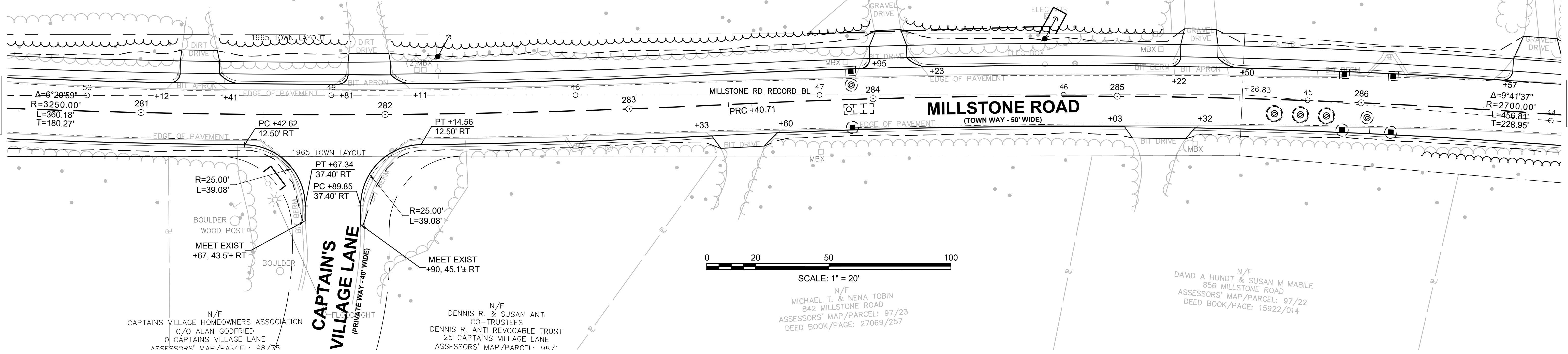
N/F
ESTATE OF AUDREY J. JENNINGS
825 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/24
DEED BOOK/PAGE: 22323/285

N/F
KENNETH W. THOMAS JR &
RACHELLE MARIE THOMAS
839 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/25
DEED BOOK/PAGE: 20219/118

N/F
JAMES M. REYNOLDS
855 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/26
DEED BOOK/PAGE: 9677/331

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SHEET NO. 14

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BELOW



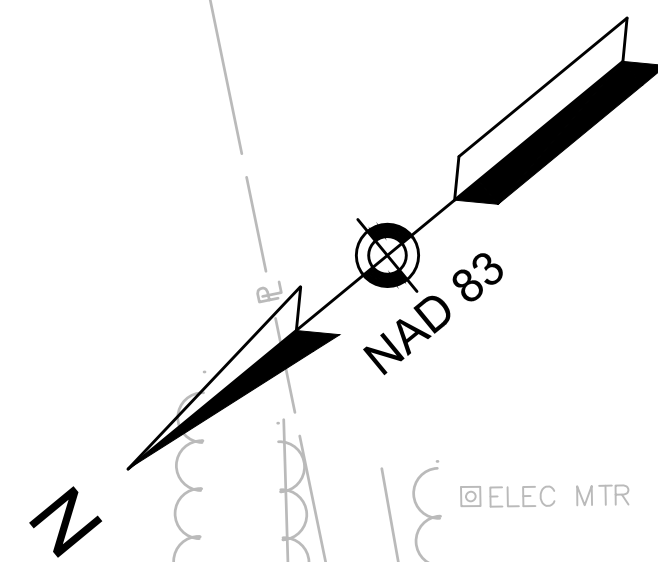
N/F
CAPTAINS VILLAGE HOMEOWNERS ASSOCIATION
C/O ALAN GODFRIED
0 CAPTAINS VILLAGE LANE
ASSESSORS' MAP/PARCEL: 98/75

**CAPTAIN'S
VILLAGE LANE**
(PRIVATE WAY - 40' WIDE)

N/F
DENNIS R. & SUSAN ANTI
CO-TRUSTEES
DENNIS R. ANTI REVOCABLE TRUST
25 CAPTAINS VILLAGE LANE
ASSESSORS' MAP/PARCEL: 98/1

N/F
MICHAEL T. & NENA TOBIN
842 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/23
DEED BOOK/PAGE: 27069/257

N/F
DAVID A HUNDT & SUSAN M MABILE
856 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/22
DEED BOOK/PAGE: 15922/014



N/F
MICHELLE M. YEUTTER
861 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/27
DEED BOOK/PAGE: 29400/80

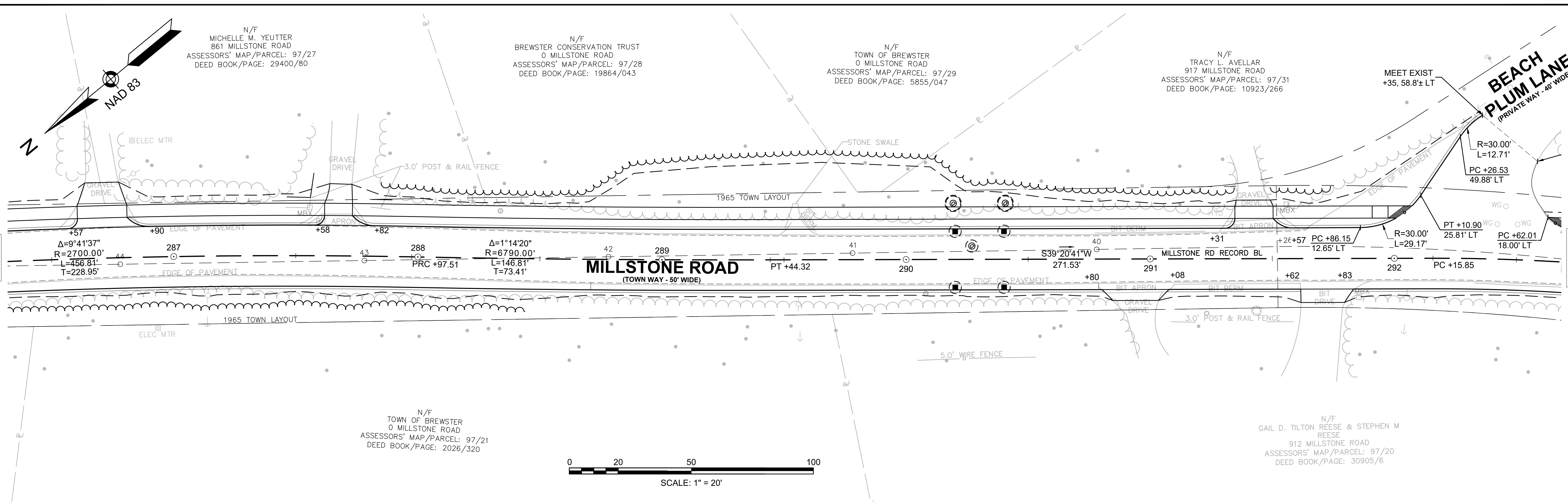
N/F
BREWSTER CONSERVATION TRUST
0 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/28
DEED BOOK/PAGE: 19864/043

N/F
TOWN OF BREWSTER
0 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/29
DEED BOOK/PAGE: 5855/047

N/F
TRACY L. AVELLAR
917 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/31
DEED BOOK/PAGE: 10923/266

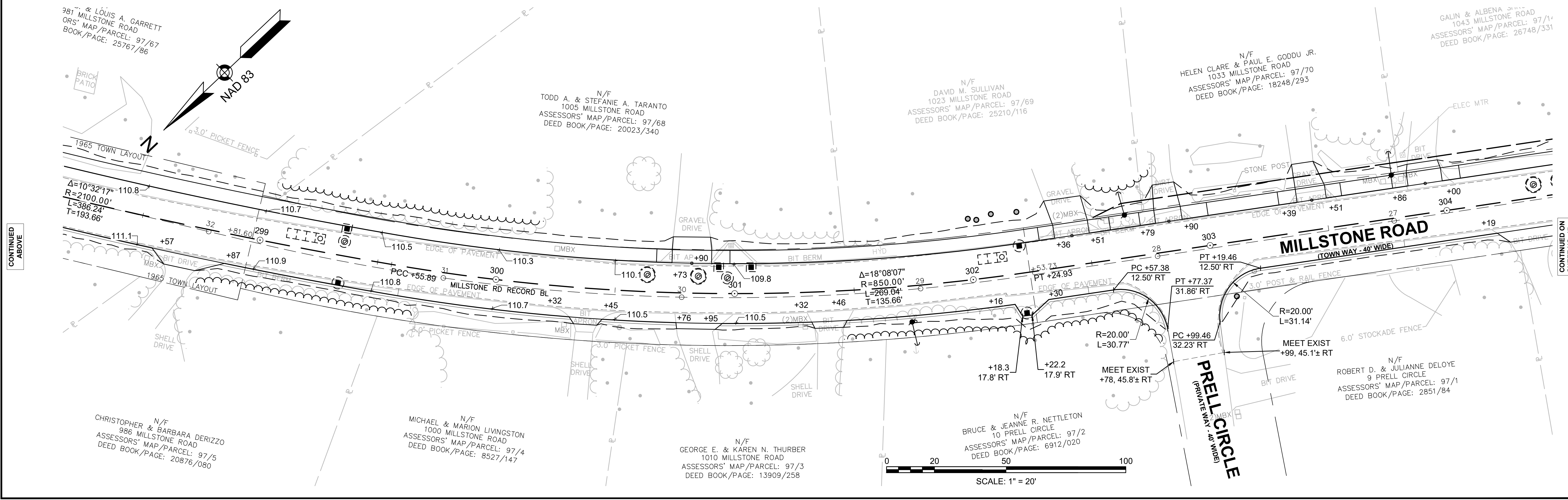
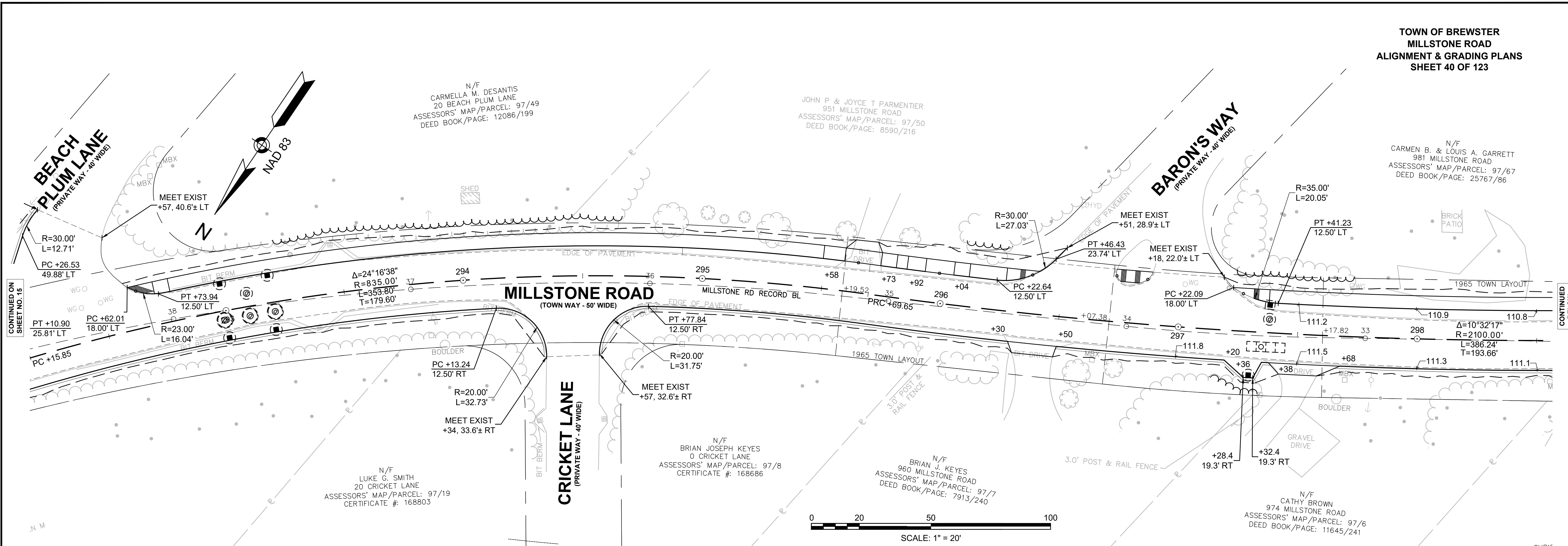
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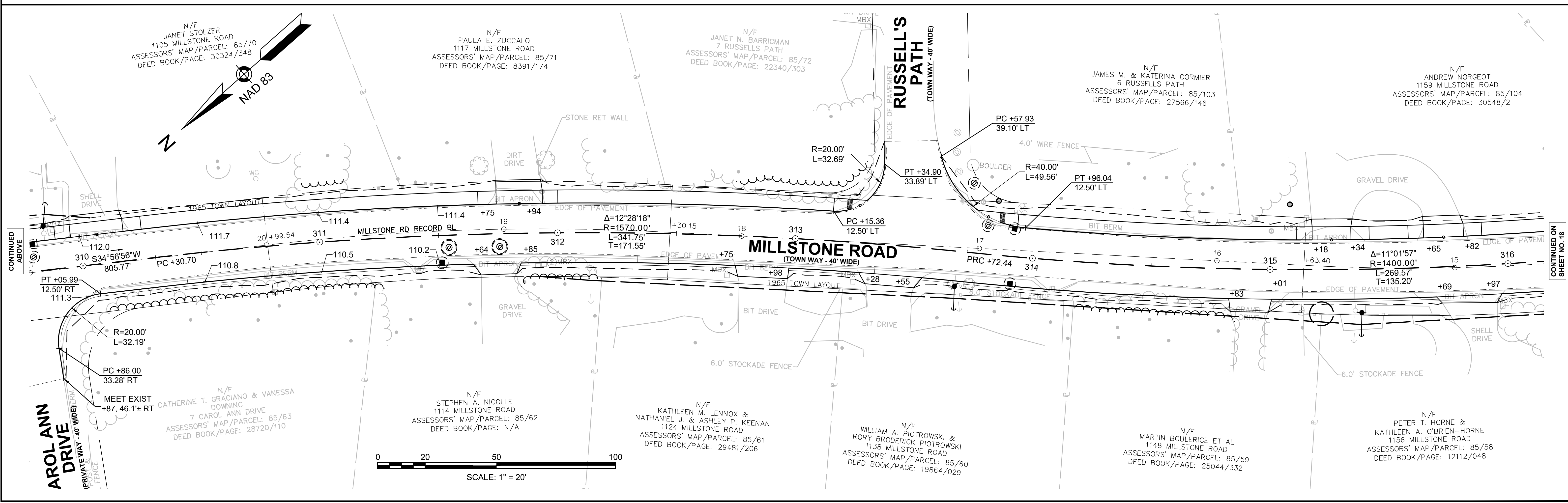
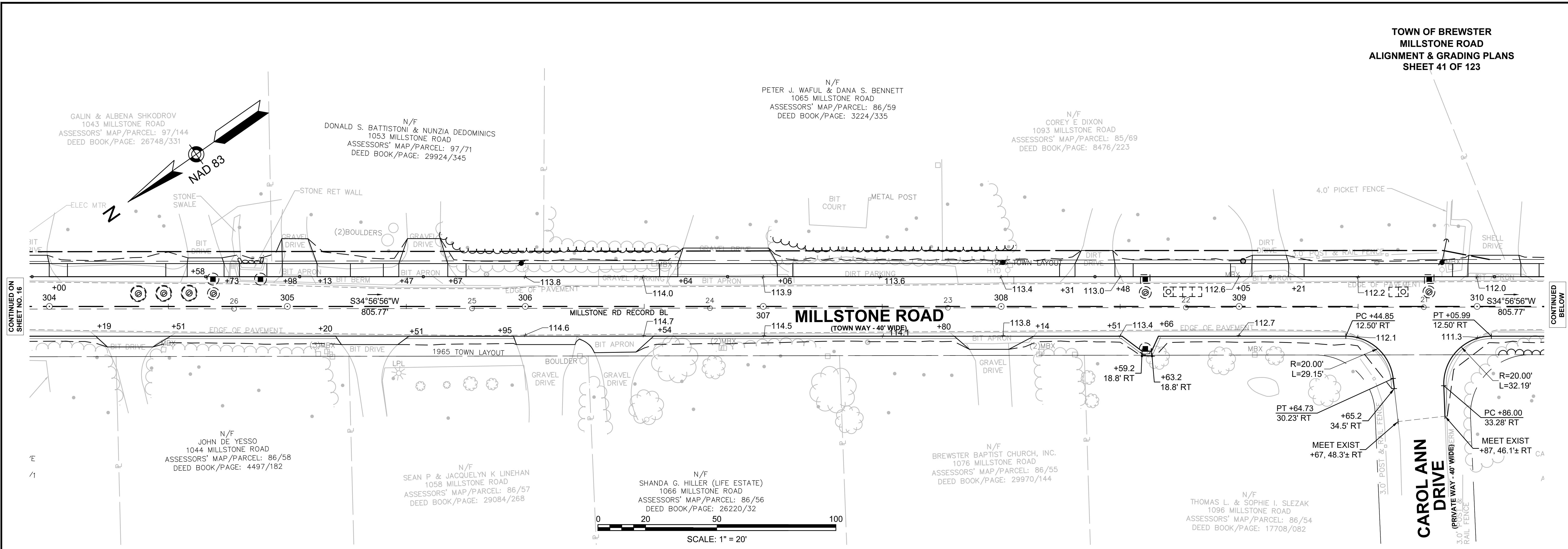
CONTINUED ON
SHEET NO. 16



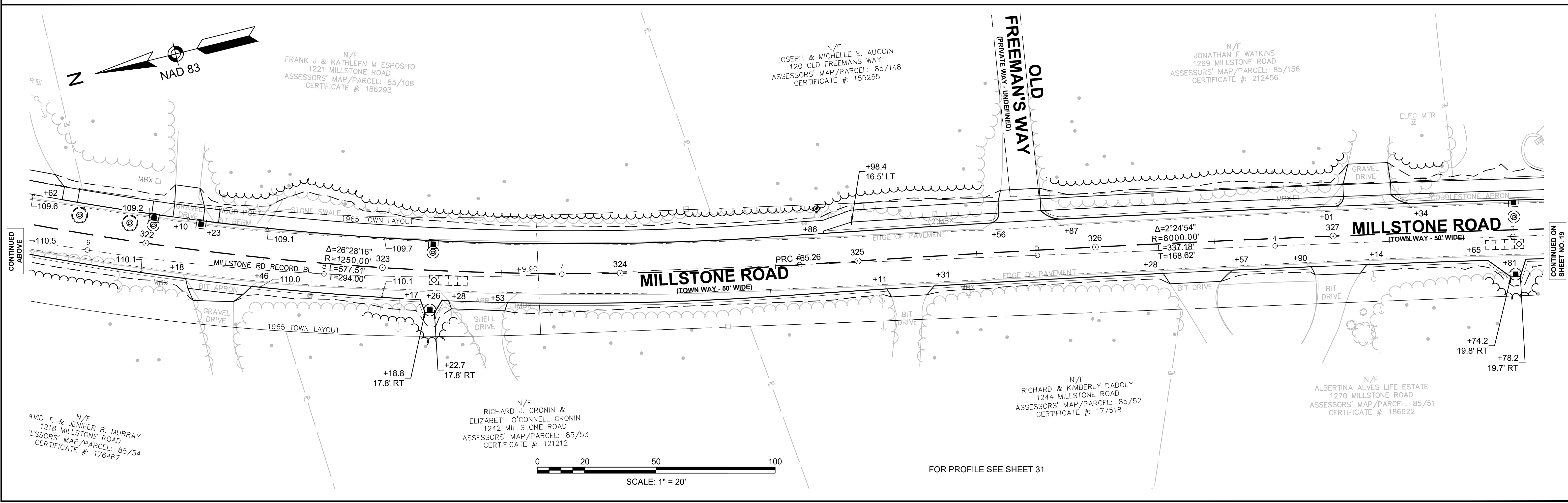
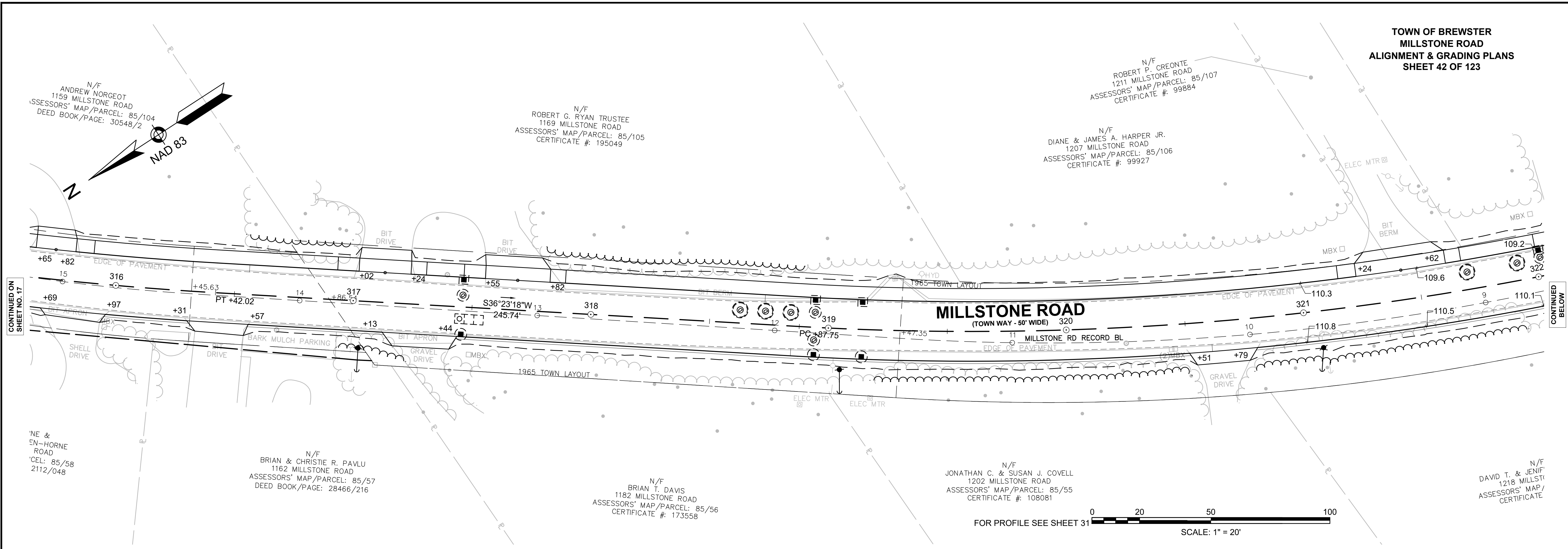
N/F
TOWN OF BREWSTER
0 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/21
DEED BOOK/PAGE: 2026/320

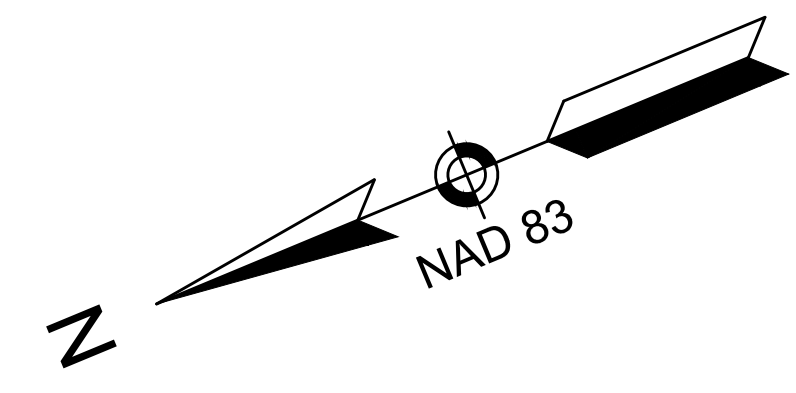
N/F
GAIL D. TILTON REESE & STEPHEN M
REESE
912 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/20
DEED BOOK/PAGE: 30905/6



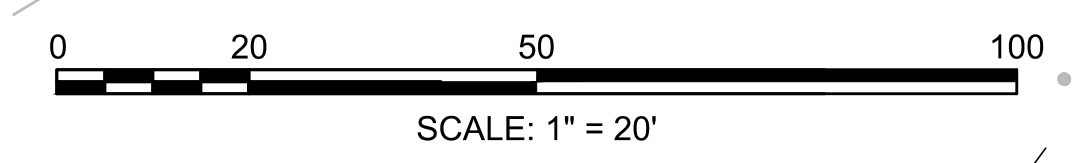
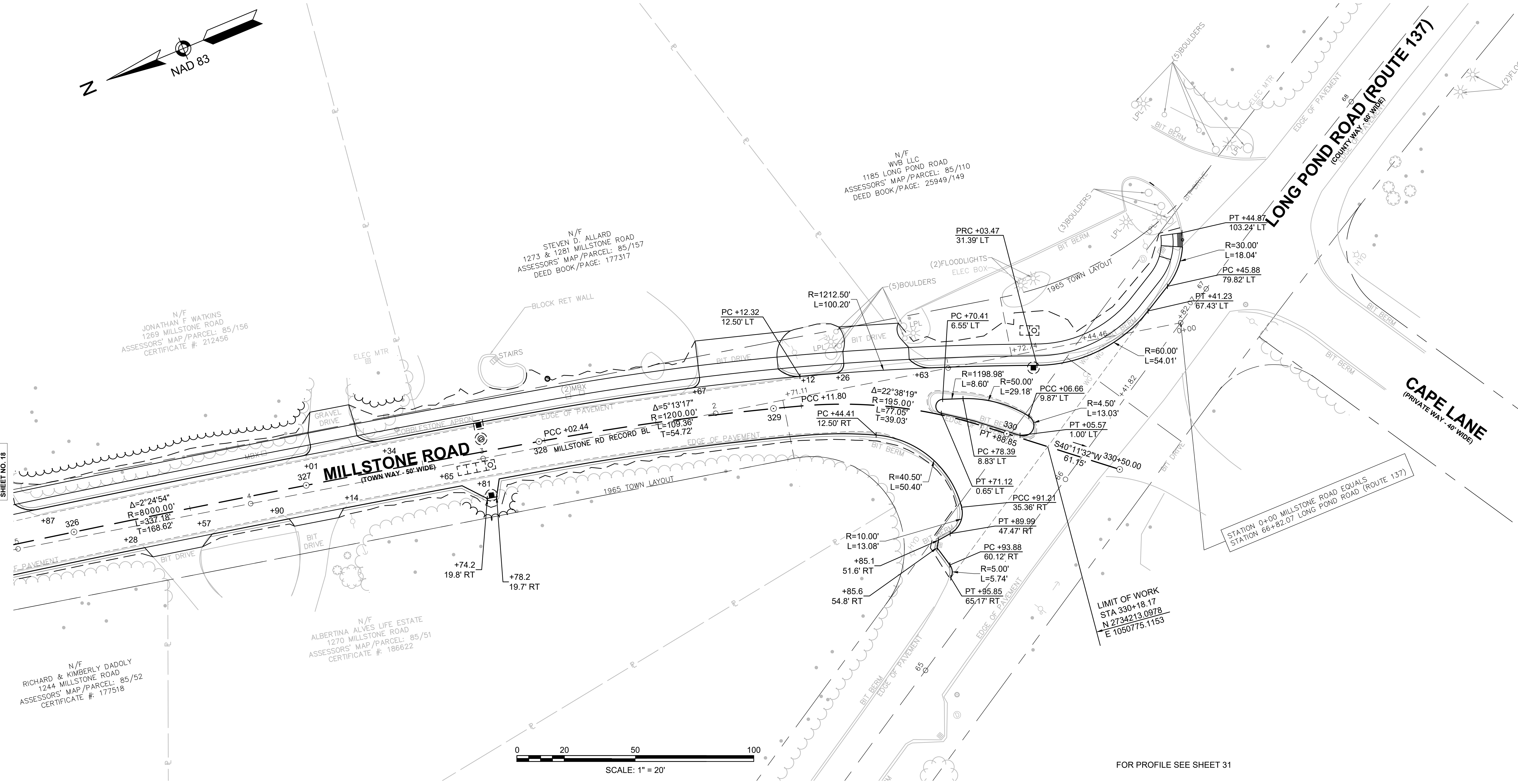


**TOWN OF BREWSTER
MILLSTONE ROAD
ALIGNMENT & GRADING PLANS
SHEET 42 OF 123**

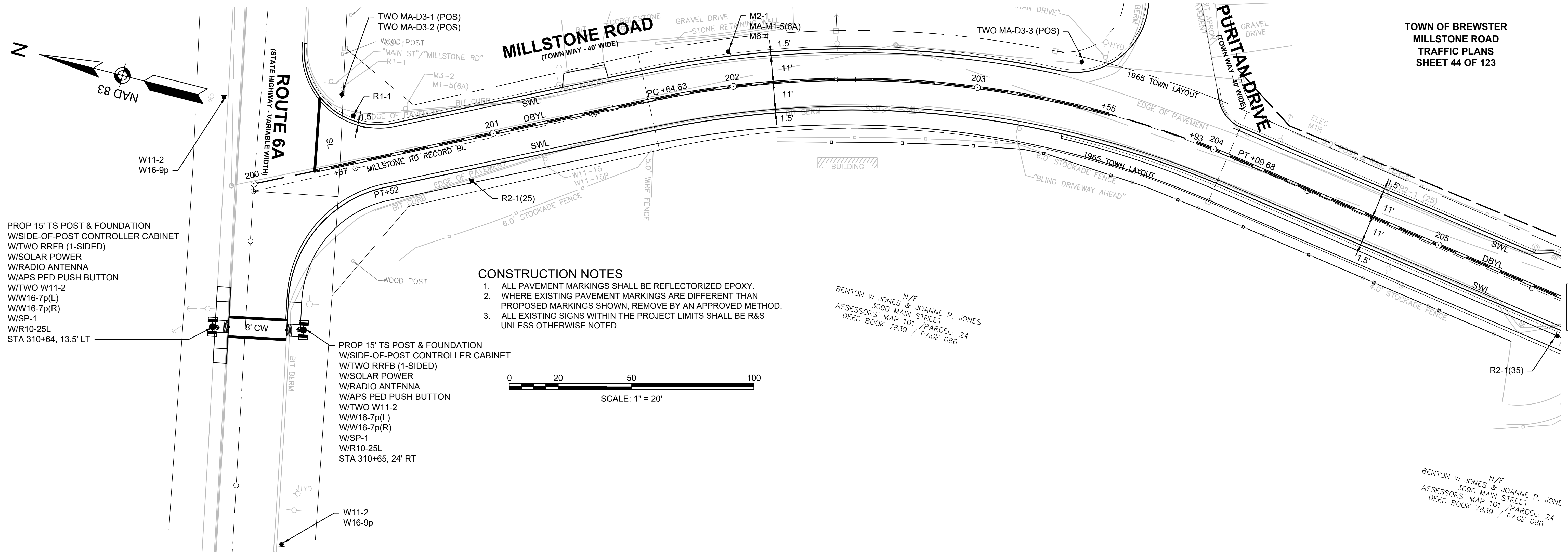




CONTINUED ON
SHEET NO. 18



FOR PROFILE SEE SHEET 31



PROP 15' TS POST & FOUNDATION
W/SIDE-OF-POST CONTROLLER CABINET
W/TWO RRFB (1-SIDED)
W/SOLAR POWER
W/RADIO ANTENNA
W/APS PED PUSH BUTTON
W/TWO W11-2
W/W16-7p(L)
W/W16-7p(R)
W/SP-1
W/R10-25L
STA 310+64, 13.5' LT

PROP 15' TS POST & FOUNDATION
W/SIDE-OF-POST CONTROLLER CABINET
W/TWO RRFB (1-SIDED)
W/SOLAR POWER
W/RADIO ANTENNA
W/APS PED PUSH BUTTON
W/TWO W11-2
W/W16-7p(L)
W/W16-7p(R)
W/SP-1
W/R10-25L
STA 310+65, 24' RT

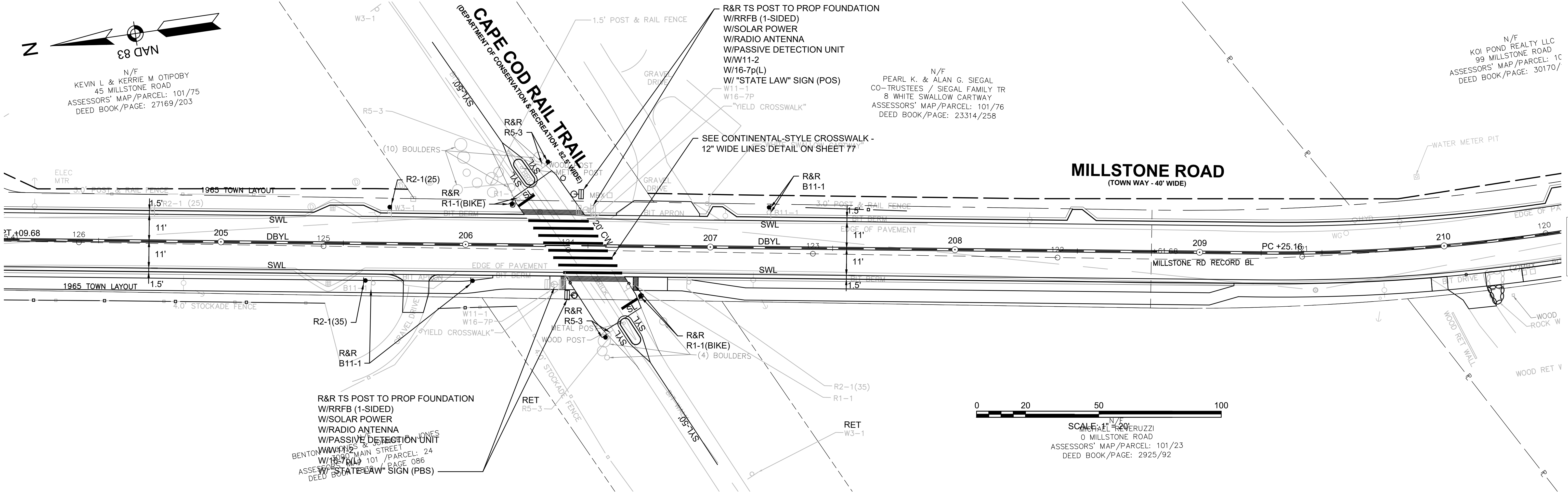
CONSTRUCTION NOTES

1. ALL PAVEMENT MARKINGS SHALL BE REFLECTORIZED EPOXY.
2. WHERE EXISTING PAVEMENT MARKINGS ARE DIFFERENT THAN PROPOSED MARKINGS SHOWN, REMOVE BY AN APPROVED METHOD.
3. ALL EXISTING SIGNS WITHIN THE PROJECT LIMITS SHALL BE R&S UNLESS OTHERWISE NOTED.

SCALE: 1" = 20'

BENTON W JONES & JOANNE P. JONES
N/F
3090 MAIN STREET
ASSESSORS' MAP/PARCEL: 101/75
DEED BOOK 7839 / PAGE 086

BENTON W JONES & JOANNE P. JONES
N/F
3090 MAIN STREET
ASSESSORS' MAP/PARCEL: 101/75
DEED BOOK 7839 / PAGE 086



N/F
KEVIN L & KERRIE M OTIOBOY
45 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 101/75
DEED BOOK/PAGE: 27169/203

R&R TS POST TO PROP FOUNDATION
W/RRFB (1-SIDED)
W/SOLAR POWER
W/RADIO ANTENNA
W/PASSIVE DETECTION UNIT
W/W11-2
W/W16-7p(L)
W/W16-7p(R)
W/SP-1
W/R10-25L
STA 310+65, 24' RT

R&R TS POST TO PROP FOUNDATION
W/RRFB (1-SIDED)
W/SOLAR POWER
W/RADIO ANTENNA
W/PASSIVE DETECTION UNIT
W/W11-2
W/W16-7p(L)
W/W16-7p(R)
W/SP-1
W/R10-25L
STA 310+65, 24' RT

N/F
PEARL K. & ALAN G. SIEGAL
CO-TRUSTEES / SIEGAL FAMILY TR
8 WHITE SWALLOW CARTWAY
ASSESSORS' MAP/PARCEL: 101/76
DEED BOOK/PAGE: 23314/258

N/F
KOI POND REALTY LLC
99 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 101/76
DEED BOOK/PAGE: 30170/

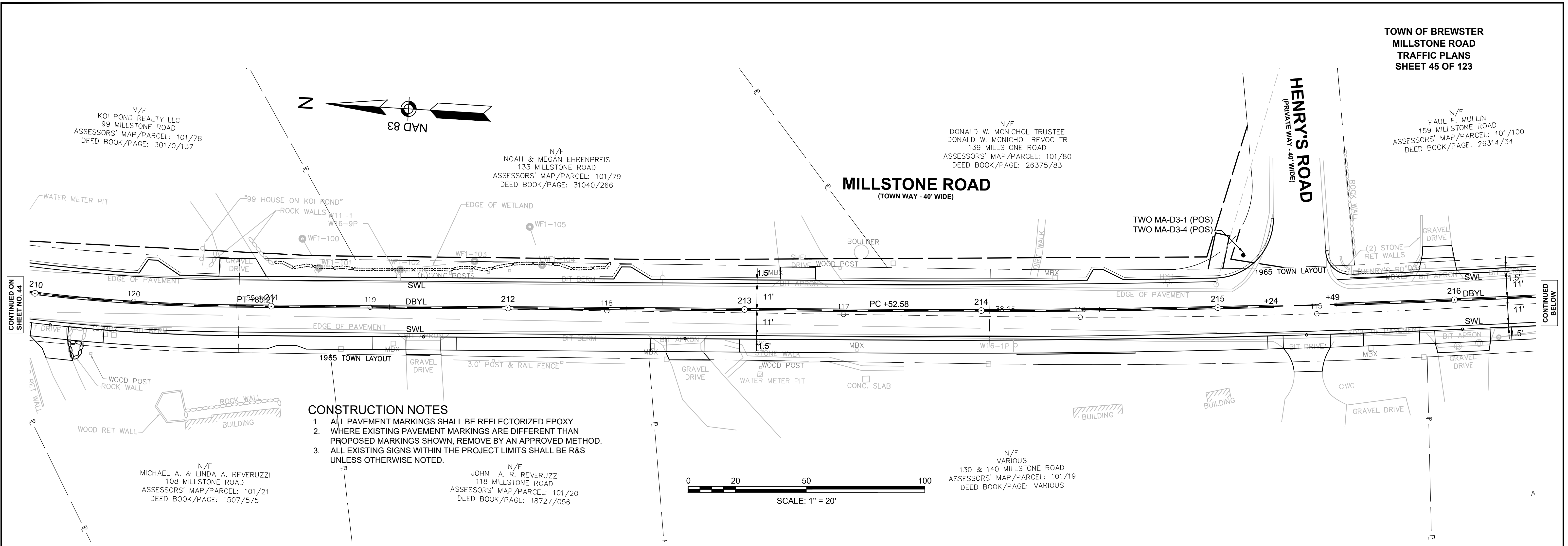
MILLSTONE ROAD
(TOWN WAY - 40' WIDE)

SCALE: 1" = 20'

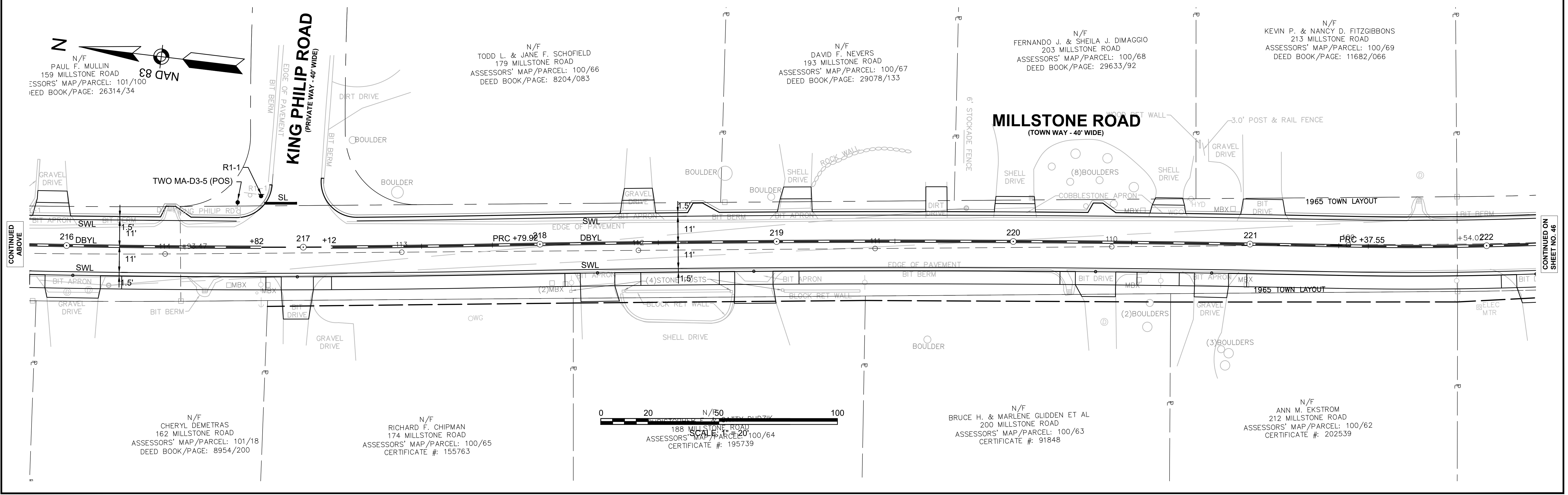
N/F
PERLUZZI
0 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 101/23
DEED BOOK/PAGE: 2925/92

CONTINUED ABOVE

CONTINUED ON SHEET NO. 45



- CONSTRUCTION NOTES**
1. ALL PAVEMENT MARKINGS SHALL BE REFLECTORIZED EPOXY.
 2. WHERE EXISTING PAVEMENT MARKINGS ARE DIFFERENT THAN PROPOSED MARKINGS SHOWN, REMOVE BY AN APPROVED METHOD.
 3. ALL EXISTING SIGNS WITHIN THE PROJECT LIMITS SHALL BE R&S UNLESS OTHERWISE NOTED.

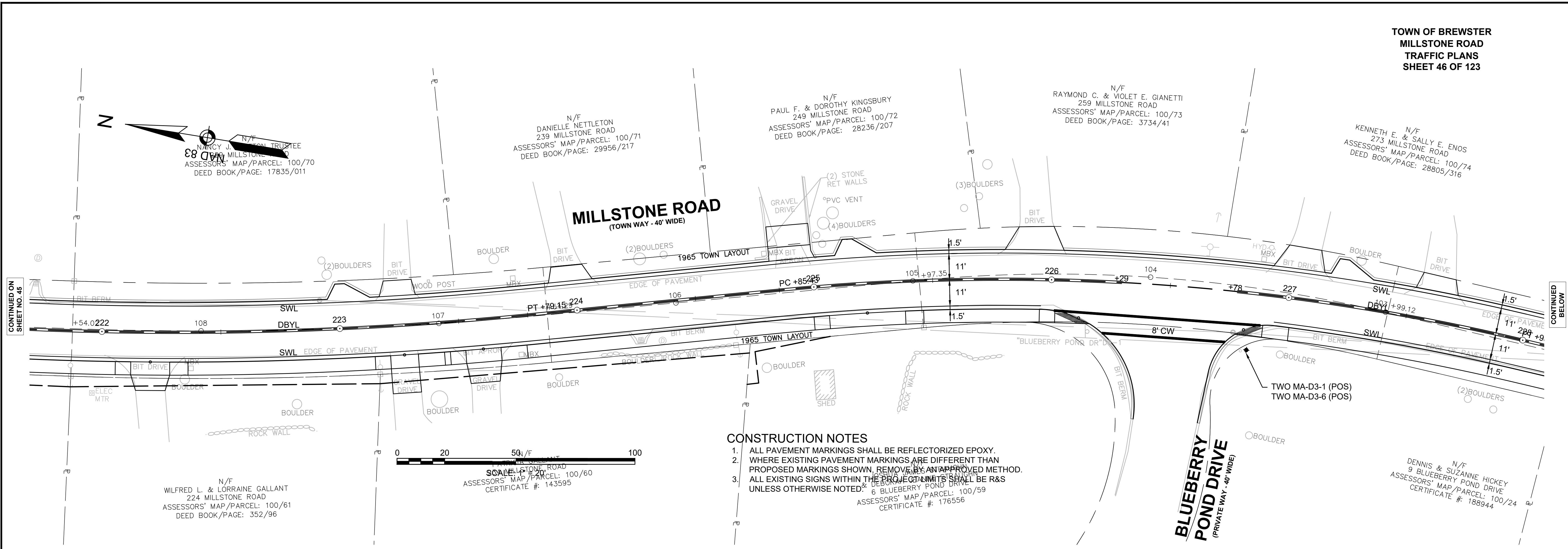


CONTINUED ON SHEET NO. 44

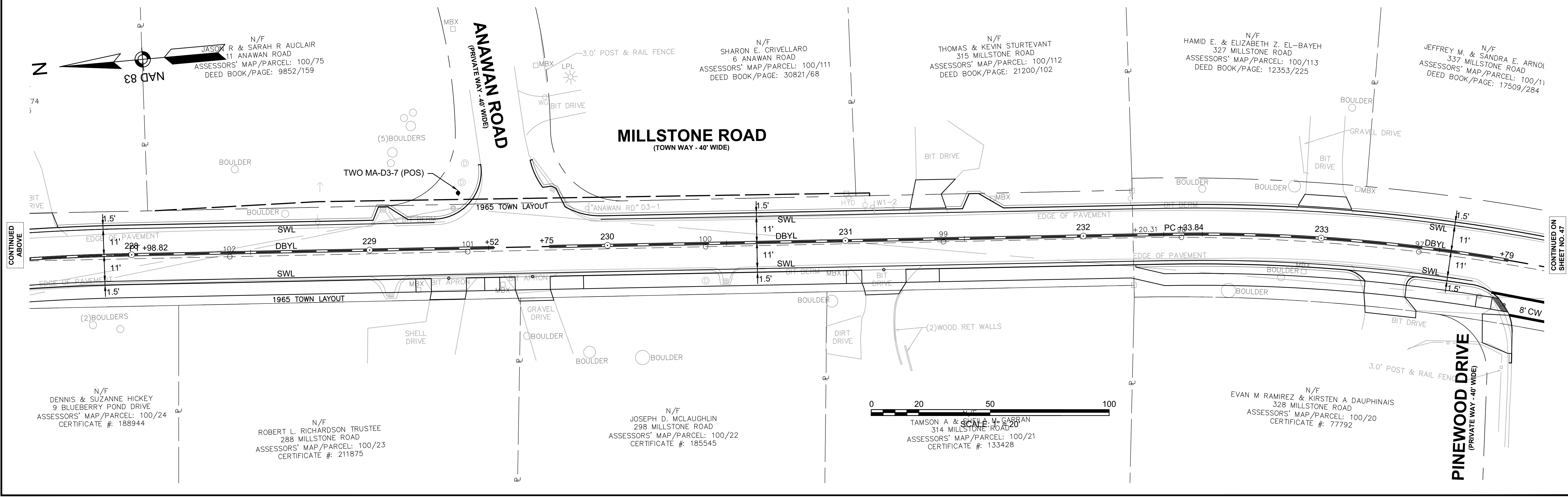
CONTINUED BELOW

CONTINUED ABOVE

CONTINUED ON SHEET NO. 46



- CONSTRUCTION NOTES**
1. ALL PAVEMENT MARKINGS SHALL BE REFLECTORIZED EPOXY.
 2. WHERE EXISTING PAVEMENT MARKINGS ARE DIFFERENT THAN PROPOSED MARKINGS SHOWN, REMOVE BY AN APPROVED METHOD.
 3. ALL EXISTING SIGNS WITHIN THE PROJECT LIMITS SHALL BE R&S UNLESS OTHERWISE NOTED.



CONTINUED ON
SHEET NO. 45

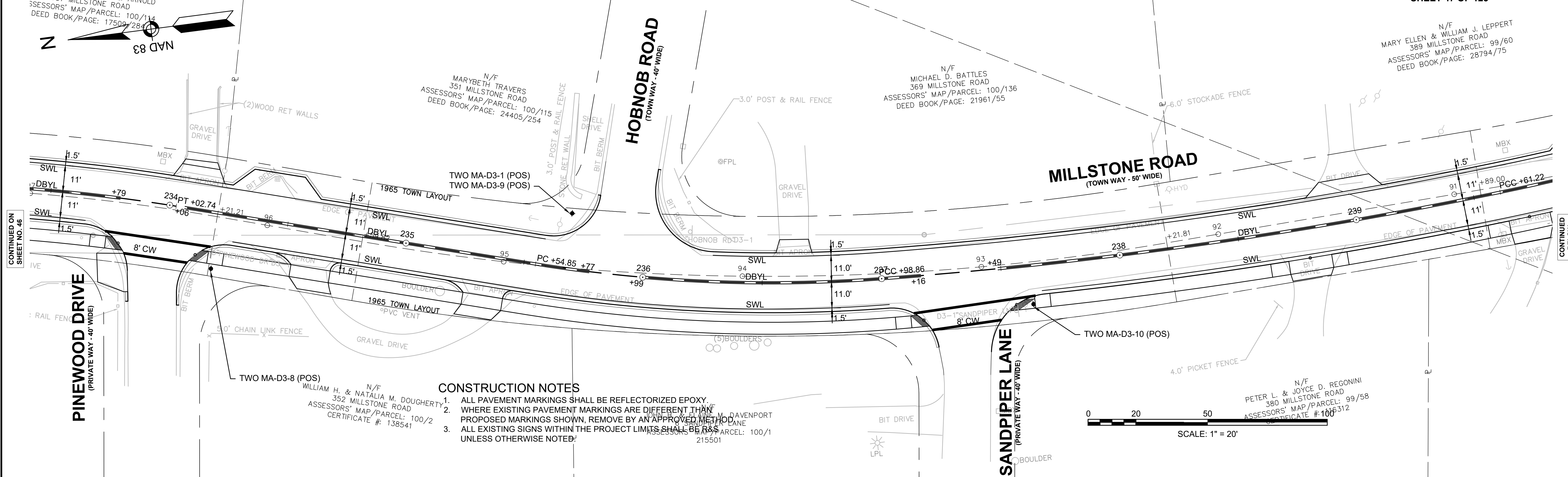
CONTINUED
BELOW

CONTINUED
ABOVE

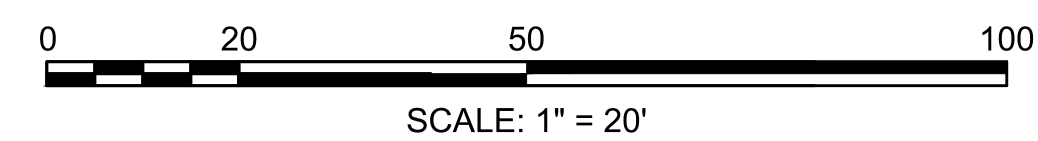
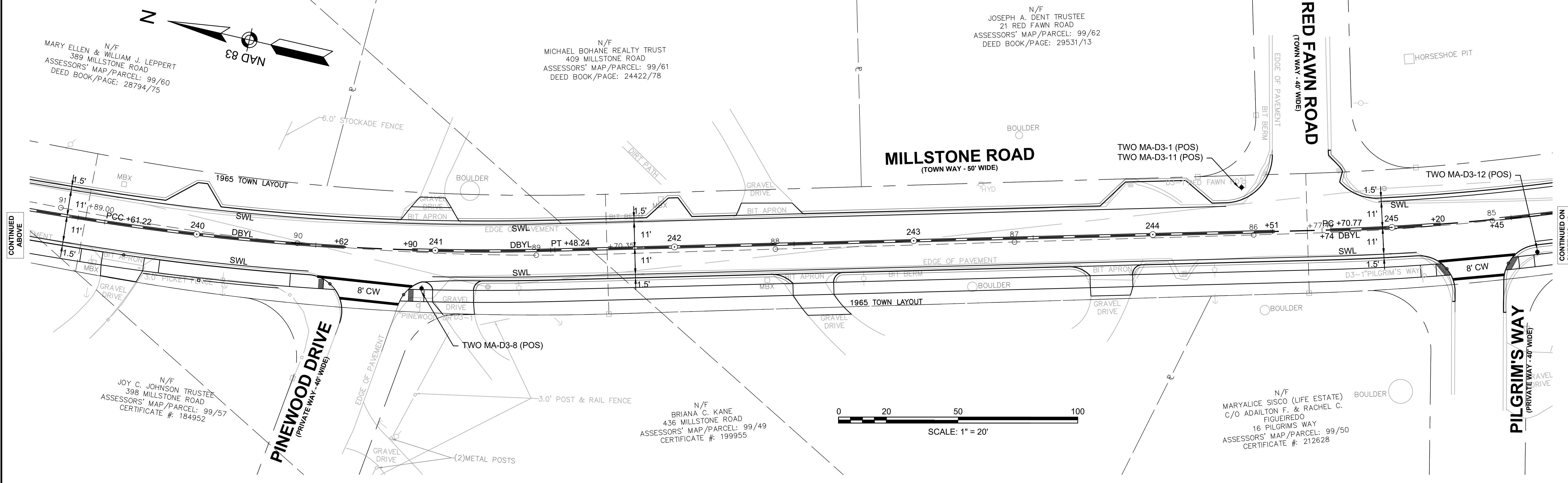
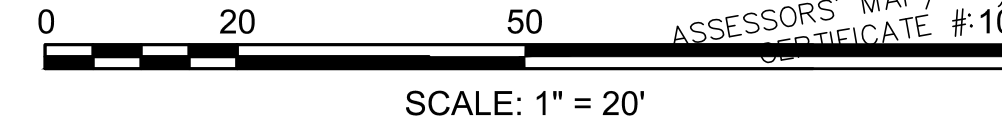
CONTINUED ON
SHEET NO. 47

WILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 100/114
DEED BOOK/PAGE: 17509/28

N/F
MARY ELLEN & WILLIAM J. LEPPERT
389 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 99/60
DEED BOOK/PAGE: 28794/75



- CONSTRUCTION NOTES**
1. ALL PAVEMENT MARKINGS SHALL BE REFLECTORIZED EPOXY.
 2. WHERE EXISTING PAVEMENT MARKINGS ARE DIFFERENT THAN PROPOSED MARKINGS SHOWN, REMOVE BY AN APPROVED METHOD.
 3. ALL EXISTING SIGNS WITHIN THE PROJECT LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.



LIST OF MAJOR ITEMS REQUIRED

PAY ITEM	QUANTITY	DESCRIPTION
824.211	2	15' TS POST STANDARD INCL. FOUNDATION
	2	SIDE-OF-POST CONTROLLER CABINET
	4	L.E.D. RECTANGULAR DUAL YELLOW BEACON (RRFB)
	2	SOLAR PANEL
	2	RADIO ANTENNA
832.	2	APS PEDESTRIAN PUSH BUTTON W/R10-25L
	2	BATTERY SYSTEMS
	2	SP-1
	6	W11-2
	2	W16-7p(L)
	2	W16-7p(R)
	2	W16-9p

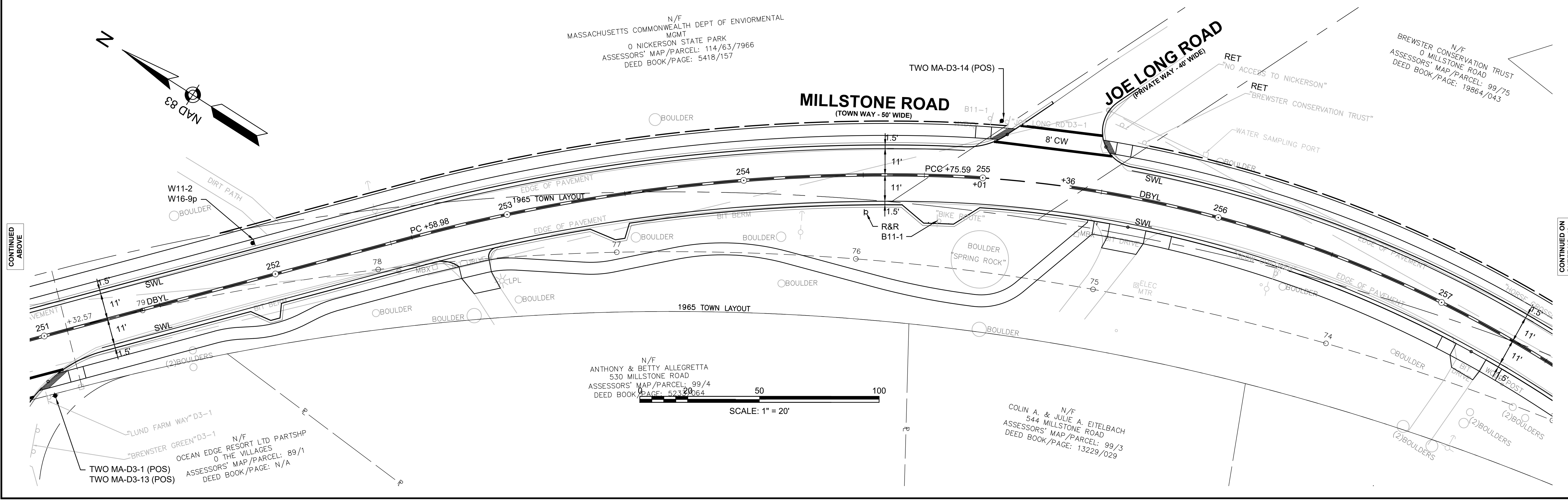
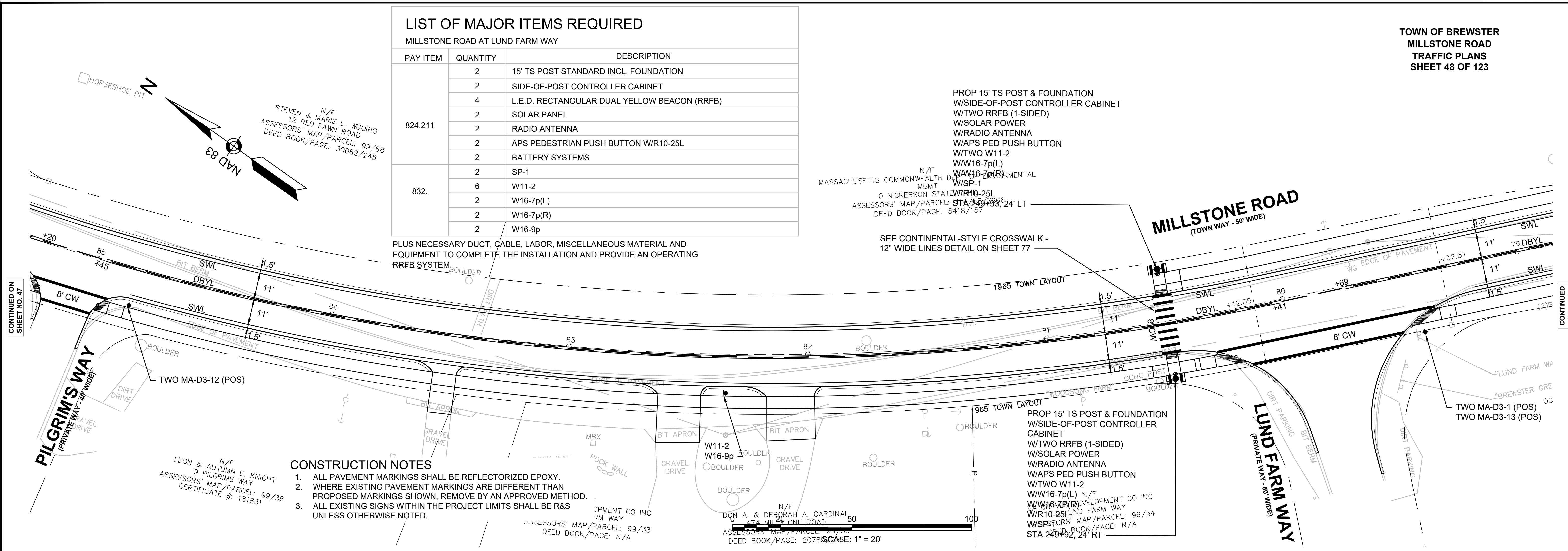
PLUS NECESSARY DUCT, CABLE, LABOR, MISCELLANEOUS MATERIAL AND EQUIPMENT TO COMPLETE THE INSTALLATION AND PROVIDE AN OPERATING RRFB SYSTEM.

PROP 15' TS POST & FOUNDATION
W/SIDE-OF-POST CONTROLLER CABINET
W/TWO RRFB (1-SIDED)
W/SOLAR POWER
W/RADIO ANTENNA
W/APS PED PUSH BUTTON
W/TWO W11-2
W/W16-7p(L)
W/W16-7p(R)
W/SP-1
W/R10-25L
W/R10-25R
ASSASSORS' MAP/PARCEL: STA 249+98.5, 24' LT
DEED BOOK/PAGE: 5418/157

SEE CONTINENTAL-STYLE CROSSWALK -
12" WIDE LINES DETAIL ON SHEET 77

CONSTRUCTION NOTES

1. ALL PAVEMENT MARKINGS SHALL BE REFLECTORIZED EPOXY.
2. WHERE EXISTING PAVEMENT MARKINGS ARE DIFFERENT THAN PROPOSED MARKINGS SHOWN, REMOVE BY AN APPROVED METHOD.
3. ALL EXISTING SIGNS WITHIN THE PROJECT LIMITS SHALL BE R&S UNLESS OTHERWISE NOTED.



CONTINUED ON
SHEET NO. 47

CONTINUED
BELOW

CONTINUED
ABOVE

CONTINUED
ON
SHEET NO. 49

LIST OF MAJOR ITEMS REQUIRED

PAY ITEM	QUANTITY	DESCRIPTION
824.212	2	15' TS POST STANDARD INCL. FOUNDATION
	2	SIDE-OF-POLE CONTROLLER CABINET
	4	L.E.D. RECTANGULAR DUAL YELLOW BEACON (RRFB)
	2	SOLAR PANEL
	2	RADIO ANTENNA
	2	APS PEDESTRIAN PUSH BUTTON W/R10-25L
832.	2	BATTERY SYSTEMS
	2	SP-1
	6	W11-2
	2	W16-7p(L)
	2	W16-7p(R)
	2	W16-9p

PLUS NECESSARY DUCT, CABLE, LABOR, MISCELLANEOUS MATERIAL AND EQUIPMENT TO COMPLETE THE INSTALLATION AND PROVIDE AN OPERATING RRFB SYSTEM

PROP 15' TS POST & FOUNDATION
W/SIDE-OF-POLE CONTROLLER CABINET
W/TWO RRFB (1-SIDED)
W/SOLAR POWER
W/RADIO ANTENNA
W/APS PED PUSH BUTTON
W/TWO W11-2
W/W16-7p(L)
W/W16-7p(R)
W/SP-1
W/R10-25L
STA 259+23, 23' LT

TWO MA-D3-1 (POS)
TWO MA-D3-15 (POS)

PROP 15' TS POST & FOUNDATION
W/SIDE-OF-POLE CONTROLLER CABINET
W/TWO RRFB (1-SIDED)
W/SOLAR POWER
W/RADIO ANTENNA
W/APS PED PUSH BUTTON
W/TWO W11-2
W/W16-7p(L)
W/W16-7p(R)
W/SP-1
W/R10-25L
STA 259+23, 23' RT

SEE CONTINENTAL-STYLE CROSSWALK - 12" WIDE LINES DETAIL ON SHEET 77

- CONSTRUCTION NOTES**
1. ALL PAVEMENT MARKINGS SHALL BE REFLECTORIZED EPOXY.
 2. WHERE EXISTING PAVEMENT MARKINGS ARE DIFFERENT THAN PROPOSED MARKINGS SHOWN, REMOVE BY AN APPROVED METHOD.
 3. ALL EXISTING SIGNS WITHIN THE PROJECT LIMITS SHALL BE R&S UNLESS OTHERWISE NOTED.

**TOWN OF BREWSTER
MILLSTONE ROAD
TRAFFIC PLANS
SHEET 49 OF 123**

N/F
L'HEUREUX GERARD/ETAL TRUSTEES
THE L'HEUREUX REALTY TRUST
0 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 98/23
DEED BOOK/PAGE: 21730/92

N/F
BRIAN R. & DONNA S. MURPHY
611 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 98/22
DEED BOOK/PAGE: 19334/238

N/F
MICHAEL E. & HELENE GUSKI
616 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 98/20
DEED BOOK/PAGE: 13877/275

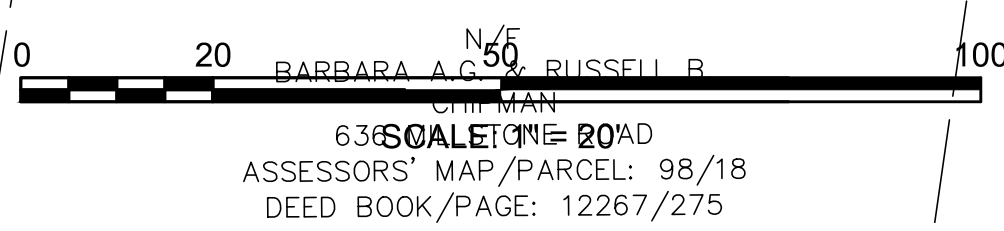
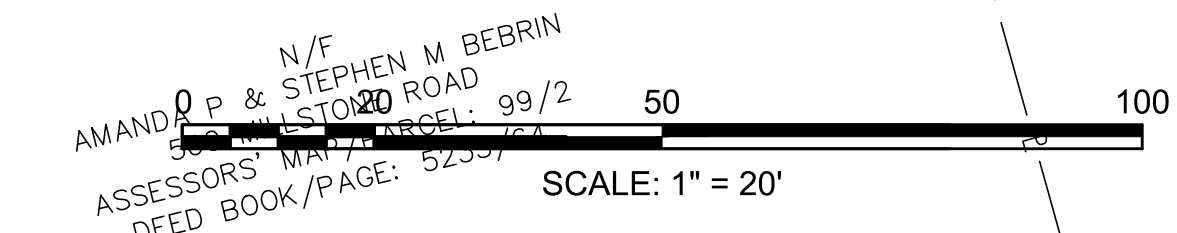
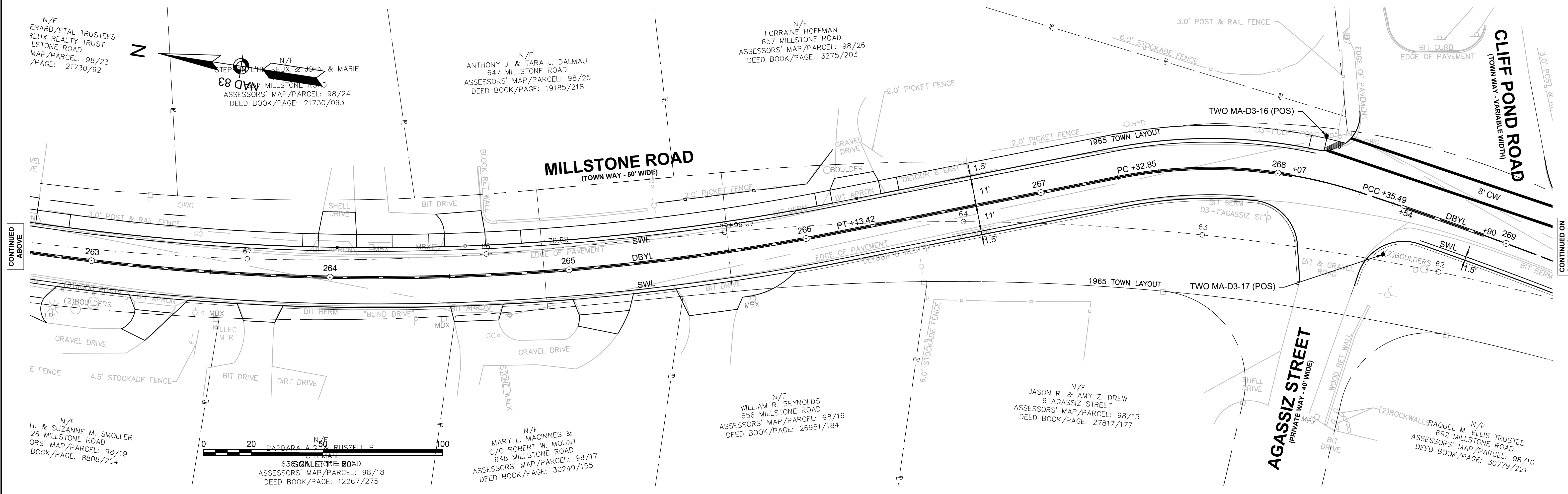
N/F
RICHARD W. JR & 598 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 99/1
DEED BOOK/PAGE: 5233/64

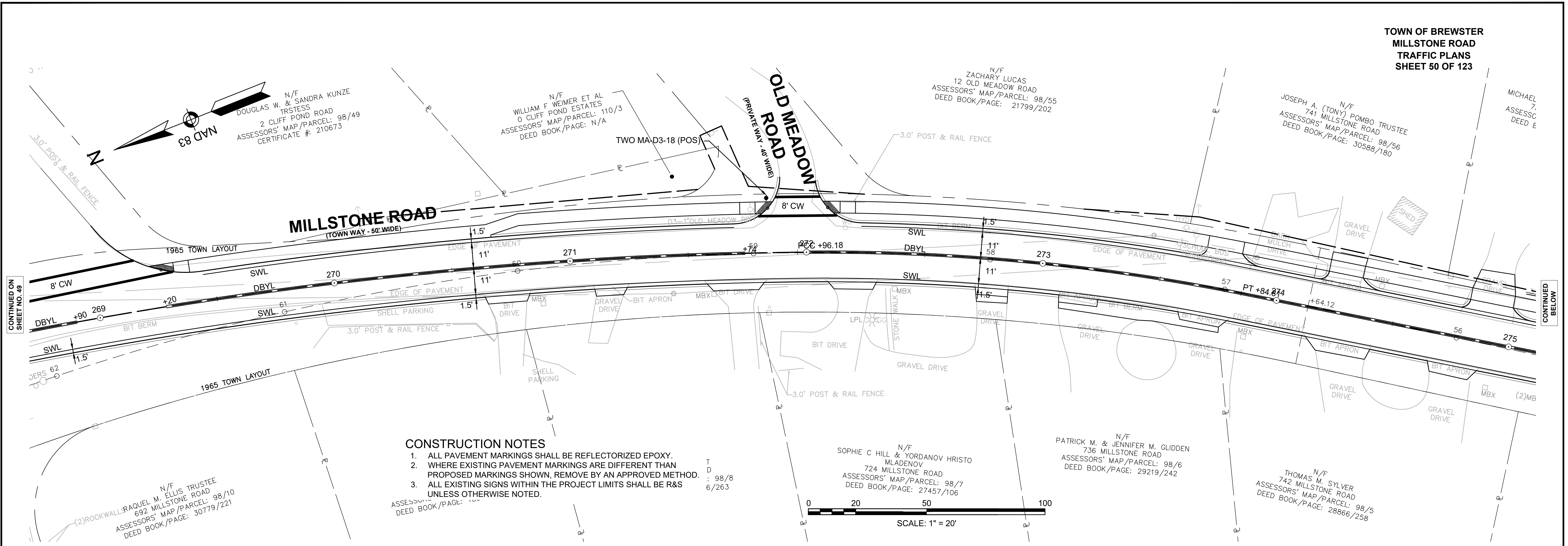
N/F
MICHAEL E. & HELENE GUSKI
616 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 98/20
DEED BOOK/PAGE: 13877/275

N/F
BLAINE H. & SUZANNE M. SMOLLE
626 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 98/1
DEED BOOK/PAGE: 8808/204

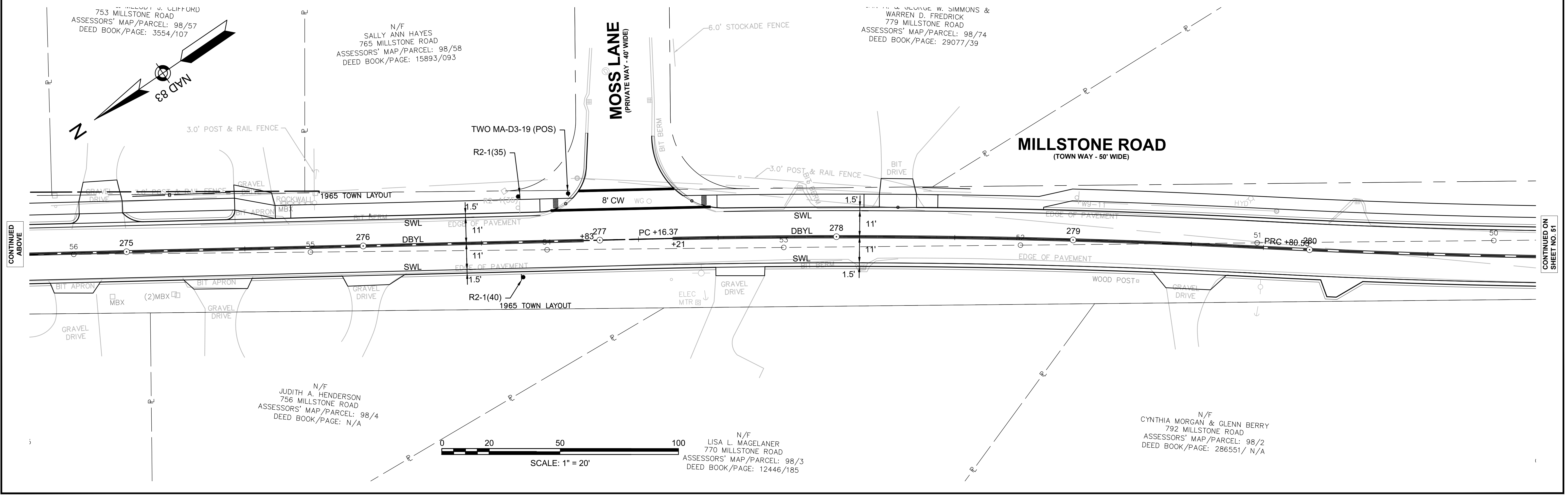
CONTINUED ON SHEET NO. 48

CONTINUED BELOW





- CONSTRUCTION NOTES**
1. ALL PAVEMENT MARKINGS SHALL BE REFLECTORIZED EPOXY.
 2. WHERE EXISTING PAVEMENT MARKINGS ARE DIFFERENT THAN PROPOSED MARKINGS SHOWN, REMOVE BY AN APPROVED METHOD.
 3. ALL EXISTING SIGNS WITHIN THE PROJECT LIMITS SHALL BE R&S UNLESS OTHERWISE NOTED.

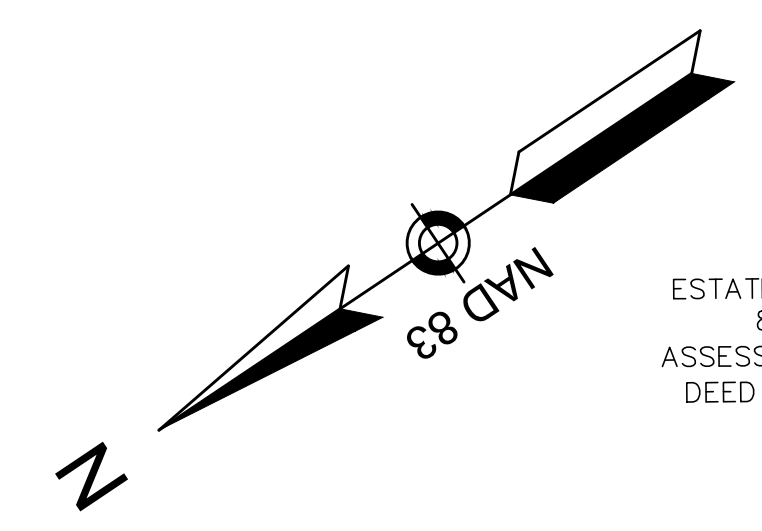


CONTINUED ON
SHEET NO. 49

CONTINUED
BELOW

CONTINUED
ABOVE

CONTINUED ON
SHEET NO. 51

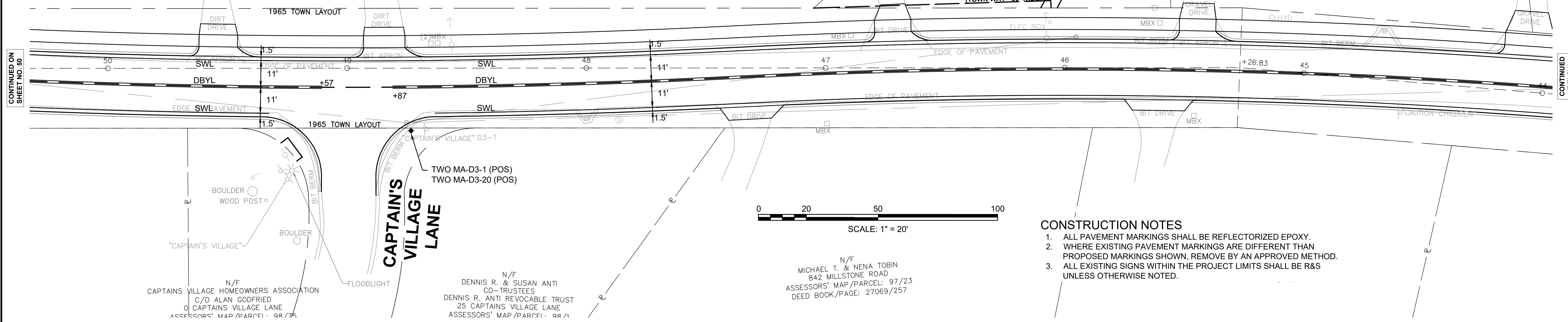


N/F
ESTATE OF AUDREY J. JENNINGS
825 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/24
DEED BOOK/PAGE: 22323/285

N/F
KENNETH W. THOMAS JR &
RACHELLE MARIE THOMAS
839 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/25
DEED BOOK/PAGE: 20219/118

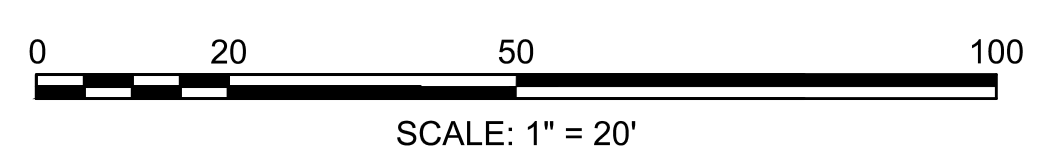
N/F
JAMES M. REYNOLDS
855 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/26
DEED BOOK/PAGE: 9677/331

MILLSTONE ROAD
(TOWN WAY - 50' WIDE)



CONTINUED ON
SHEET NO. 50

CONTINUED
BELOW



CONSTRUCTION NOTES

1. ALL PAVEMENT MARKINGS SHALL BE REFLECTORIZED EPOXY.
2. WHERE EXISTING PAVEMENT MARKINGS ARE DIFFERENT THAN PROPOSED MARKINGS SHOWN, REMOVE BY AN APPROVED METHOD.
3. ALL EXISTING SIGNS WITHIN THE PROJECT LIMITS SHALL BE R&S UNLESS OTHERWISE NOTED.

N/F
CAPTAINS VILLAGE HOMEOWNERS ASSOCIATION
C/O ALAN GODFRIED
CAPTAINS VILLAGE LANE
ASSESSORS' MAP/PARCEL: 98/75

N/F
DENNIS R. & SUSAN ANTI
CO-TRUSTEES
DENNIS R. ANTI REVOCABLE TRUST
25 CAPTAINS VILLAGE LANE
ASSESSORS' MAP/PARCEL: 98/1

N/F
MICHAEL T. & NENA TOBIN
842 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/23
DEED BOOK/PAGE: 27069/257

N/F
MICHELLE M. YEUTZ
861 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/27
DEED BOOK/PAGE: 29400/80

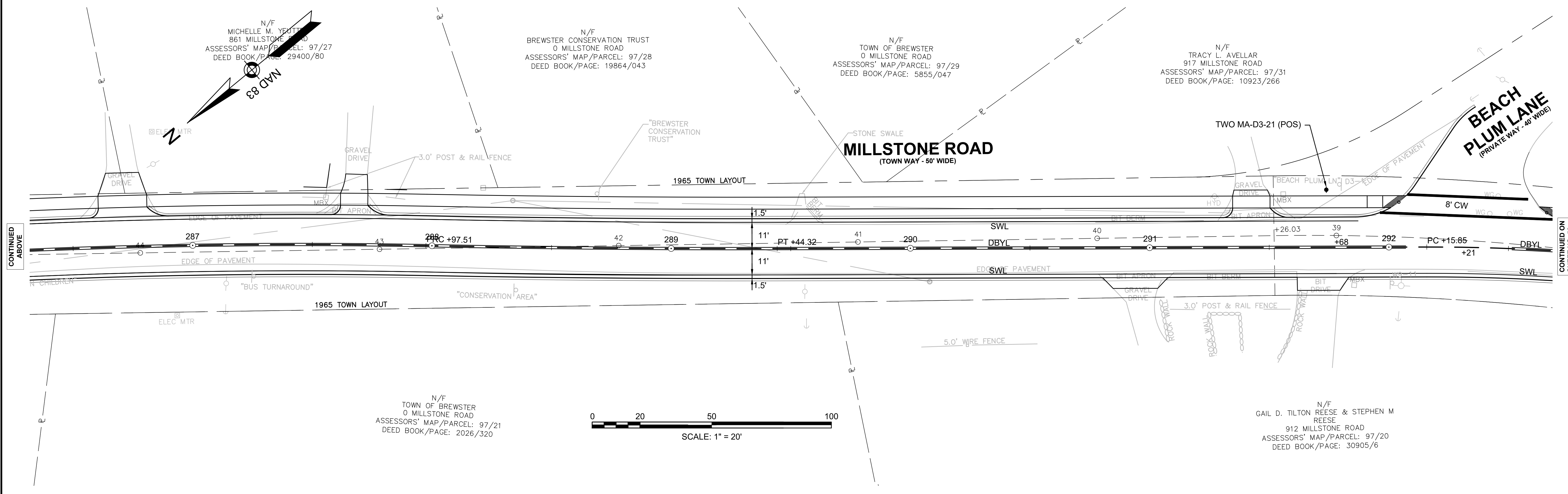
N/F
BREWSTER CONSERVATION TRUST
0 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/28
DEED BOOK/PAGE: 19864/043

N/F
TOWN OF BREWSTER
0 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/29
DEED BOOK/PAGE: 5855/047

N/F
TRACY L. AVELLAR
917 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/31
DEED BOOK/PAGE: 10923/266

MILLSTONE ROAD
(TOWN WAY - 50' WIDE)

BEACH PLUM LANE
(PRIVATE WAY - 40' WIDE)



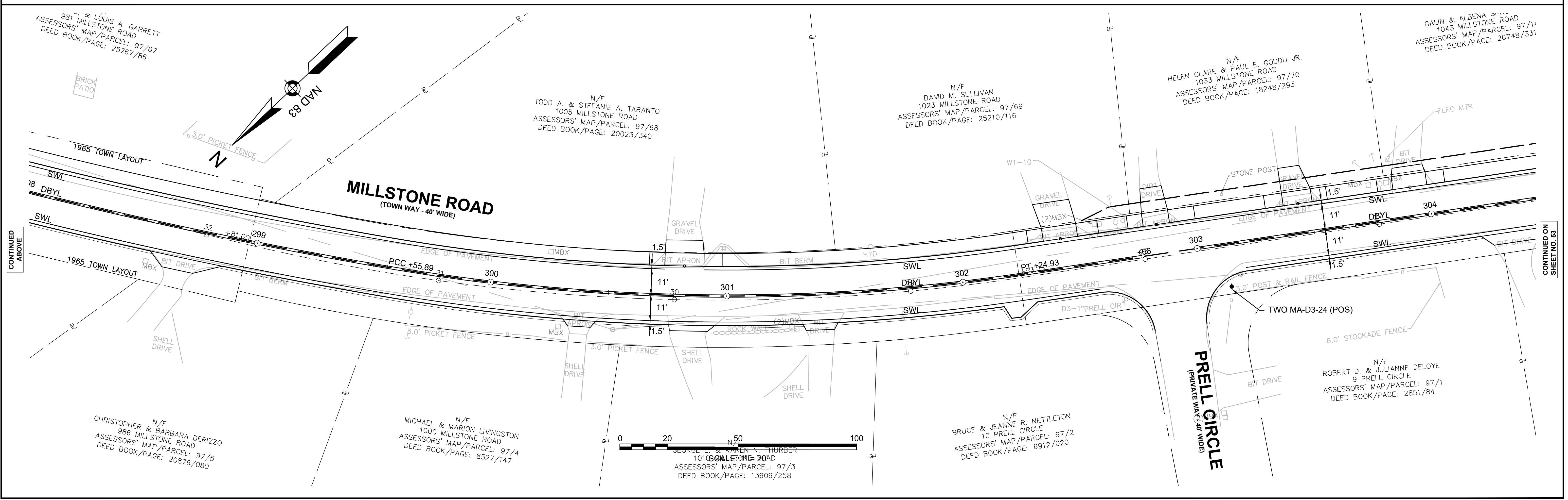
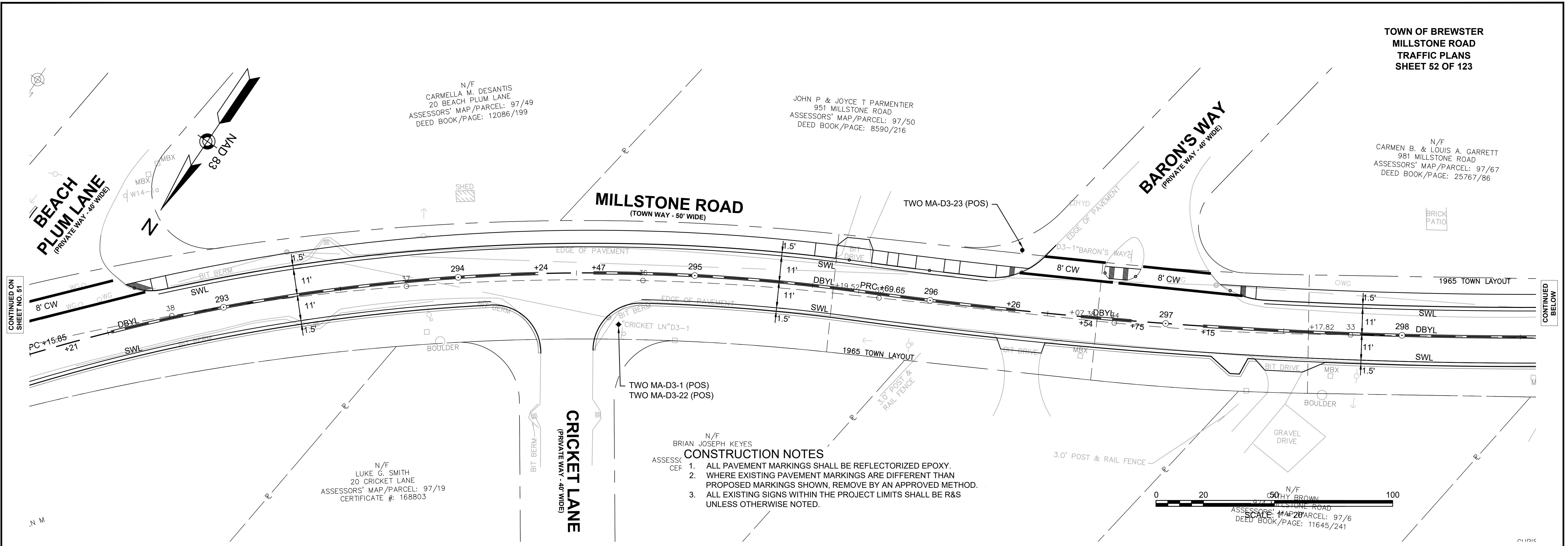
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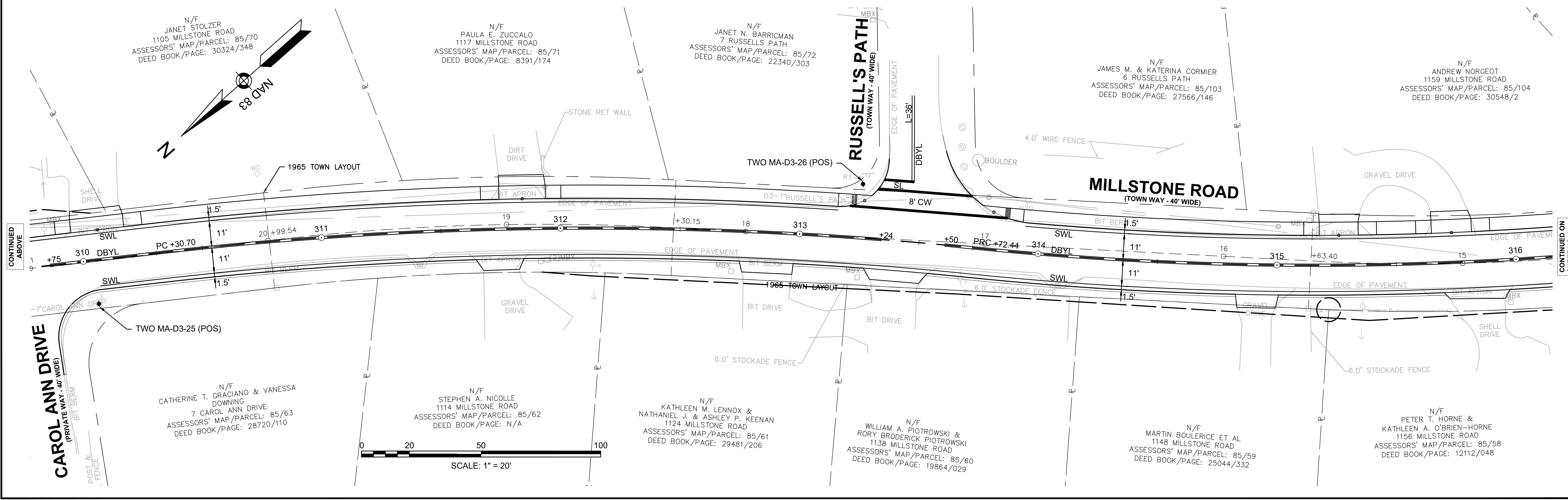
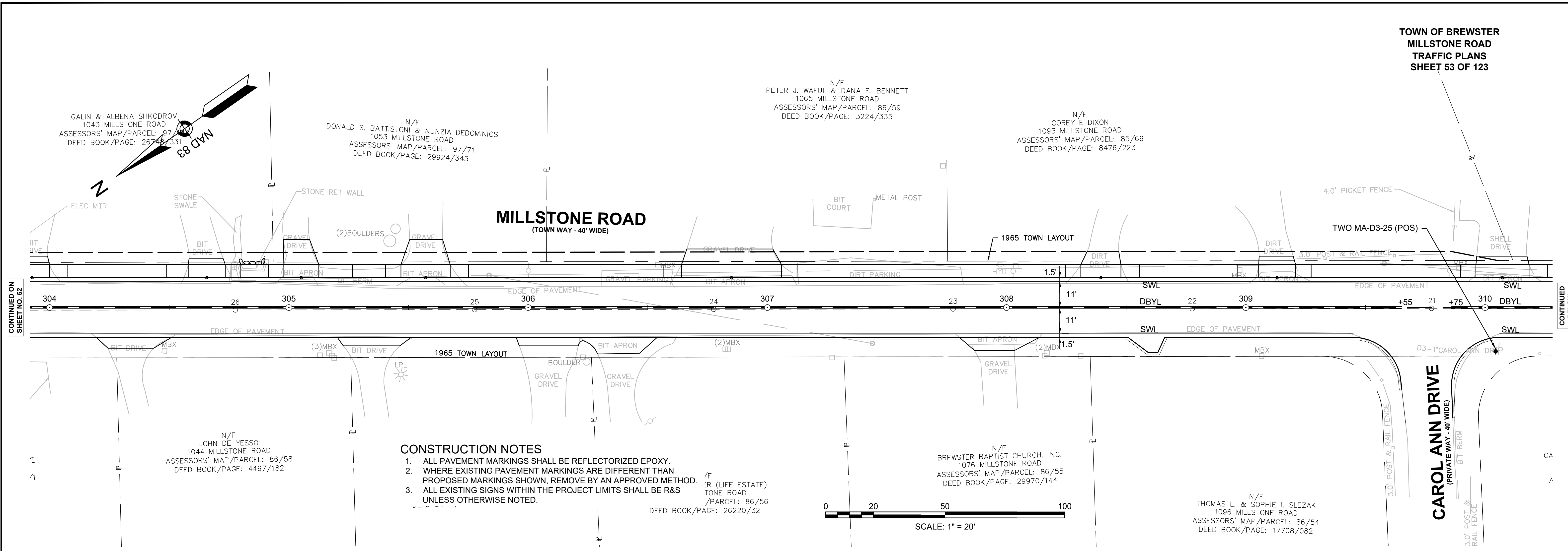
CONTINUED ON
SHEET NO. 52



N/F
TOWN OF BREWSTER
0 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/21
DEED BOOK/PAGE: 2026/320

N/F
GAIL D. TILTON REESE & STEPHEN M
REESE
912 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 97/20
DEED BOOK/PAGE: 30905/6



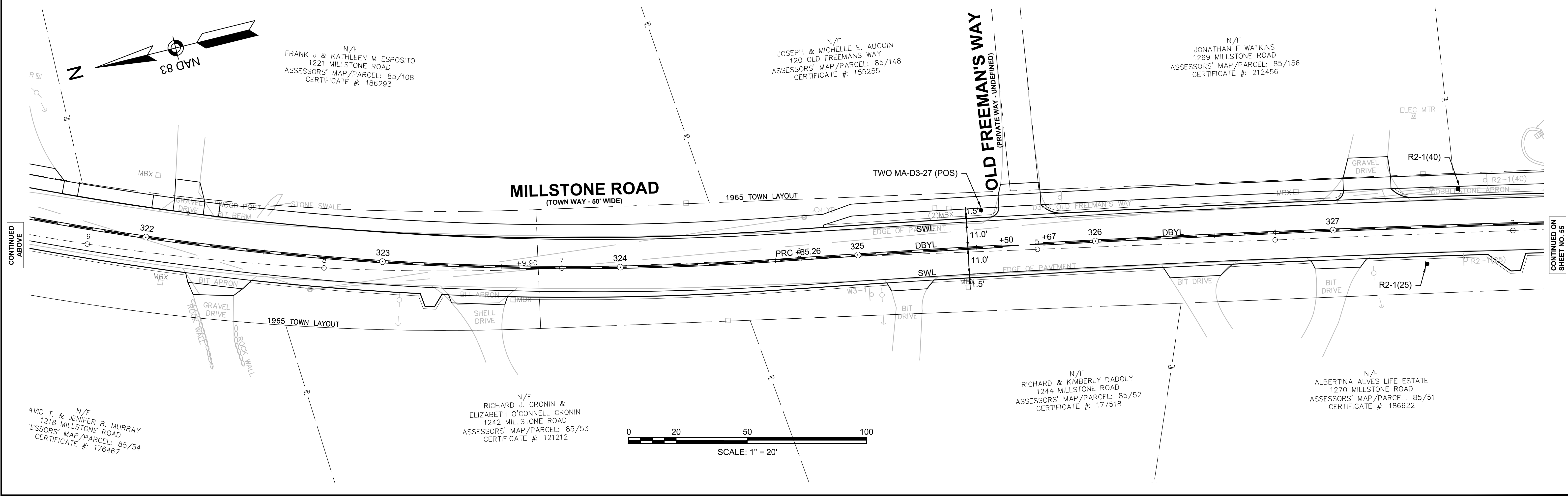
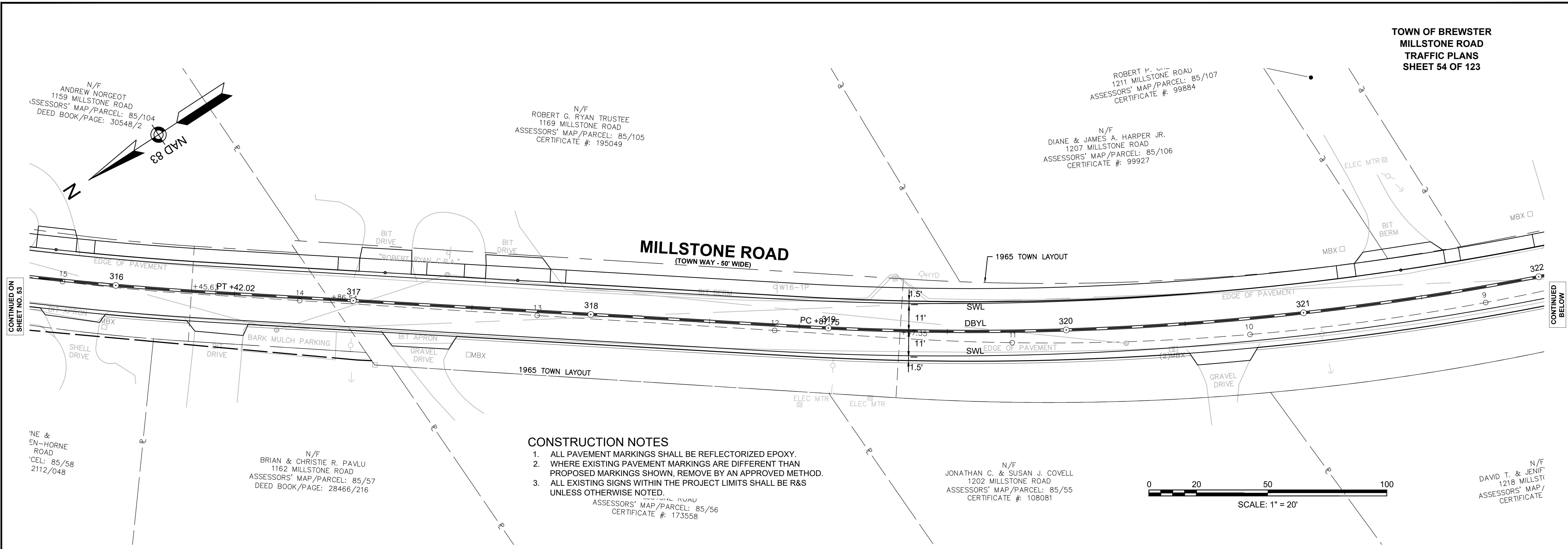


CONTINUED ON SHEET NO. 52

CONTINUED BELOW

CONTINUED ABOVE

CONTINUED ON SHEET NO. 54

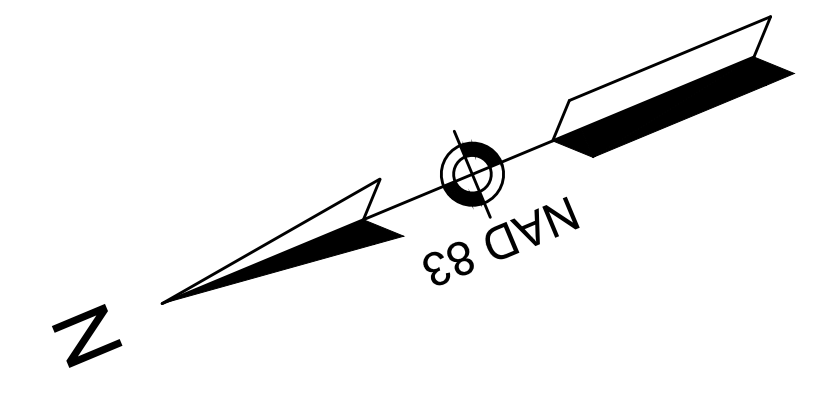


CONTINUED ON SHEET NO. 53

CONTINUED BELOW

CONTINUED ABOVE

CONTINUED ON SHEET NO. 55



N/F
JONATHAN F WATKINS
1269 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 85/156
CERTIFICATE #: 212456

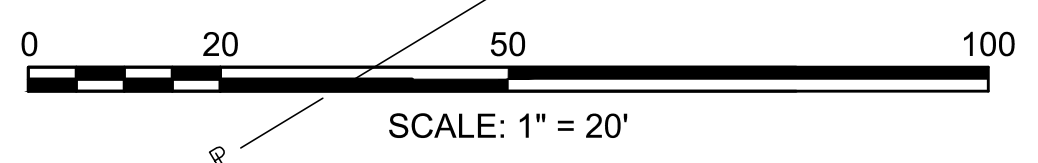
- CONSTRUCTION NOTES**
1. ALL PAVEMENT MARKINGS SHALL BE REFLECTORIZED EPOXY.
 2. WHERE EXISTING PAVEMENT MARKINGS ARE DIFFERENT THAN PROPOSED MARKINGS SHOWN, REMOVE BY AN APPROVED METHOD.
 3. ALL EXISTING SIGNS WITHIN THE PROJECT LIMITS SHALL BE R&S UNLESS OTHERWISE NOTED.

N/F
STEVEN D. ALL
1273 & 1281 MILLST
ASSESSORS' MAP/PAF
DEED BOOK/PAGE

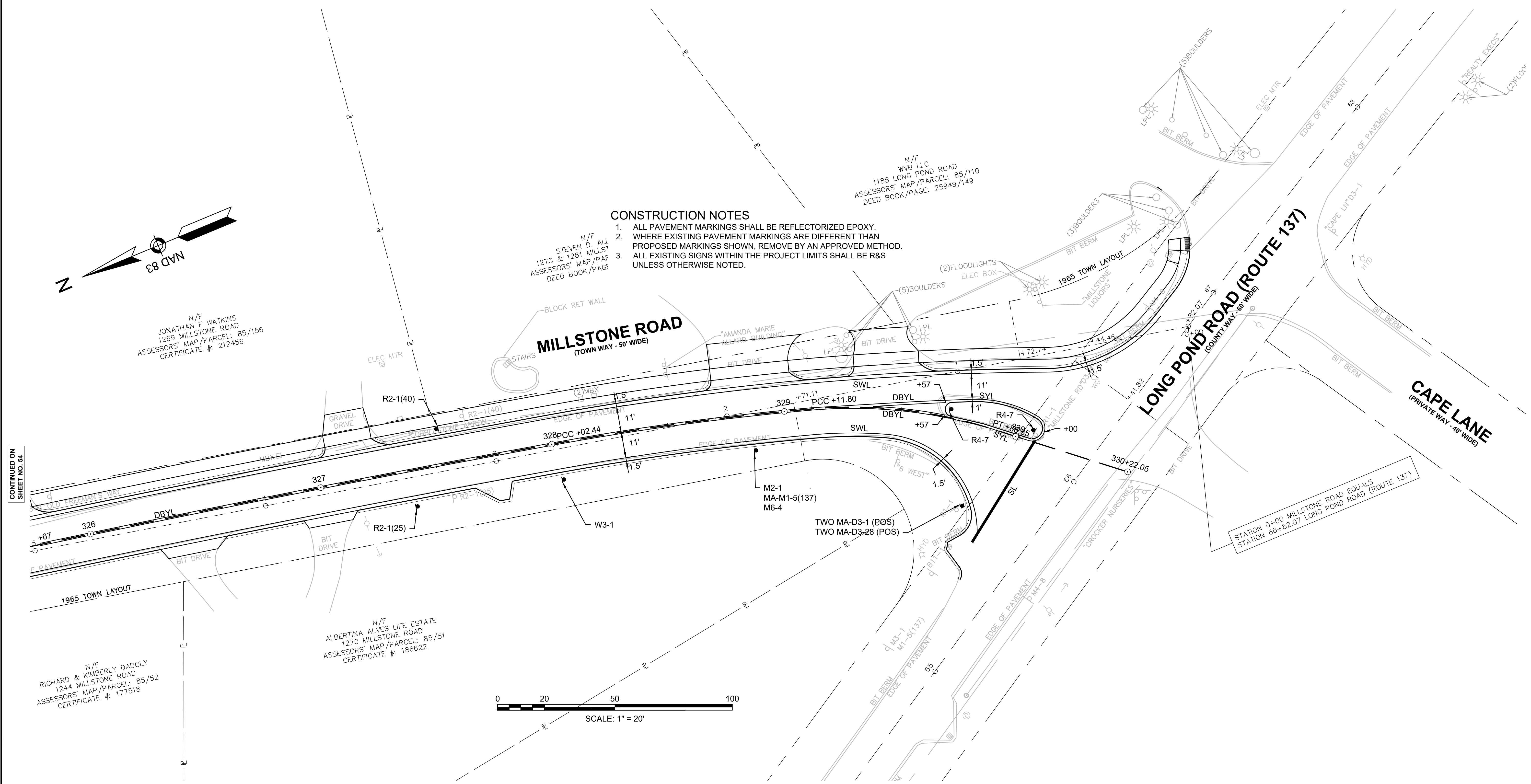
N/F
WVB LLC
1185 LONG POND ROAD
ASSESSORS' MAP/PARCEL: 85/110
DEED BOOK/PAGE: 25949/149

N/F
ALBERTINA ALVES LIFE ESTATE
1270 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 85/51
CERTIFICATE #: 186622

N/F
RICHARD & KIMBERLY DADOLY
1244 MILLSTONE ROAD
ASSESSORS' MAP/PARCEL: 85/52
CERTIFICATE #: 177518



CONTINUED ON
SHEET NO. 54



TRAFFIC SIGN SUMMARY

IDENTIFICATION NUMBER	SIZE OF SIGN		TEXT	TEXT DIMENSIONS (INCHES)			NUMBER OF SIGNS REQUIRED	COLOR			POST SIZE AND NUMBER REQUIRED	UNIT AREA (S.F.)	AREA IN SQUARE FEET
	WIDTH	HEIGHT		LETTER HEIGHT	VERTICAL SPACING	ARROW RTE. MKR.		BACK-GROUND	LEGEND	BORDER			
R1-1	30"	30"		SEE FHWA "STANDARD HIGHWAY SIGNS, 2004 EDITION"; AS AMENDED			2	RED	WHITE	WHITE	2-P5	5.18	10.36
R2-1(25)	24"	30"					3	WHITE	BLACK	BLACK	3-P5	5.00	15.00
R2-1(35)	24"	30"					2	WHITE	BLACK	BLACK	2-P5	5.00	10.00
R2-1(40)	24"	30"					2	WHITE	BLACK	BLACK	2-P5	5.00	10.00
R4-7	24"	30"					2	WHITE	BLACK	BLACK	2-P5	5.00	10.00
R10-25L	9"	12"					4	WHITE	BLACK	BLACK	4 MTD ON TS POST	PAID UNDER ITEMS 824.211, 824.212	
W3-1	36"	36"					1	YELLOW	BLACK/RED	BLACK	1-P5	9.00	9.00
W11-2	30"	30"					12	FLUORESCENT YELLOW-GREEN	BLACK	BLACK	8-P5 4 MTD W/ OTHERS	6.25	75.00
W11-2 W/LED	30"	30"					4	FLUORESCENT YELLOW-GREEN	BLACK	BLACK	4-P5	6.25	25.00
W16-7p(L)	24"	12"					6	FLUORESCENT YELLOW-GREEN	BLACK	BLACK	6 MTD W/ OTHERS	2.00	12.00
W16-7p(R)	24"	12"					4	FLUORESCENT YELLOW-GREEN	BLACK	BLACK	4 MTD W/ OTHERS	2.00	8.00
W16-9p	24"	12"					6	FLUORESCENT YELLOW-GREEN	BLACK	BLACK	6 MTD W/ OTHERS	2.00	12.00
MA-M1-5(6A)	24"	24"		AS PER MASSDOT STANDARD			1	WHITE	BLACK	BLACK	1-P5	4.00	4.00
MA-M1-5a(137)	30"	24"		AS PER MASSDOT STANDARD			1	WHITE	BLACK	BLACK	1-P5	5.00	5.00
M2-1	21"	15"		SEE FHWA "STANDARD HIGHWAY SIGNS, 2004 EDITION"; AS AMENDED			2	WHITE	BLACK	BLACK	2 MTD W/ OTHERS	2.19	4.38
M6-4	21"	15"		SEE FHWA "STANDARD HIGHWAY SIGNS, 2004 EDITION"; AS AMENDED			2	WHITE	BLACK	BLACK	2 MTD W/ OTHERS	2.19	4.38
SP-1	9"	12"		1" C 1" C 1" C 1" C 1" C	1.5" 1" 1" 1" 1.5"	N/A	4	YELLOW	BLACK	BLACK	4 MTD ON TS POST	0.75	3.00

- NOTES:
1. HIGH INTENSITY REFLECTIVE SHEETING SHALL BE USED FOR ALL SIGNS. SEE FHWA "STANDARD HIGHWAY SIGNS, 2004 EDITION" FOR TEXT DIMENSIONS, AS AMENDED; THE 1977 MASSHIGHWAY DEPARTMENT CONSTRUCTION AND TRAFFIC STANDARD DETAILS, AS AMENDED, FOR SIGNS AND SUPPORTS; AND THE MASSHIGHWAY DEPARTMENT SIGN LISTINGS 1993 EDITION, AS AMENDED.
2. POS = PAINTED ONE SIDE

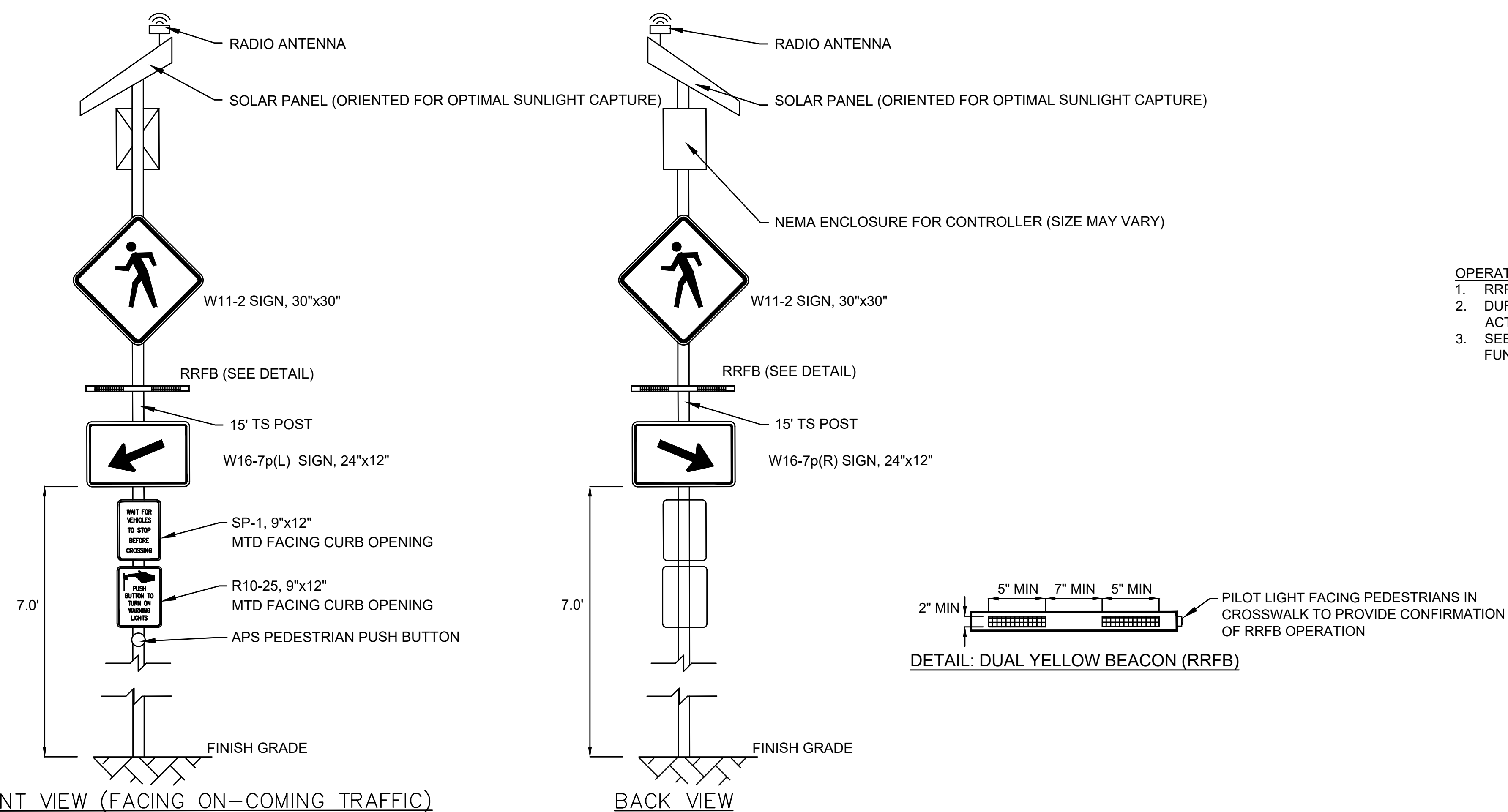
TRAFFIC SIGN SUMMARY

IDENTIFICATION NUMBER	SIZE OF SIGN		TEXT	TEXT DIMENSIONS (INCHES)			NUMBER OF SIGNS REQUIRED	COLOR			POST SIZE AND NUMBER REQUIRED	UNIT AREA (S.F.)	AREA IN SQUARE FEET
	WIDTH	HEIGHT		LETTER HEIGHT	VERTICAL SPACING	ARROW RTE. MKR.		BACK-GROUND	LEGEND	BORDER			
MA-D3-1 (POS)	VARIES	12"	Millstone Rd	6"4"D	3" 3"	N/A	20	GREEN	WHITE	WHITE	10-P5		PAID UNDER ITEM 874.01
MA-D3-2 (POS)	VARIES	12"	Route 6A	6"D	3" 3"	N/A	2	GREEN	WHITE	WHITE	2 MTD W/ OTHERS		PAID UNDER ITEM 874.01
MA-D3-3 (POS)	VARIES	12"	Puritan Dr	6"4"D	3" 3"	N/A	2	GREEN	WHITE	WHITE	1-P5		PAID UNDER ITEM 874.01
MA-D3-4 (POS)	VARIES	12"	Henry's Rd	6"4"D	2.75" 3.25"	N/A	2	GREEN	WHITE	WHITE	2 MTD W/ OTHERS		PAID UNDER ITEM 874.01
MA-D3-5 (POS)	VARIES	12"	King Philip Rd	6"4"D	2.75" 3.25"	N/A	2	GREEN	WHITE	WHITE	1-P5		PAID UNDER ITEM 874.01
MA-D3-6 (POS)	VARIES	12"	Blueberry Pond Dr	6"4"D	2.75" 3.25"	N/A	2	GREEN	WHITE	WHITE	2 MTD W/ OTHERS		PAID UNDER ITEM 874.01
MA-D3-7 (POS)	VARIES	12"	Anawan Rd	6"4"D	3" 3"	N/A	2	GREEN	WHITE	WHITE	1-P5		PAID UNDER ITEM 874.01
MA-D3-8 (POS)	VARIES	12"	Pinewood Rd	6"4"D	3" 3"	N/A	4	GREEN	WHITE	WHITE	2-P5		PAID UNDER ITEM 874.01
MA-D3-9 (POS)	VARIES	12"	Hob Nob Rd	6"4"D	3" 3"	N/A	2	GREEN	WHITE	WHITE	2 MTD W/ OTHERS		PAID UNDER ITEM 874.01
MA-D3-10 (POS)	VARIES	12"	Sandpiper Ln	6"4"D	2.75" 3.25"	N/A	2	GREEN	WHITE	WHITE	1-P5		PAID UNDER ITEM 874.01
MA-D3-11 (POS)	VARIES	12"	Red Fawn Rd	6"4"D	3" 3"	N/A	2	GREEN	WHITE	WHITE	2 MTD W/ OTHERS		PAID UNDER ITEM 874.01
MA-D3-12 (POS)	VARIES	12"	Pilgrim's Way	6"4"D	2.75" 3.25"	N/A	2	GREEN	WHITE	WHITE	1-P5		PAID UNDER ITEM 874.01
MA-D3-13 (POS)	VARIES	12"	Lund Farm Way	6"4"D	2.75" 3.25"	N/A	2	GREEN	WHITE	WHITE	2 MTD W/ OTHERS		PAID UNDER ITEM 874.01
MA-D3-14 (POS)	VARIES	12"	Joe Long Rd	6"4"D	2.75" 3.25"	N/A	2	GREEN	WHITE	WHITE	1-P5		PAID UNDER ITEM 874.01
MA-D3-15 (POS)	VARIES	12"	Fern Ln	6"4"D	3" 3"	N/A	2	GREEN	WHITE	WHITE	2 MTD W/ OTHERS		PAID UNDER ITEM 874.01
MA-D3-16 (POS)	VARIES	12"	Cliff Pond Rd	6"4"D	3" 3"	N/A	2	GREEN	WHITE	WHITE	1-P5		PAID UNDER ITEM 874.01
MA-D3-17 (POS)	VARIES	12"	Agassiz St	6"4"D	2.75" 3.25"	N/A	2	GREEN	WHITE	WHITE	1-P5		PAID UNDER ITEM 874.01

TRAFFIC SIGN SUMMARY													
IDENTIFI- CATION NUMBER	SIZE OF SIGN		TEXT	TEXT DIMENSIONS (INCHES)			NUMBER OF SIGNS REQUIRED	COLOR			POST SIZE AND NUMBER REQUIRED	UNIT AREA (S.F.)	AREA IN SQUARE FEET
	WIDTH	HEIGHT		LETTER HEIGHT	VERTICAL SPACING	ARROW RTE. MKR.		BACK- GROUND	LEGEND	BORDER			
MA-D3-18 (POS)	VARIES	12"	Old Meadow Rd	6"4"D	3" 3"	N/A	2	GREEN	WHITE	WHITE	1-P5	PAID UNDER ITEM 874.01	
MA-D3-19 (POS)	VARIES	12"	Moss Ln	6"4"D	3" 3"	N/A	2	GREEN	WHITE	WHITE	1-P5	PAID UNDER ITEM 874.01	
MA-D3-20 (POS)	VARIES	12"	Captains Village Ln	6"4"D	2.75" 3.25"	N/A	2	GREEN	WHITE	WHITE	2 MTD W/ OTHERS	PAID UNDER ITEM 874.01	
MA-D3-21 (POS)	VARIES	12"	Beach Plum Ln	6"4"D	3" 3"	N/A	2	GREEN	WHITE	WHITE	1-P5	PAID UNDER ITEM 874.01	
MA-D3-22 (POS)	VARIES	12"	Cricket Ln	6"4"D	3" 3"	N/A	2	GREEN	WHITE	WHITE	2 MTD W/ OTHERS	PAID UNDER ITEM 874.01	
MA-D3-23 (POS)	VARIES	12"	Barons Way	6"4"D	2.75" 3.25"	N/A	2	GREEN	WHITE	WHITE	1-P5	PAID UNDER ITEM 874.01	
MA-D3-24 (POS)	VARIES	12"	Prell Cir	6"4"D	3" 3"	N/A	2	GREEN	WHITE	WHITE	1-P5	PAID UNDER ITEM 874.01	
MA-D3-25 (POS)	VARIES	12"	Carol Ann Dr	6"4"D	3" 3"	N/A	2	GREEN	WHITE	WHITE	1-P5	PAID UNDER ITEM 874.01	
MA-D3-26 (POS)	VARIES	12"	Russells Path	6"4"D	3" 3"	N/A	2	GREEN	WHITE	WHITE	1-P5	PAID UNDER ITEM 874.01	
MA-D3-27 (POS)	VARIES	12"	Old Freemans Way	6"4"D	2.75" 3.25"	N/A	2	GREEN	WHITE	WHITE	1-P5	PAID UNDER ITEM 874.01	
MA-D3-28 (POS)	VARIES	12"	Long Pond Rd/Rte 137	6"D	2.75" 3.25"	N/A	2	GREEN	WHITE	WHITE	2 MTD W/ OTHERS	PAID UNDER ITEM 874.01	

NOTES:

- HIGH INTENSITY REFLECTIVE SHEETING SHALL BE USED FOR ALL SIGNS. SEE FHWA "STANDARD HIGHWAY SIGNS, 2004 EDITION" FOR TEXT DIMENSIONS, AS AMENDED; THE 1977 MASSHIGHWAY DEPARTMENT CONSTRUCTION AND TRAFFIC STANDARD DETAILS, AS AMENDED, FOR SIGNS AND SUPPORTS; AND THE MASSHIGHWAY DEPARTMENT SIGN LISTINGS 1993 EDITION, AS AMENDED.
- POS = PAINTED ONE SIDE



- OPERATIONAL NOTES:**
1. RRFBs SHALL BE ACTIVATED BY PEDESTRIAN PUSH BUTTON.
 2. DURATION OF RRFB UPON RECEIPT OF VALID PEDESTRIAN PUSH BUTTON ACTUATION SHALL BE INITIALLY SET FOR 10 SECONDS.
 3. SEE SPECIAL PROVISIONS, ITEMS 824.211 & 824.212, FOR MORE DETAILS ON FUNCTIONAL REQUIREMENTS OF RRFB SYSTEM.

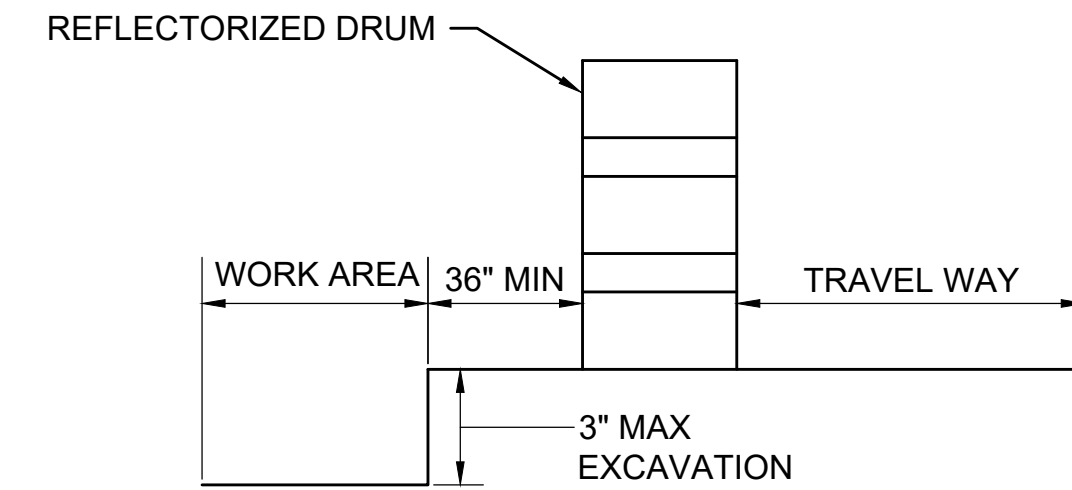
**RECTANGULAR RAPID FLASHING
BEACON (RRFB) - POST MOUNTED**

SCALE: N.T.S.

GENERAL NOTES

- ALL CONSTRUCTION SIGNING, TEMPORARY TRAFFIC CONTROL DEVICES, AND ROADSIDE ELEMENTS SHALL CONFORM WITH THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS AMENDED, THE MASSDOT STANDARD DETAILS AND DRAWINGS FOR THE DEVELOPMENT OF TEMPORARY TRAFFIC CONTROL PLANS, THE LATEST REVISIONS OF THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS, (AASHTO) ROADSIDE DESIGN GUIDE, AASHTO POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS, AND NATIONAL COOPERATIVE HIGHWAY RESEARCH PROGRAM (NCHRP) REPORT 350 OR THE AASHTO MANUAL FOR ASSESSING SAFETY HARDWARE (MASH).
- WORK HOURS FOR ROUTE 6A SHALL BE AS STATED IN THE APPROVED STATE HIGHWAY ACCESS PERMIT ISSUED BY MASSDOT.

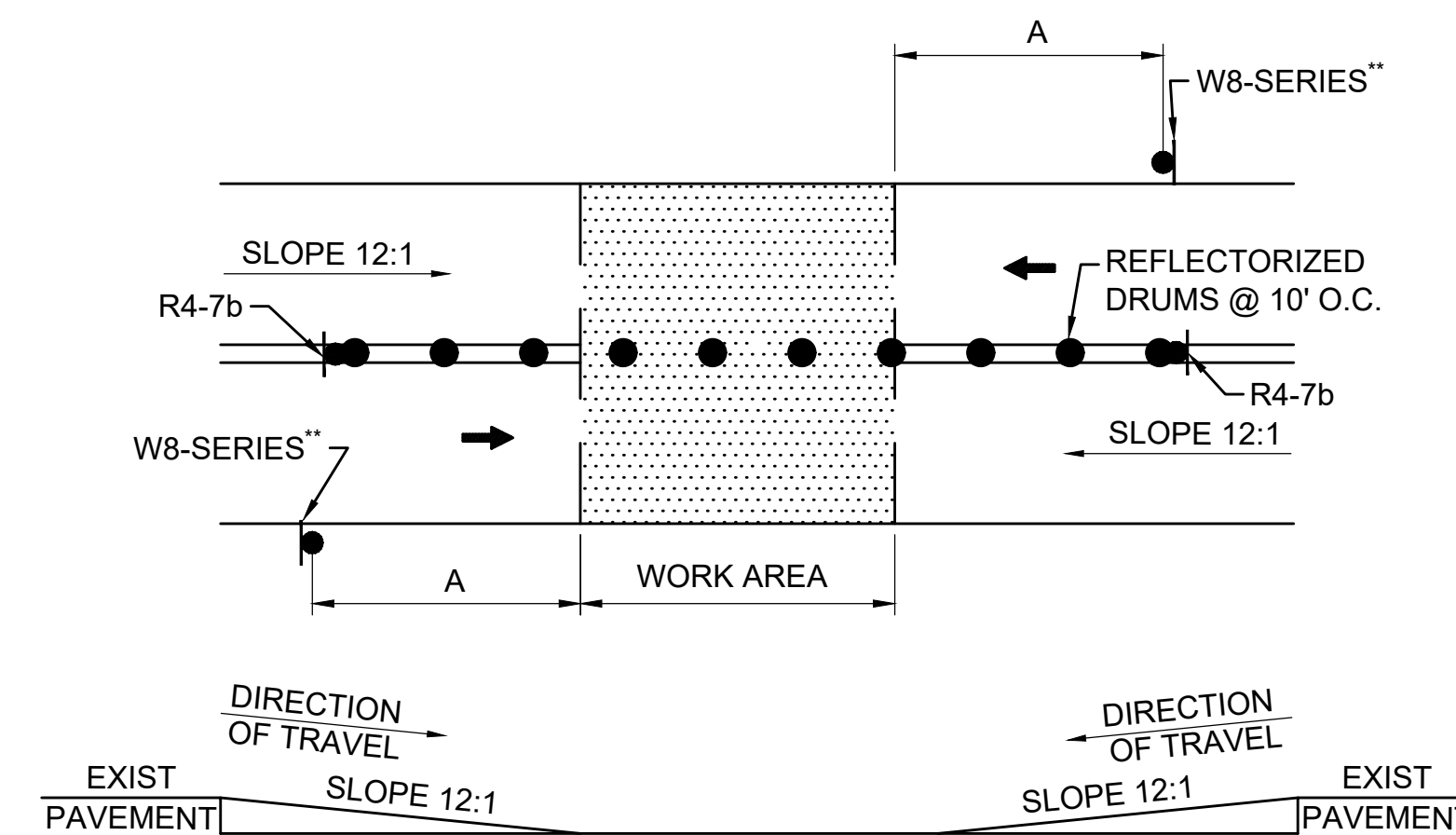
WORK HOURS FOR TOWN ROADWAYS SHALL BE 7:00AM TO 3:00PM MONDAY THRU FRIDAY UNLESS OTHERWISE APPROVED BY THE TOWN OF BREWSTER. NO WORK IMPACTING THE TRAVEL WAY WILL BE ALLOWED DURING PEAK TRAFFIC PERIODS. PEAK PERIODS ARE DEFINED AS MONDAY THRU FRIDAY, 6:00AM TO 9:00AM AND 3:00PM TO 7:00PM.
- NO WORK SHALL OCCUR WITHIN THE PUBLIC WAY THE DAY BEFORE, AFTER OR ON A STATE RECOGNIZED HOLIDAY UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- ALL TEMPORARY PEDESTRIAN PATHWAYS SHALL COMPLY FULLY WITH ALL REQUIREMENTS OF THE MUTCD AND ALL APPLICABLE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB) AND AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) REQUIREMENTS AND PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG).
- ALL DRUMS OUTSIDE TAPERS SHALL BE SET AT 20' ON CENTER MAX. UNLESS OTHERWISE NOTED OR ADJUSTED BY THE ENGINEER.
- ALL DRUMS SHALL BE APPROXIMATELY PLACED AND MOVED AS NECESSARY TO MAINTAIN SAFE AND REASONABLE ABUTTER ACCESS. WORK MAY REQUIRE ADDITIONAL SIGNS, DRUMS AND OTHER TRAFFIC CONTROL DEVICES, GRADING AND TEMPORARY PAVEMENT FOR PASSAGE OF PEDESTRIAN, VEHICULAR AND EMERGENCY TRAFFIC THROUGH THE WORK AREAS, BOTH DURING AND AFTER WORKING HOURS, TO MAINTAIN SUCH ACCESS.
- THE FIRST 10 DRUMS ON TAPERS SHALL BE REFLECTORIZED DRUMS WITH SEQUENTIAL FLASHING WARNING LIGHTS AND SHALL BE OPERATING, AT A MINIMUM, BETWEEN DUSK AND DAWN, WHEN TAPER IS DEPLOYED.
- REFLECTORIZED CONES SHALL BE A MINIMUM OF 36 INCHES IN HEIGHT.
- CONES MAY BE USED IN LIEU OF DRUMS OUTSIDE OF TAPER AREAS.
- THE CONTRACTOR SHALL NOTIFY EACH ABUTTER AT LEAST 24 HOURS IN ADVANCE OF THE START OF ANY WORK THAT WILL REQUIRE THE TEMPORARY CLOSURE OR RESTRICTION OF ACCESS.
- FOR DROP-OFFS 3" OR LESS WITHIN THE CLEAR ZONE, CONDITION MAY BE MITIGATED WITH W8-9 (LOW SHOULDER) SIGN OR TEMPORARY CHANNELIZATION DEVICES.
- CONTRACTOR SHALL STAGE WORK SUCH THAT A DROP-OFF OF NO MORE THAN 3" AT THE END OF EACH WORK DAY EXISTS WITHIN THE CLEAR ZONE AT ANY TIME AND ENSURE DROP-OFF IS MITIGATED WITHOUT BARRIER PER NOTE 11.
- CONSTRUCTION CLEAR ZONE SHALL BE IN ACCORDANCE WITH MASSDOT BOSTON TRAFFIC GUIDELINES AS FOLLOWS:
4' IF POSTED SPEED IS LESS THAN 35 MPH
8' IF POSTED SPEED IS 35 MPH
15' IF POSTED SPEED IS 40 MPH
- 11' MINIMUM LANE WIDTHS SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
- TEMPORARY TRAFFIC CONTROL DEVICES AND SIGNS SHALL BE COVERED OR REMOVED DURING NON-WORKING HOURS WHEN NOT IN USE.
- SIGNS INSTALLED ON PORTABLE STANDS REQUIRE 12 INCH MINIMUM MOUNTING HEIGHT FROM THE ROADWAY SURFACE TO THE BOTTOM OF THE SIGN.
- SIGNS INSTALLED ON PORTABLE STANDS PLACED AMONG CHANNELIZATION DEVICES REQUIRE A 36 INCH MINIMUM MOUNTING HEIGHT FROM THE ROADWAY SURFACE TO THE BOTTOM OF THE SIGN.
- SIGNS MOUNTED ON POSTS REQUIRE A MINIMUM 84 INCH MOUNTING HEIGHT FROM THE ROADWAY OR SIDEWALK SURFACE TO THE BOTTOM OF THE SIGN. CONTRACTOR SHALL MAINTAIN A MINIMUM SIDEWALK HORIZONTAL CLEAR WIDTH OF 36" AT ALL TIMES.
- ALL SIGNS SHALL BE MOUNTED ON THEIR OWN NCHRP 350 AND/OR MASH CRASH TESTED SIGN SUPPORTS AND INSTALLED IN ACCORDANCE WITH THE MUTCD. SIGN SHALL NOT BE MOUNTED TO OR LEANED AGAINST DRUMS OR CONES.
- W21-7 SIGNS SHALL BE INSTALLED IN ADVANCE (100' MIN) OF AREAS WHERE UTILITY CASTINGS HAVE BEEN RAISED IN ADVANCE OF PAVING OPERATIONS OR AS REQUESTED BY THE ENGINEER.
- W8-15 SIGNS SHALL BE INSTALLED IN ADVANCE (100' MIN) OF PAVEMENT MILLING AREAS OR AS REQUESTED BY THE ENGINEER.
- W20-1c, MA-R2-10a OR MA-R2-10e SIGNS SHOWN ON ADVANCE SIGN SCHEMATIC MAY BE USED IN LIEU OF THOSE SIGNS SHOWN ON TYPICAL DETAILS ON THE TEMPORARY TRAFFIC CONTROL PLANS IF MINIMUM SIGN SPACING IS MET.
- CONTRACTOR SHALL SECURE WORK AREAS BY APPROPRIATE MEANS, TO PREVENT UNAUTHORIZED ACCESS AT ALL TIMES.
- THERE IS NO DESIGNATED BICYCLE LANE ON THE ROADWAY WITHIN THE PROJECT LIMITS. BICYCLES ARE EXPECTED TO SHARE THE ROAD WITH GENERAL VEHICULAR TRAFFIC.
- WHEN UTILIZING TYPICAL TRAFFIC CONTROL DETAILS OR STAGING SETUPS, COVER EXISTING CONFLICTING ADVANCE WARNING SIGNS AS REQUIRED TO COMPLETE THE WORK.
- CONTRACTOR SHALL NOT ALLOW PUBLIC ACCESS ON PORTIONS OF NEWLY BUILT SIDEWALK UNTIL ALL SIDEWALKS WITHIN THE PROJECT LIMITS EXCEPT ROUTE 6A EXISTING SIDEWALK AND SHARED-USE PATH AND CROSSING ARE FULLY CONSTRUCTED AND ADAAG COMPLIANT OR AS DIRECTED BY THE ENGINEER.
- TEMPORARY PORTABLE RUMBLE STRIP ARRAY CONSISTS OF THREE TRANSVERSELY PLACED RUMBLE STRIPS EVENLY SPACED. SPACING SHALL BE 10 FT ON CENTER OR AS DIRECTED BY THE ENGINEER.



NOTE:
1. CONTRACTOR SHALL INSTALL W8-9 SIGN ON ALL ROADWAYS 350 FT IN ADVANCE OF THE START OF DROP-OFF CONDITION.

TYPICAL ROADWAY DROP-OFF PROTECTION

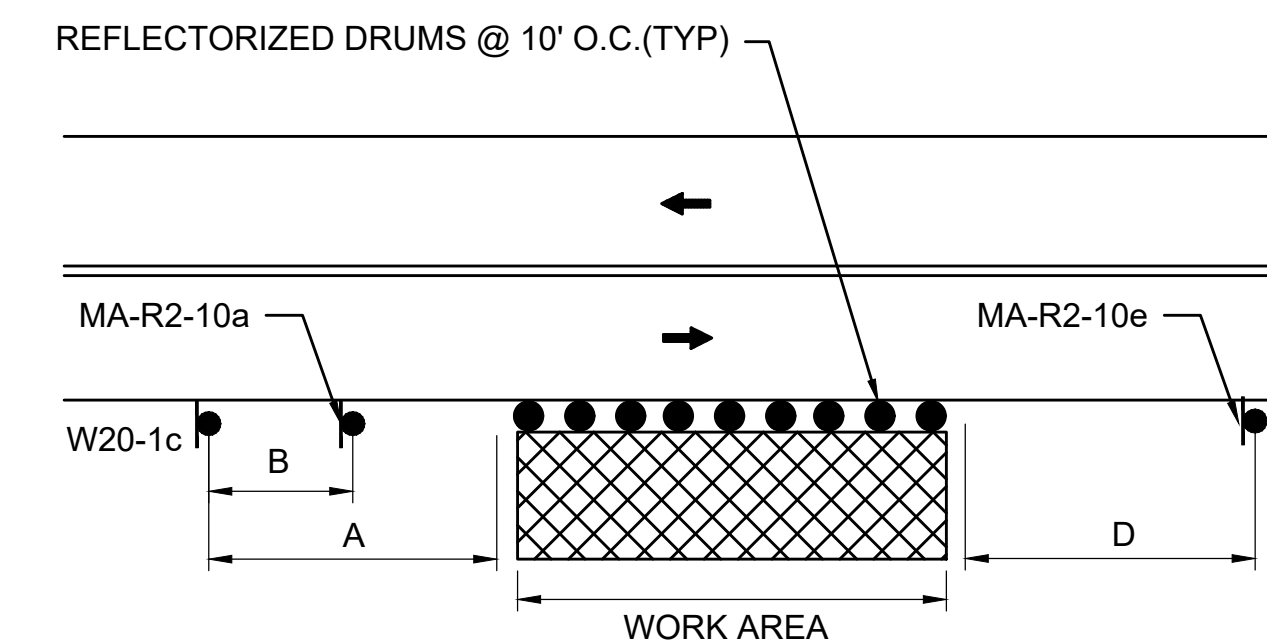
SCALE: NTS



NOTES:
1. SQUARE OFF THE FULL WIDTH OF THE ROADWAY AT THE END OF WORK DAY
2. ** CONTRACTOR SHALL INSTALL W8-1, W8-3, OR W8-8 SIGN, AS APPROPRIATE, ON ALL ROADWAYS IN ADVANCE OF THE TRANSITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

TEMPORARY PAVEMENT TRANSITION

SCALE: NTS



NOTES:
1. REFER TO ADVANCE SIGN SPACING TABLE.

OFF ROADWAY WORK - RIGHT

SCALE: NTS

LEGEND	
	POLICE OFFICER
	REFLECTORIZED DRUM
	REFLECTORIZED DRUMS WITH SEQUENTIAL FLASHING WARNING LIGHTS (SEE NOTE 7)
	TEMPORARY CONSTRUCTION SIGN
	TRAFFIC CONE
	TYPE III BARRICADE
	TEMPORARY PORTABLE RUMBLE STRIPS
	PORTABLE CHANGEABLE MESSAGE SIGN (PCMS)
	WORK AREA (PUBLIC ACCESS RESTRICTED)
	TRANSITION/BUFFER AREAS
	HMA PAVEMENT
	TRAFFIC FLOW
	PEDESTRIAN ROUTE
	CONSTRUCTION FENCE
	TEMPORARY PEDESTRIAN BARRICADE
NTS	NOT TO SCALE

ADVANCE SIGN SPACING

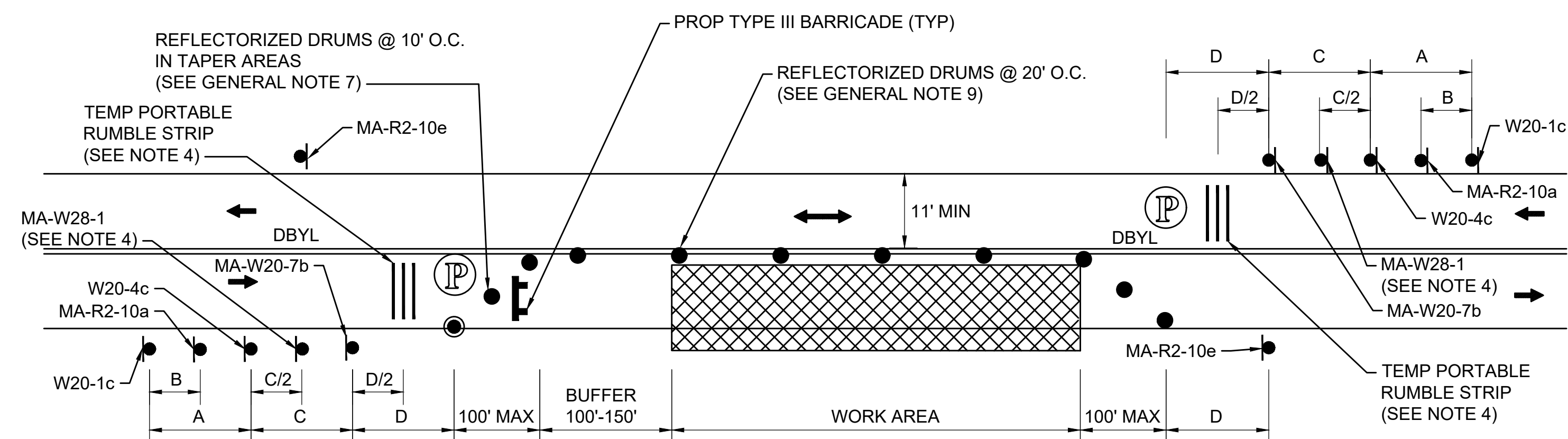
ROADWAY	DISTANCE BETWEEN SIGNS (FEET)			
	A	B	C	D
ROUTE 137 ROUTE 6A	350	150	350	350
ALL OTHER ROADWAYS	100	50	100	100

LANE TAPER LENGTH FORMULAS

L= TAPER LENGTH IN FEET
W= WIDTH OF ROADWAY TO BE SHIFTED OR REDIRECTED IN FEET
S= POSTED SPEED LIMIT IN MPH
POSTED SPEED
40 MPH OR LESS
$L = \frac{WS^2}{60}$

BUFFER SPACING

SPEED (MPH)	DISTANCE (FEET)
15	80
20	115
25	155
30	200
35	250
40	305

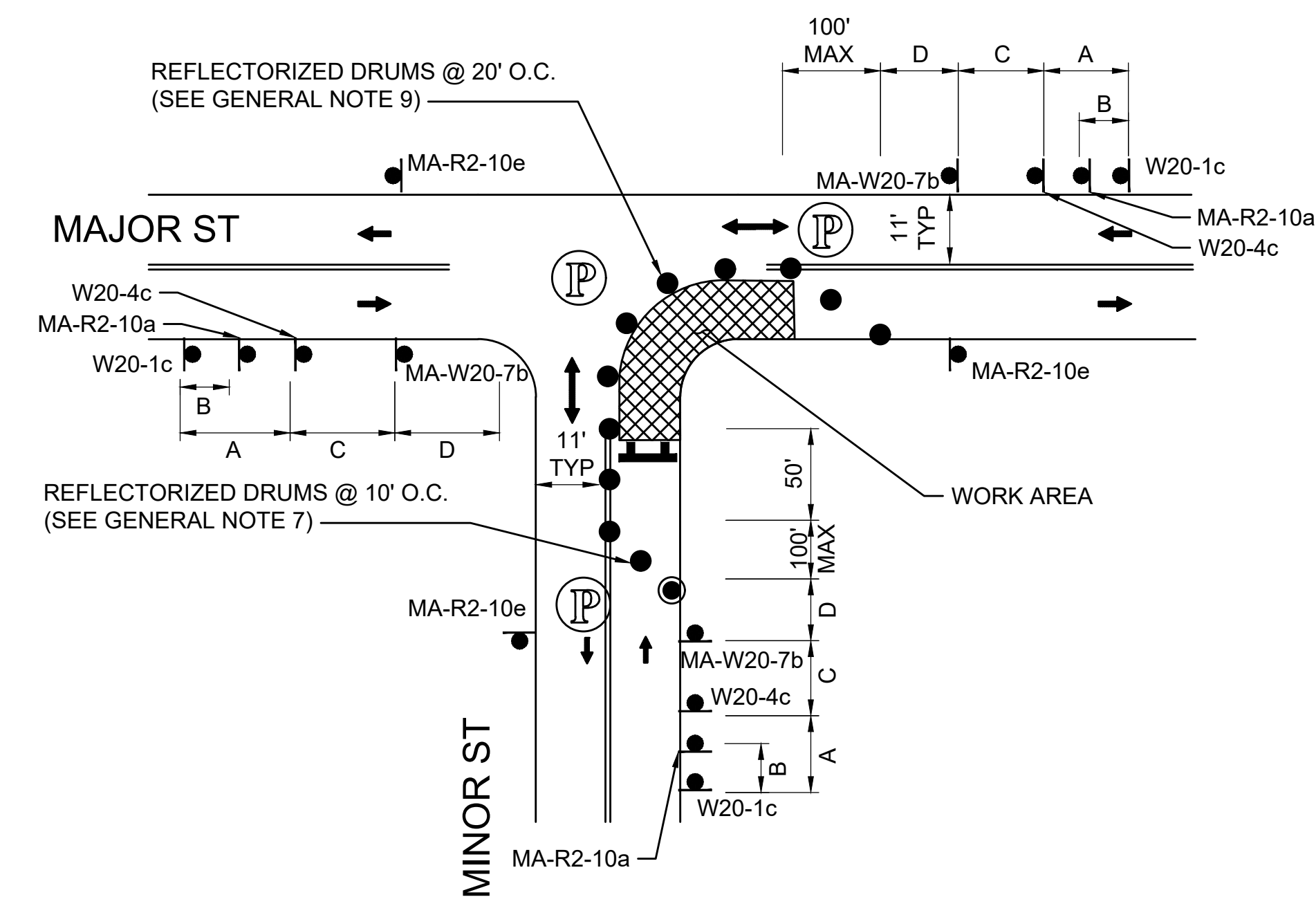


NOTES:

1. REFER TO ADVANCE SIGN SPACING TABLE ON SHEET 59.
2. AT MILLSTONE RD SHARED USE PATH, POLICE DETAIL TO COORDINATE BICYCLE & PEDESTRIAN ACCESS THROUGH CONSTRUCTION WORK ZONE.
3. SEE PEDESTRIAN BYPASS DETAIL (ROUTE 6A) DETAIL FOR NORTH SIDEWALK WORK.
4. TEMP PORTABLE RUMBLE STRIP AND ASSOCIATED SIGN (MA-W28-1) SIGN ARE REQUIRED ON ROUTE 6A UNLESS DIRECTED BY MASSDOT. THEY MAY BE OMITTED ON TOWN ROADWAYS UNLESS DIRECTED BY THE ENGINEER.

TYPICAL TWO-WAY STREET LANE CLOSURE ALTERNATING TRAFFIC

SCALE: NTS



NOTE:

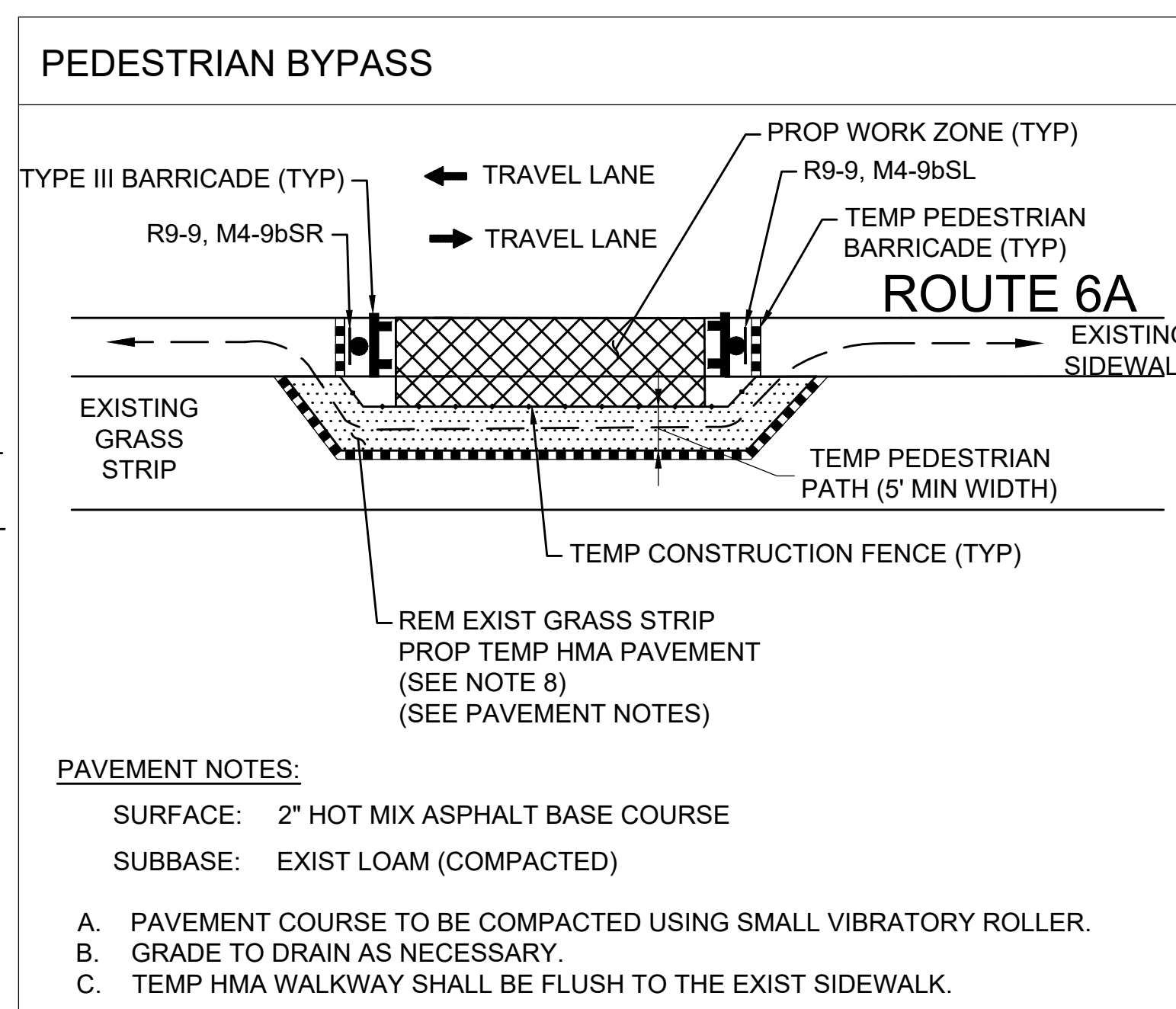
1. ADVANCE WARNING SIGN PLACEMENT TO BE ADJUSTED AS NECESSARY.
2. REFER TO ADVANCE SIGN SPACING TABLE ON SHEET 59.

ONE LANE BI-DIRECTIONAL TRAFFIC AT INTERSECTIONS - FAR SIDE

SCALE: NTS

NOTES:

1. ADDITIONAL ADVANCE WARNING SIGNS MAY BE NECESSARY AS DETERMINED BY THE ENGINEER.
2. CONTROLS FOR PEDESTRIAN TRAFFIC ONLY, ARE SHOWN. VEHICULAR TRAFFIC SHALL BE MAINTAINED AS SHOWN ELSEWHERE.
3. STREET LIGHTING SHOULD BE CONSIDERED WHEN LOCATING CONTROL DEVICES.
4. → → INDICATES DIRECTION OF PEDESTRIAN TRAVEL.
5. ALL TEMPORARY PEDESTRIAN PATHWAYS SHALL COMPLY FULLY WITH ALL REQUIREMENTS OF THE MUTCD AND ALL APPLICABLE MAAB AND ADAAG REQUIREMENTS AND INCLUDE THE USE OF COMPLIANT TEMPORARY PEDESTRIAN BARRICADES AND TEMPORARY PEDESTRIAN CURB RAMPS AT ALL TIMES.
6. CONTRACTOR SHALL MAINTAIN AS WIDE OF A PEDESTRIAN ACCESS AS POSSIBLE AT ALL TIMES. EXCEPT WHERE NECESSARY, THE CONTRACTOR MAY TEMPORARILY REDUCE PEDESTRIAN PATHWAYS TO 4 FEET IN WIDTH (EXCLUDING CURB) FOR NO MORE THAN 200 LINEAR FEET AT A TIME IN ACCORDANCE WITH ALL STANDARDS. A 5' x 5' PASSING AREA SHALL BE PROVIDED IN INTERVALS NOT EXCEEDING 200 FEET.
7. TEMPORARY PEDESTRIAN BARRICADES SHALL BE PAID FOR UNDER ITEM 852.11 TEMPORARY PEDESTRIAN BARRICADE.
8. CONTRACTOR TO RESTORE GRASS STRIP BACK TO ORIGINAL CONDITION UPON COMPLETION OF WORK.

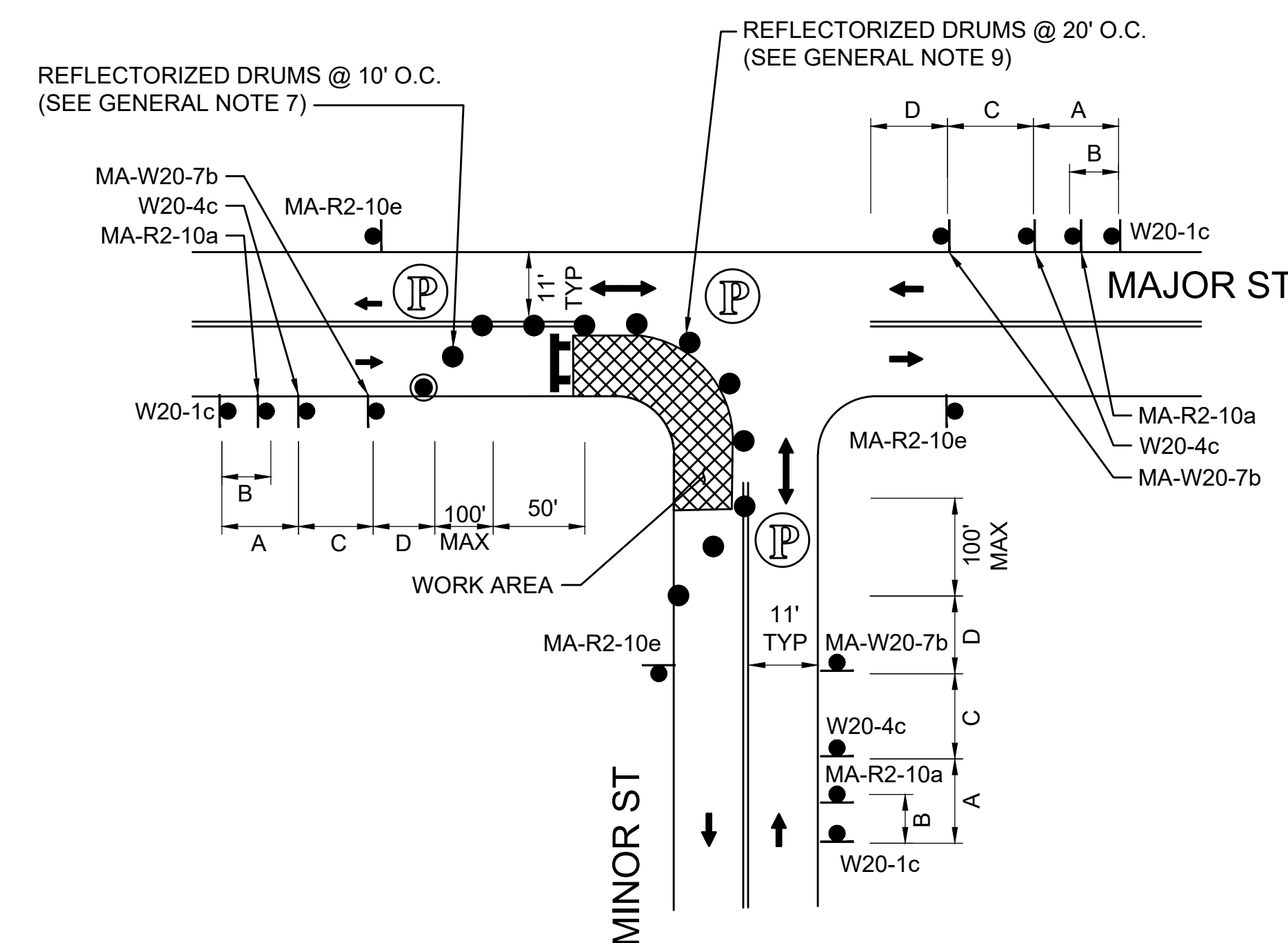


PAVEMENT NOTES:

- SURFACE: 2" HOT MIX ASPHALT BASE COURSE
SUBBASE: EXIST LOAM (COMPACTED)
- A. PAVEMENT COURSE TO BE COMPACTED USING SMALL VIBRATORY ROLLER.
 - B. GRADE TO DRAIN AS NECESSARY.
 - C. TEMP HMA WALKWAY SHALL BE FLUSH TO THE EXIST SIDEWALK.

PEDESTRIAN BYPASS DETAIL (ROUTE 6A)

SCALE: NTS

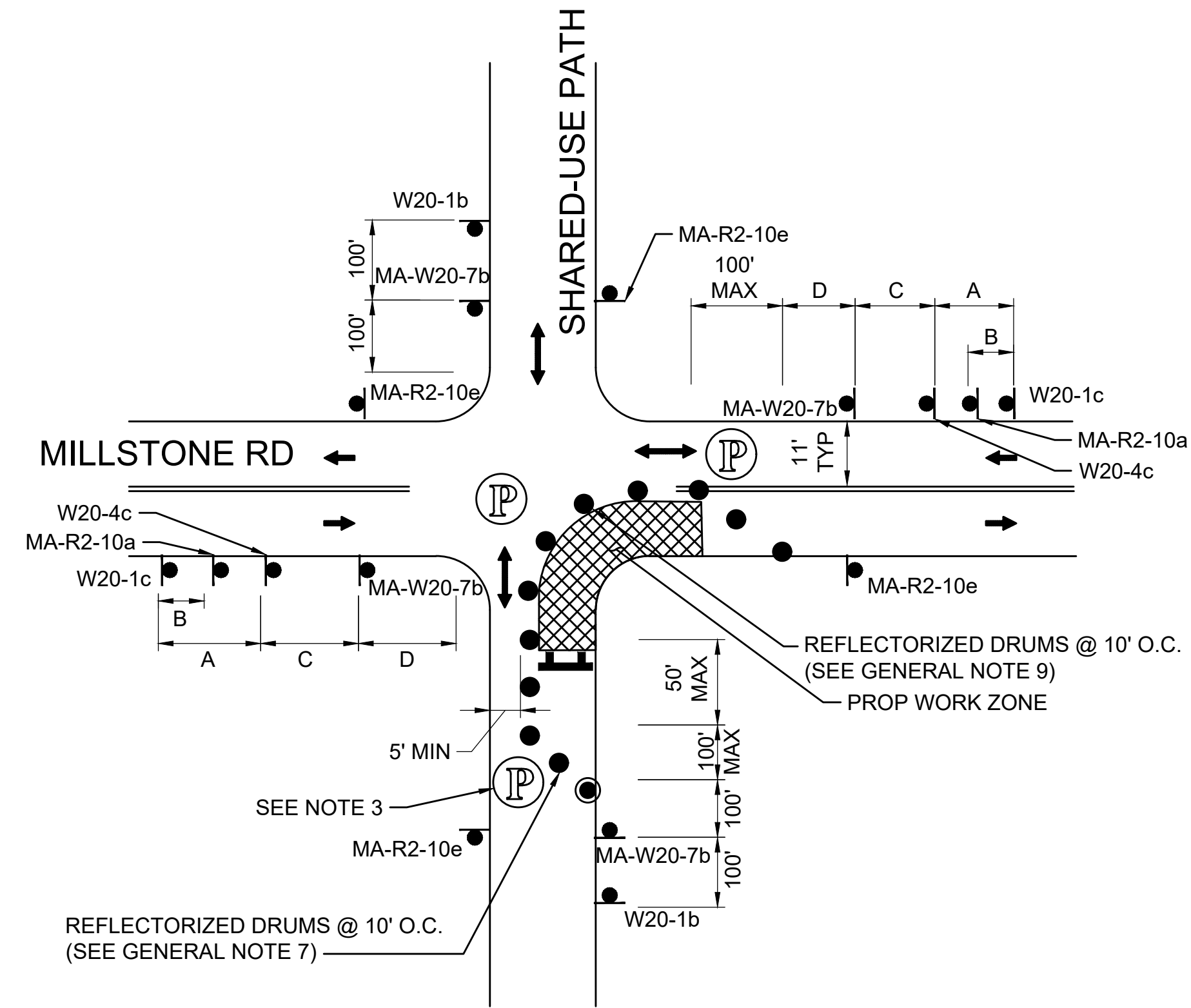


NOTE:

1. ADVANCE WARNING SIGN PLACEMENT TO BE ADJUSTED AS NECESSARY.
2. REFER TO ADVANCE SIGN SPACING TABLE ON SHEET 59.

ONE LANE BI-DIRECTIONAL TRAFFIC AT INTERSECTIONS - NEAR SIDE

SCALE: NTS

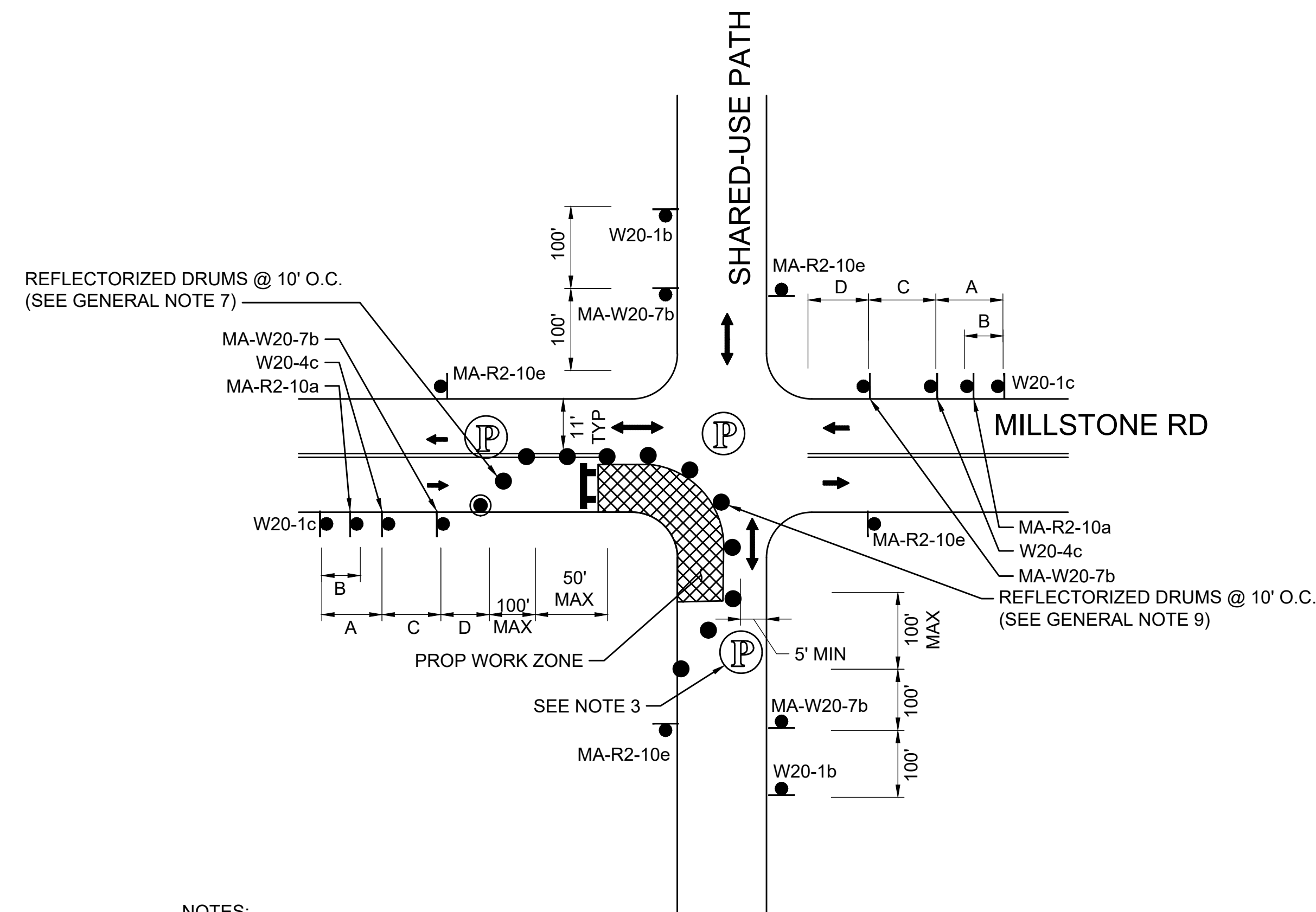


NOTES:

1. ADVANCE WARNING SIGN PLACEMENT TO BE ADJUSTED AS NECESSARY.
2. REFER TO ADVANCE SIGN SPACING TABLE ON SHEET 59.
3. POLICE DETAIL TO ASSIST PEDESTRIANS & BICYCLISTS THROUGH CONSTRUCTION ZONE.

ONE LANE BI-DIRECTIONAL TRAFFIC AT SHARED-USE PATH - FAR SIDE

SCALE: NTS



NOTES:

1. ADVANCE WARNING SIGN PLACEMENT TO BE ADJUSTED AS NECESSARY.
2. REFER TO ADVANCE SIGN SPACING TABLE ON SHEET 59.
3. POLICE DETAIL TO ASSIST PEDESTRIANS & BICYCLISTS THROUGH CONSTRUCTION ZONE.

ONE LANE BI-DIRECTIONAL TRAFFIC AT SHARED-USE PATH - NEAR SIDE

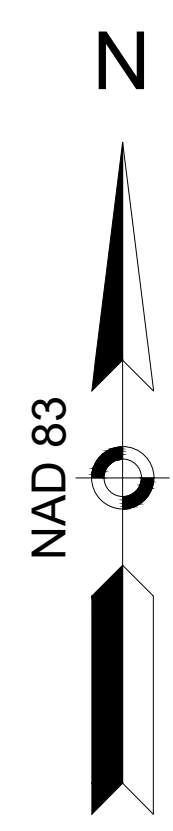
SCALE: NTS

**PCMS #1, #2, #3, #4
MESSAGE TEXT**

14 DAYS PRIOR TO START OF CONSTRUCTION	MILLSTON RD WORK BEGINS	DAY DATE TIME
14 DAYS POST START OF CONSTRUCTION	MILLSTON RD WORK AHEAD	USE CAUTION

PCMS NOTES:

1. PCMS SHALL BE INSTALLED WITHIN THE EXISTING RIGHT-OF-WAY (ROW) OFF THE ROADWAY AT APPROX. LOCATIONS SHOWN OR AS DIRECTED BY THE TOWN OF BREWSTER. PCMS SHALL NOT BLOCK EXIST SIDEWALK.
2. DATE AND TIMES ON PCMS MESSAGING SHALL BE COORDINATED WITH THE TOWN OF BREWSTER.
3. CONTRACTOR SHALL PROVIDE PCMS A MINIMUM OF 14 DAYS PRIOR TO START OF CONSTRUCTION OR AS DIRECTED BY THE TOWN OF BREWSTER.
4. CONTRACTOR SHALL REMOVE ALL PCMS SHOWN AT THE COMPLETION OF CONSTRUCTION UNLESS OTHERWISE DIRECTED BY THE ENGINEER.



CAPE COD BAY

PCMS #1
(LOCATED ON THE RIGHT SIDE OF MAIN STREET (ROUTE 6A) EB IN GRASSY AREA APPROXIMATELY 50' EAST OF SACHEM DR)

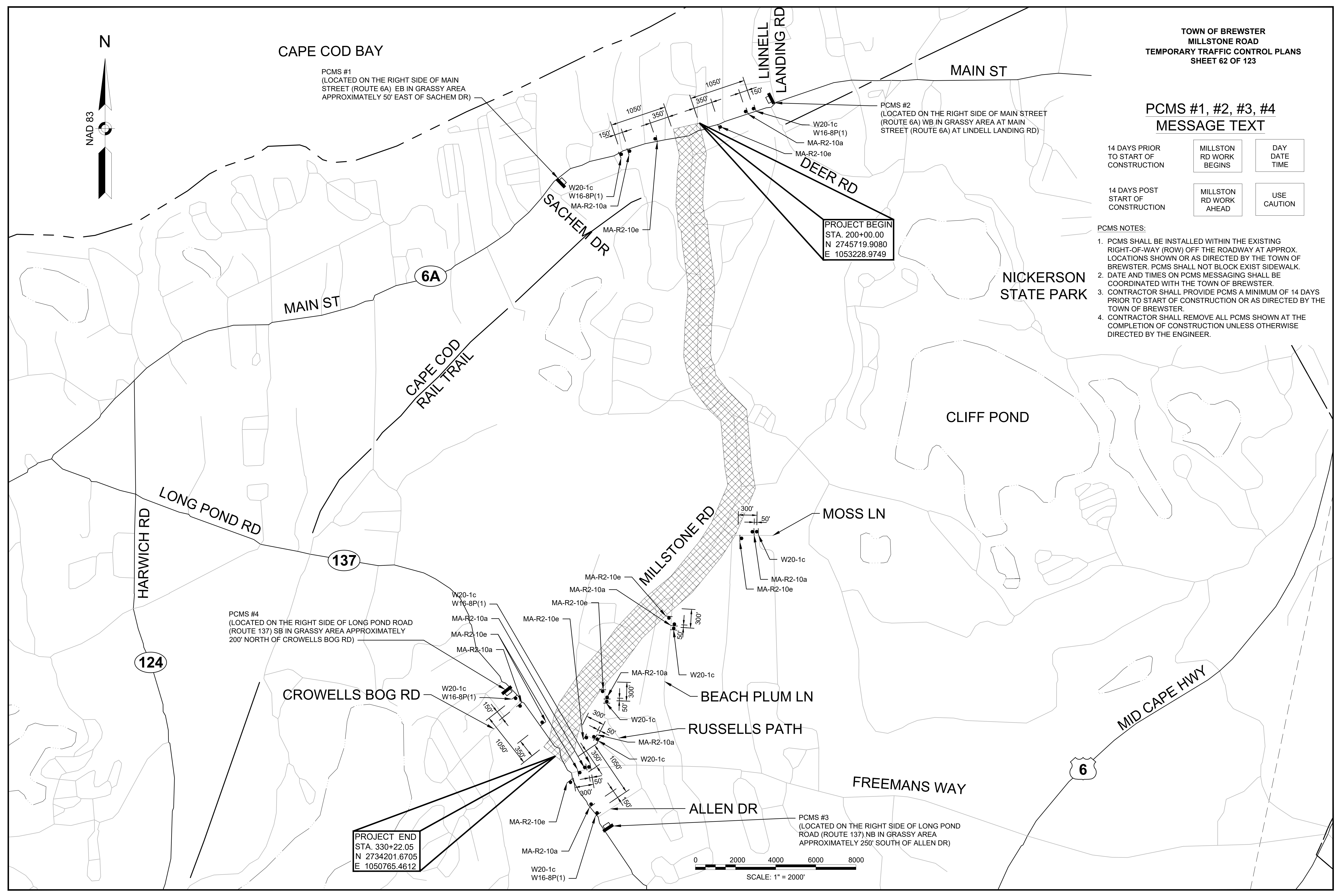
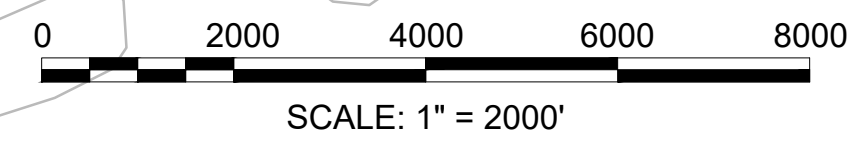
PCMS #2
(LOCATED ON THE RIGHT SIDE OF MAIN STREET (ROUTE 6A) WB IN GRASSY AREA AT MAIN STREET (ROUTE 6A) AT LINDELL LANDING RD)

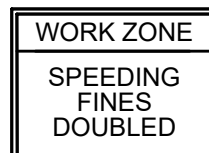

















PCMS #4
(LOCATED ON THE RIGHT SIDE OF LONG POND ROAD (ROUTE 137) SB IN GRASSY AREA APPROXIMATELY 200' NORTH OF CROWELLS BOG RD)

PCMS #3
(LOCATED ON THE RIGHT SIDE OF LONG POND ROAD (ROUTE 137) NB IN GRASSY AREA APPROXIMATELY 250' SOUTH OF ALLEN DR)

PROJECT BEGIN
STA. 200+00.00
N 2745719.9080
E 1053228.9749

PROJECT END
STA. 330+22.05
N 2734201.6705
E 1050765.4612



TEMPORARY TRAFFIC CONTROL SIGN SUMMARY									
IDENTIFI- CATION NUMBER	SIZE OF SIGN		TEXT	TEXT DIMENSIONS (INCHES)			COLOR		
	WIDTH	HEIGHT		LETTER HEIGHT	VERTICAL SPACING	ARROW RTE. MKR.	BACK- GROUND	LEGEND	BORDER
MA-R2-10a	48"	36"		AS PER MASSDOT STANDARD			FLUOR- ESCENT ORANGE	BLACK	BLACK
MA-R2-10e	36"	48"		↓			WHITE	BLACK	BLACK
R4-7b	24"	30"					SEE FHWA "STANDARD HIGHWAY SIGNS, 2004 EDITION"; AS AMENDED		
R9-9	24"	12"					WHITE	BLACK	BLACK
W8-1	36"	36"					FLUOR- ESCENT ORANGE	BLACK	BLACK
W8-3	36"	36"					FLUOR- ESCENT ORANGE	BLACK	BLACK
W8-8	36"	36"					FLUOR- ESCENT ORANGE	BLACK	BLACK
W8-9	36"	36"					FLUOR- ESCENT ORANGE	BLACK	BLACK
W8-15	36"	36"					FLUOR- ESCENT ORANGE	BLACK	BLACK
W16-8P(1)	30"	12"					FLUOR- ESCENT ORANGE	BLACK	BLACK
W20-1b	36"	36"					FLUOR- ESCENT ORANGE	BLACK	BLACK
W20-1c	36"	36"					FLUOR- ESCENT ORANGE	BLACK	BLACK
W20-4c	36"	36"		↓			FLUOR- ESCENT ORANGE	BLACK	BLACK
MA-W20-7b	36"	36"					AS PER MASSDOT STANDARD		
W21-7	36"	36"		SEE FHWA "STANDARD HIGHWAY SIGNS, 2004 EDITION"; AS AMENDED			FLUOR- ESCENT ORANGE	BLACK	BLACK
MA-W28-1	36"	36"		AS PER MASSDOT STANDARD			FLUOR- ESCENT ORANGE	BLACK	BLACK
M4-9bSL	30"	24"		↓			FLUOR- ESCENT ORANGE	BLACK	BLACK
M4-9bSR	30"	24"					SEE FHWA "STANDARD HIGHWAY SIGNS, 2004 EDITION"; AS AMENDED		

NOTES:

- HIGH INTENSITY REFLECTIVE SHEETING SHALL BE USED FOR ALL SIGNS. SEE FHWA "STANDARD HIGHWAY SIGNS, 2004 EDITION" FOR TEXT DIMENSIONS, AS AMENDED; THE 1977 MASSHIGHWAY DEPARTMENT CONSTRUCTION AND TRAFFIC STANDARD DETAILS, AS AMENDED, FOR SIGNS AND SUPPORTS; THE MASSHIGHWAY DEPARTMENT SIGN LISTINGS 1993 EDITION, AS AMENDED; THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR MOUNTING REQUIREMENTS; AND THE 2017 MassDOT STANDARD SIGNS BOOK, AS AMENDED.
- ALL SIGNS SHOWN GRAPHICALLY FOR INFORMATION ONLY. SIGN VENDOR SHALL FABRICATE ALL SIGNS IN ACCORDANCE WITH THE APPLICABLE STANDARDS.

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
1	CB	200+49.6 13.5 LT	44.33		(2) 38.30	
2	LB	200+51.2 32.6 LT	42.46	(1) 38.00		

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
5	CB	202+53.7 5.9 RT	44.55	(7) 39.98	(10) 40.09	PROP FRAME & COVER
6	CB	202+53.6 11.5 RT	44.37		(10) 40.17	
7	EX CB	202+74.2 11.5 RT	44.53		(5) 40.37	REMODEL
8	LB	202+13.0 6.3 RT	45.05	(9) 39.51		
9	LB	202+29.4 6.6 RT	44.91	(10) 39.80	(8) 39.59	

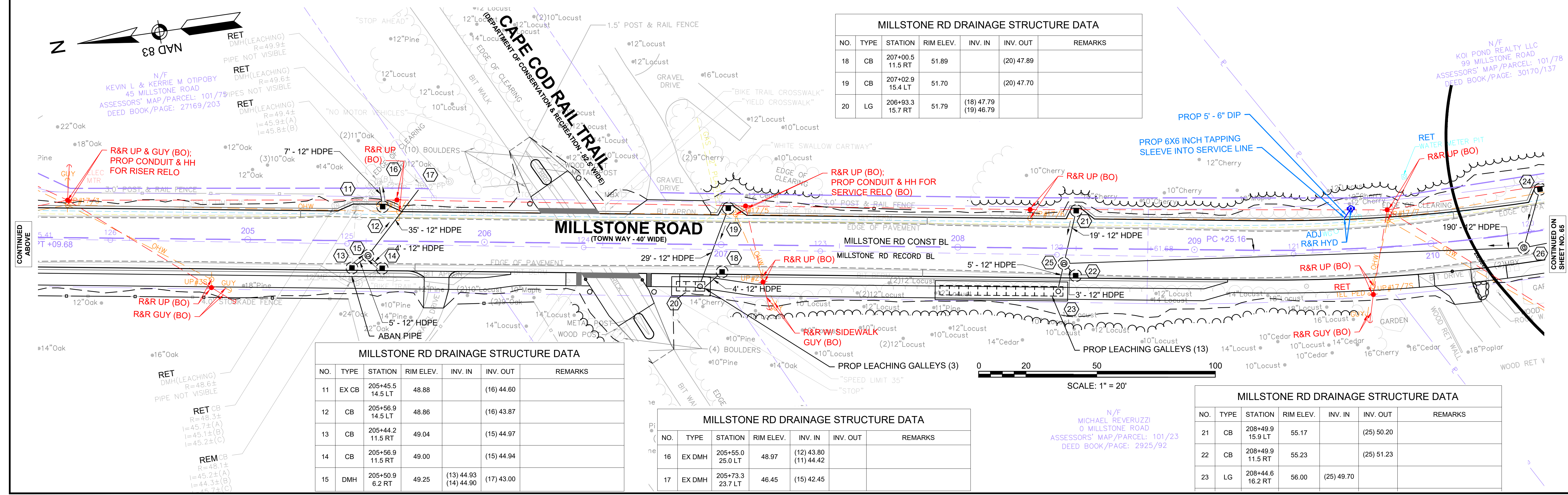
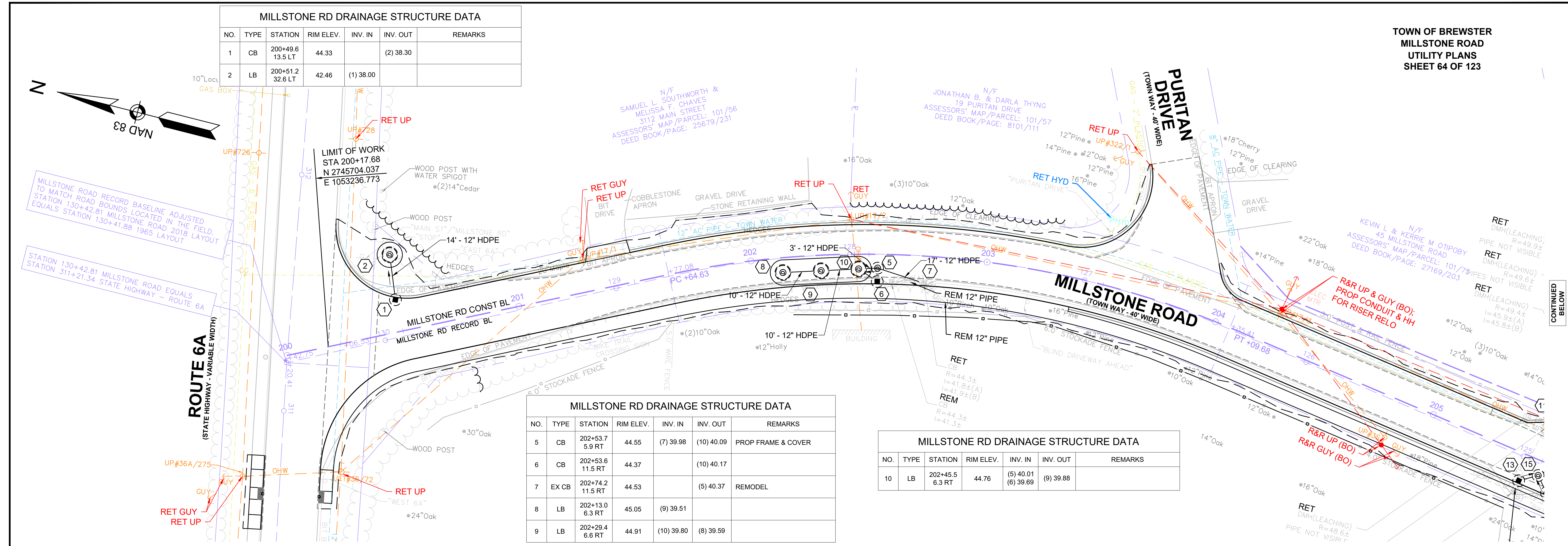
MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
10	LB	202+45.5 6.3 RT	44.76	(5) 40.01 (6) 39.69	(9) 39.88	

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
18	CB	207+00.5 11.5 RT	51.89		(20) 47.89	
19	CB	207+02.9 15.4 LT	51.70		(20) 47.70	
20	LG	206+93.3 15.7 RT	51.79	(18) 47.79 (19) 46.79		

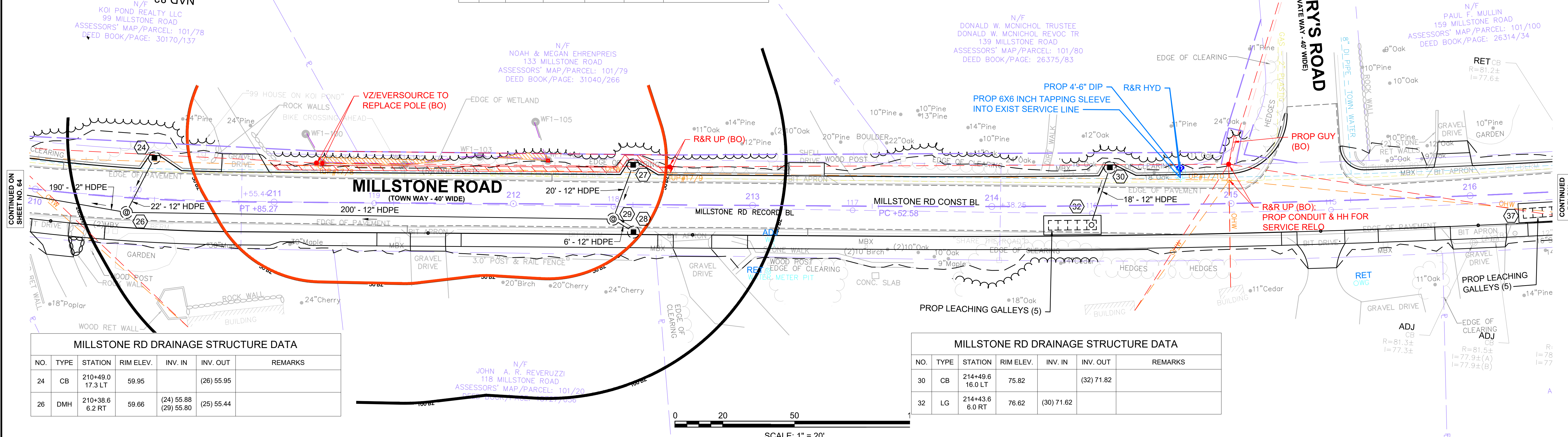
MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
11	EX CB	205+45.5 14.5 LT	48.88		(16) 44.80	
12	CB	205+56.9 14.5 LT	48.86		(16) 43.87	
13	CB	205+44.2 11.5 RT	49.04		(15) 44.97	
14	CB	205+56.9 11.5 RT	49.00		(15) 44.94	
15	DMH	205+50.9 6.2 RT	49.25	(13) 44.93 (14) 44.90	(17) 43.00	

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
16	EX DMH	205+55.0 25.0 LT	48.97	(12) 43.80 (11) 44.42		
17	EX DMH	205+73.3 23.7 LT	46.45	(15) 42.45		

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
21	CB	208+49.9 15.9 LT	55.17		(25) 50.20	
22	CB	208+49.9 11.5 RT	55.23		(25) 51.23	
23	LG	208+44.6 16.2 RT	56.00	(25) 49.70		



MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
27	CB	212+50.0 16.6 LT	65.36		(29) 61.36	
28	CB	212+50.3 11.5 RT	65.32		(29) 61.04	
29	DMH	212+41.7 6.1 RT	65.08	(28) 60.94 (27) 60.94	(26) 60.05	

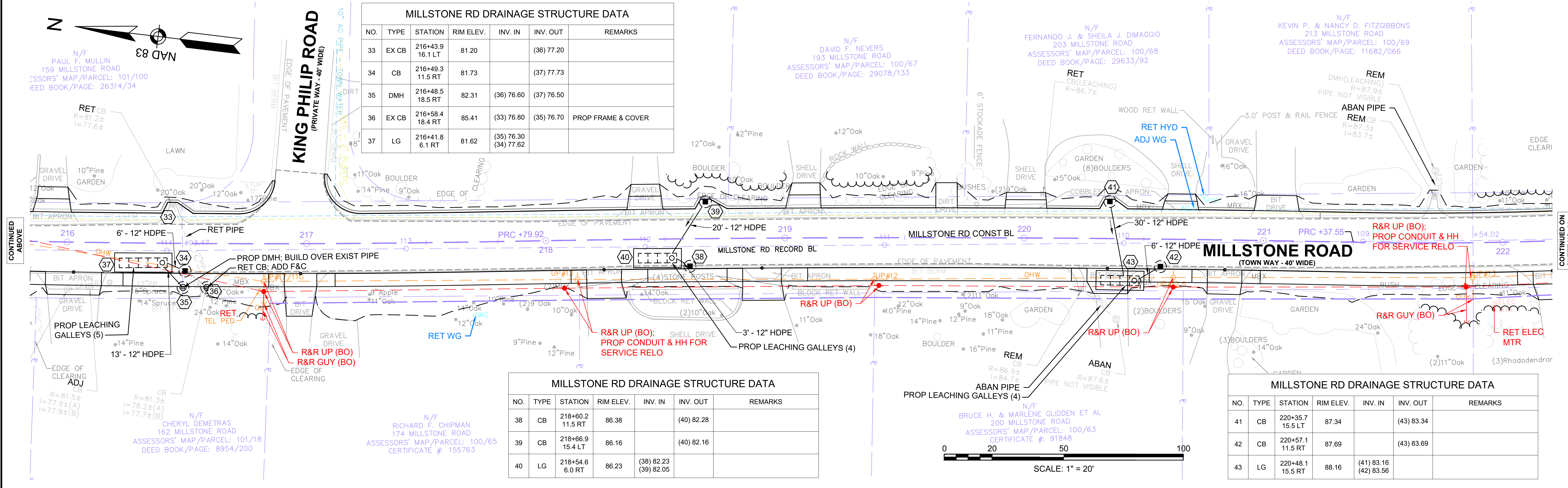
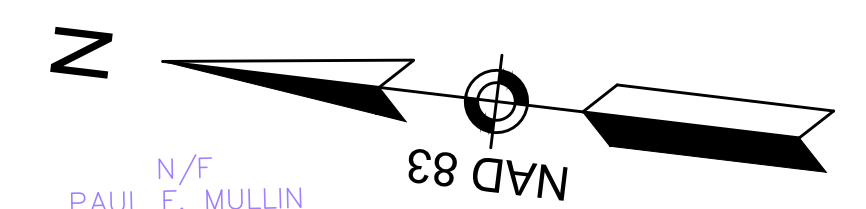


MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
24	CB	210+49.0 17.3 LT	59.95		(26) 55.95	
26	DMH	210+38.6 6.2 RT	59.66	(24) 55.88 (29) 55.80	(25) 55.44	

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
30	CB	214+49.6 16.0 LT	75.82		(32) 71.82	
32	LG	214+43.6 6.0 RT	76.62	(30) 71.62		

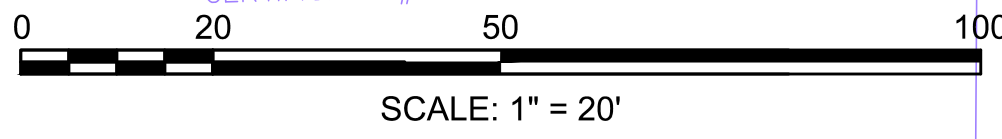


MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
33	EX CB	216+43.9 16.1 LT	81.20		(36) 77.20	
34	CB	216+49.3 11.5 RT	81.73		(37) 77.73	
35	DMH	216+48.5 18.5 RT	82.31	(36) 76.60 (37) 76.50		
36	EX CB	216+58.4 18.4 RT	85.41	(33) 76.80 (35) 76.70		PROP FRAME & COVER
37	LG	216+41.8 6.1 RT	81.62	(35) 76.30 (34) 77.62		



MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
38	CB	218+60.2 11.5 RT	86.38		(40) 82.28	
39	CB	218+66.9 15.4 LT	86.16		(40) 82.16	
40	LG	218+54.6 6.0 RT	86.23	(38) 82.23 (39) 82.05		

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
41	CB	220+35.7 15.5 LT	87.34		(43) 83.34	
42	CB	220+57.1 11.5 RT	87.69		(43) 83.69	
43	LG	220+48.1 15.5 RT	88.16	(41) 83.16 (42) 83.56		



MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
45	CB	223+00.8 17.6 LT	90.84		(46) 86.84	
46	LG	223+02.8 7.7 LT	106.74	(45) 86.76	(46)	

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
47	CB	224+97.3 11.5 RT	94.10		(49) 90.10	
48	CB	225+15.2 18.0 LT	94.29		(49) 90.29	
49	LG	224+91.2 6.0 RT	94.16	(47) 90.06 (48) 89.86		

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
50	CB	227+00.2 11.5 RT	97.55		(52) 93.55	
51	CB	227+21.1 18.0 LT	98.27		(52) 94.28	
52	LG	227+10.2 8.1 RT	98.07	(51) 94.07 (50) 93.47		

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
53	EX CB	229+06.0 17.0 LT	101.70		(55) 97.70	REMODEL
54	CB	229+07.9 11.5 RT	102.79		(55) 98.79	
55	LG	228+99.1 6.0 RT	102.78	(53) 97.50 (54) 98.65		

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
56	CB	231+50.2 11.5 RT	109.51		(58) 105.34	
57	CB	231+54.4 17.6 LT	110.05		(58) 106.05	
58	LG	231+58.1 10.0 RT	109.79	(56) 105.30 (57) 105.79		

CONTINUED ON
SHEET NO. 65

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SHEET NO. 67

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
59	CB	234+34.9 19.5 LT	118.58		(65) 114.58	
60	CB	234+52.1 19.5 LT	118.73		(63) 114.73	
61	CB	234+34.9 11.5 RT	118.79		(63) 114.79	
62	CB	234+52.1 11.5 RT	119.02		(63) 115.02	
63	DMH	234+39.5 15.0 RT	118.87	(61) 114.77 (62) 114.77 (60) 114.57	(65) 114.47	
64	LB	233+86.8 19.8 RT	118.96		(65) 114.06	
65	LB	234+08.6 19.9 RT	118.57		(63) 114.27 (59) 114.27	(64) 114.17

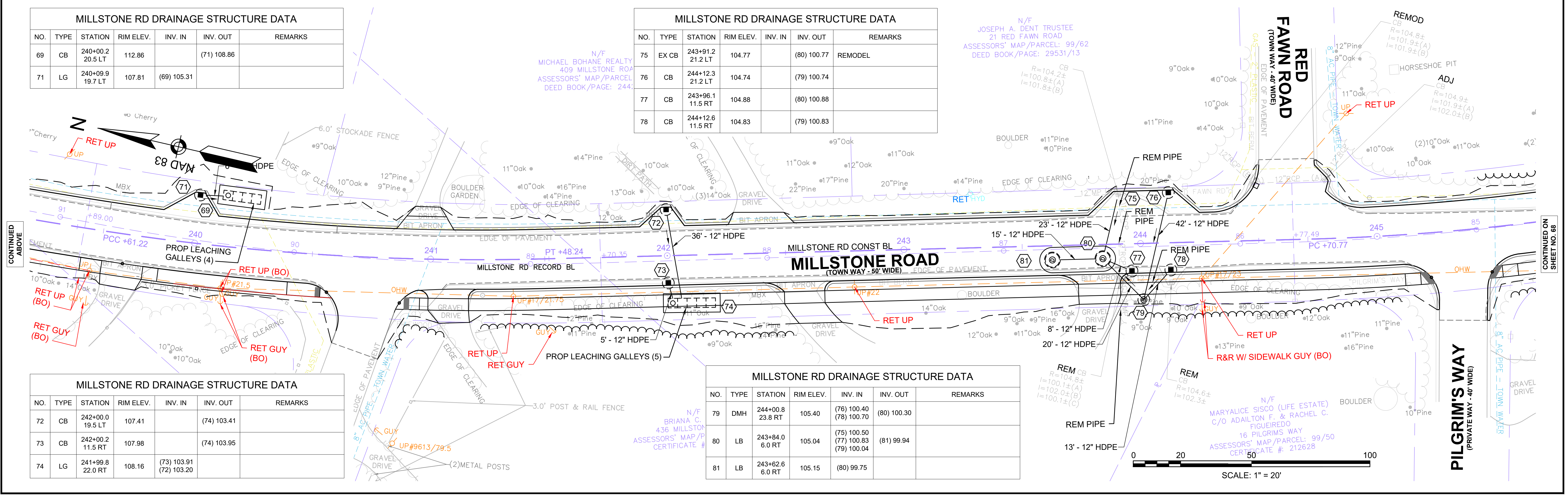
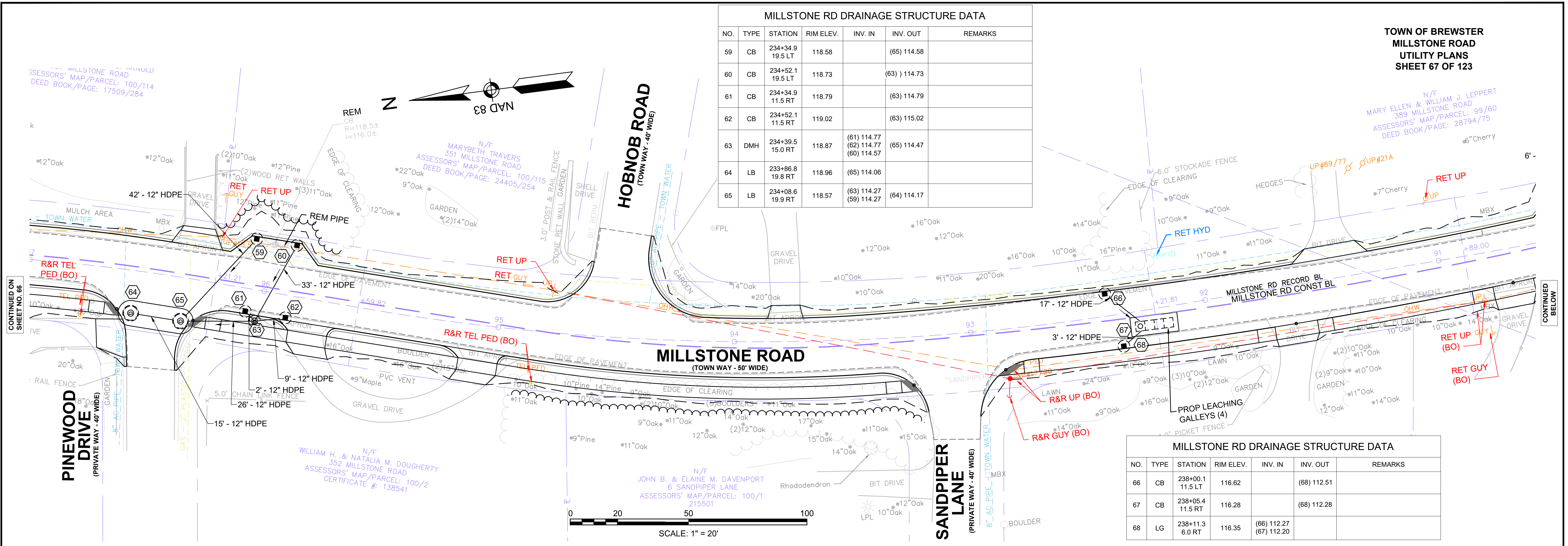
MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
66	CB	238+00.1 11.5 LT	116.62		(68) 112.51	
67	CB	238+05.4 11.5 RT	116.28		(68) 112.28	
68	LG	238+11.3 6.0 RT	116.35		(68) 112.27 (67) 112.20	

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
75	EX CB	243+91.2 21.2 LT	104.77		(80) 100.77	REMODEL
76	CB	244+12.3 21.2 LT	104.74		(79) 100.74	
77	CB	243+96.1 11.5 RT	104.88		(80) 100.88	
78	CB	244+12.6 11.5 RT	104.83		(79) 100.83	

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
69	CB	240+00.2 20.5 LT	112.86		(71) 108.86	
71	LG	240+09.9 19.7 LT	107.81		(69) 105.31	

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
72	CB	242+00.0 19.5 LT	107.41		(74) 103.41	
73	CB	242+00.2 11.5 RT	107.98		(74) 103.95	
74	LG	241+99.8 22.0 RT	108.16		(73) 103.91 (72) 103.20	

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
79	DMH	244+00.8 23.8 RT	105.40	(76) 100.40 (78) 100.70	(80) 100.30	
80	LB	243+84.0 6.0 RT	105.04		(75) 100.50 (77) 100.83 (79) 100.04	(81) 99.94
81	LB	243+62.6 6.0 RT	105.15		(80) 99.75	



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SHEET NO. 66

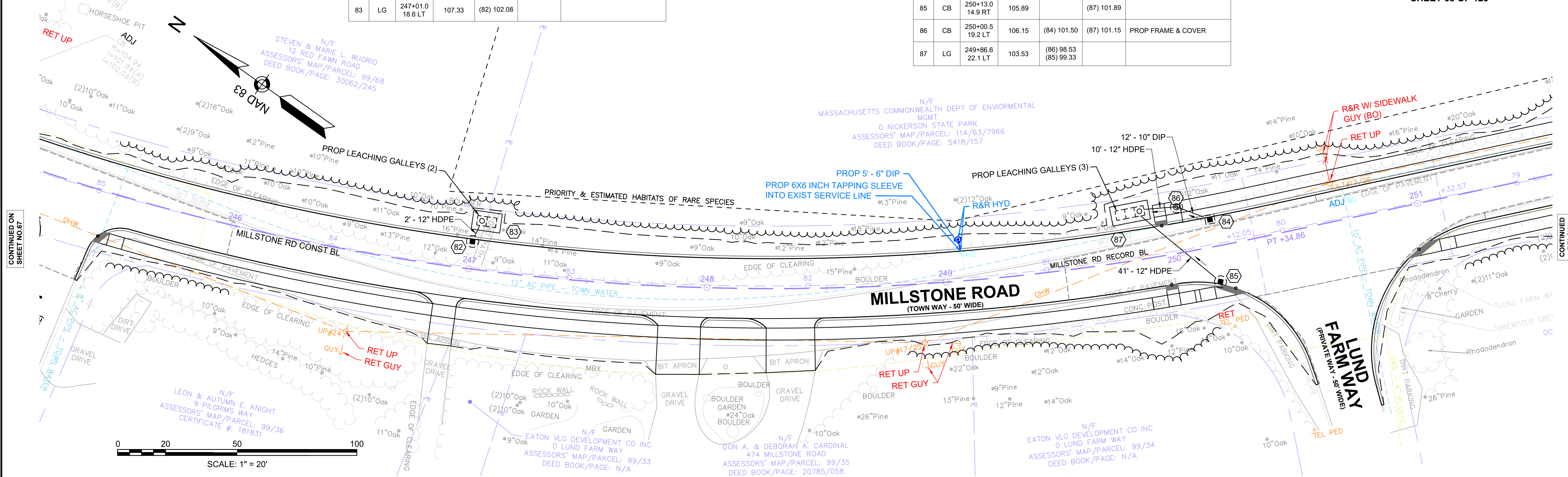
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SHEET NO. 68

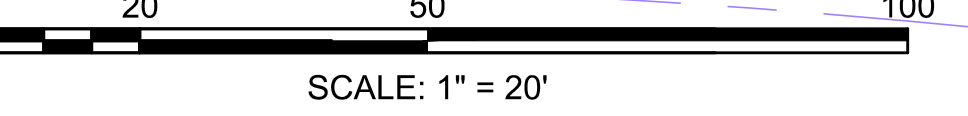
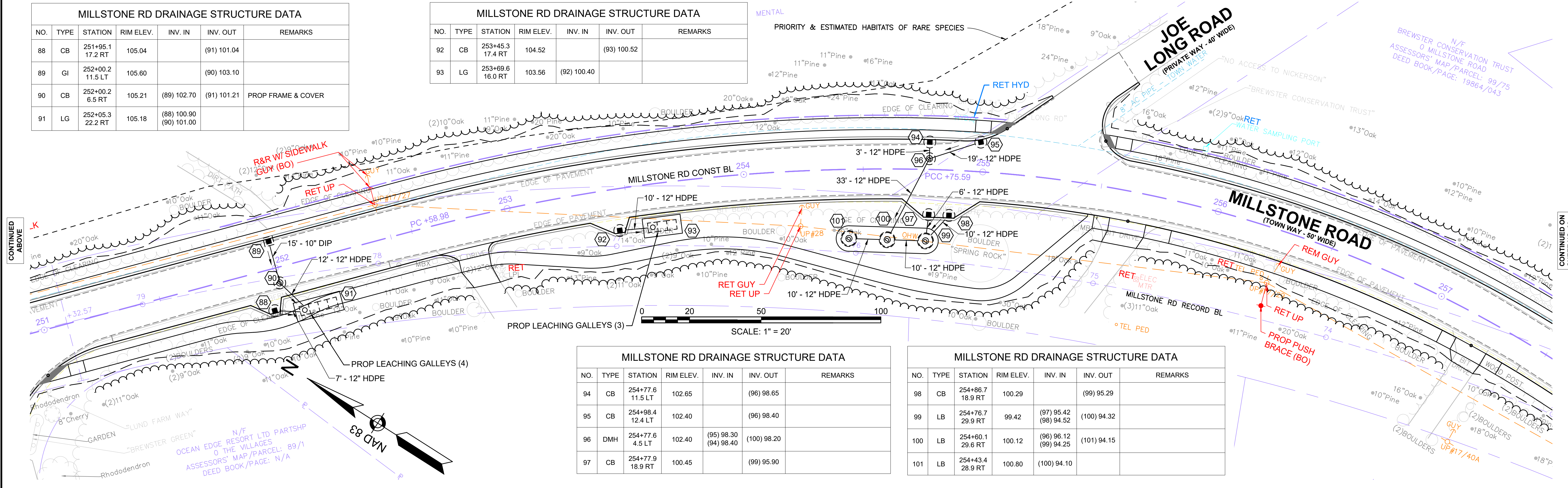
MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
82	CB	247+00.2 11.5 LT	106.12		(83) 102.12	
83	LG	247+01.0 18.6 LT	107.33	(82)	102.08	

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
84	GI	250+13.5 11.5 LT	106.05		(86) 102.05	
85	CB	250+13.0 14.9 RT	105.89		(87) 101.89	
86	CB	250+00.5 19.2 LT	106.15	(84) 101.50	(87) 101.15	PROP FRAME & COVER
87	LG	249+86.6 22.1 LT	103.53	(86) 98.53	(85) 99.33	



MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
88	CB	251+95.1 17.2 RT	105.04		(91) 101.04	
89	GI	252+00.2 11.5 LT	105.60		(90) 103.10	
90	CB	252+00.2 6.5 RT	105.21	(89) 102.70	(91) 101.21	PROP FRAME & COVER
91	LG	252+05.3 22.2 RT	105.18	(88) 100.90	(90) 101.00	

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
92	CB	253+45.3 17.4 RT	104.52		(93) 100.52	
93	LG	253+69.6 16.0 RT	103.56	(92)	100.40	



MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
94	CB	254+77.6 11.5 LT	102.65		(96) 98.65	
95	CB	254+98.4 12.4 LT	102.40		(96) 98.40	
96	DMH	254+77.6 4.5 LT	102.40	(95) 98.30 (94) 98.40	(100) 98.20	
97	CB	254+77.9 18.9 RT	100.45		(99) 95.90	

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
98	CB	254+86.7 18.9 RT	100.29		(99) 95.29	
99	LB	254+76.7 29.9 RT	99.42	(97) 95.42 (98) 94.52	(100) 94.32	
100	LB	254+60.1 29.6 RT	100.12	(96) 96.12 (99) 94.25	(101) 94.15	
101	LB	254+43.4 28.9 RT	100.80	(100)	94.10	

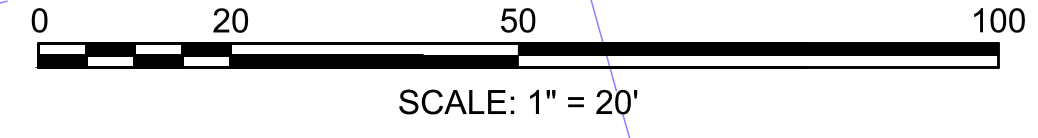
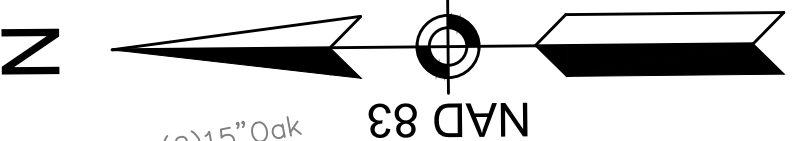
**TOWN OF BREWSTER
MILLSTONE ROAD
UTILITY PLANS
SHEET 69 OF 123**

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
102	GI	258+50.0 11.5 LT	103.83		(103) 98.84	
103	CB	258+50.0 4.7 LT	103.94	(102) 98.60	(105) 98.72	PROP FRAME & COVER
104	CB	258+50.0 16.3 RT	103.75		(105) 98.26	
105	LG	258+30.4 22.8 RT	102.43	(104) 98.20 (103) 98.43		

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
106	GI	260+80.2 11.5 LT	99.56		(108) 97.06	
107	GI	260+94.2 11.5 LT	99.51		(108) 97.00	
108	CB	260+87.5 5.6 LT	99.67	(106) 97.00 (107) 96.95	(112) 96.85	PROP FRAME & COVER
109	CB	260+79.9 15.7 RT	98.82		(112) 94.82	
110	CB	260+93.9 15.7 RT	98.75		(112) 94.74	

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
111	LB	260+61.2 5.0 RT	99.59	(112) 94.45	(113) 94.35	
112	LB	260+77.2 5.1 RT	99.50	(108) 96.70 (109) 94.78 (110) 94.65	(111) 94.55	
113	LB	260+45.2 5.0 RT	99.85	(111) 94.25		

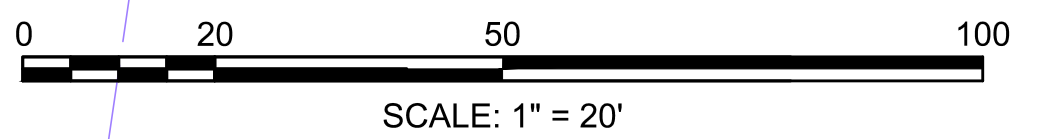
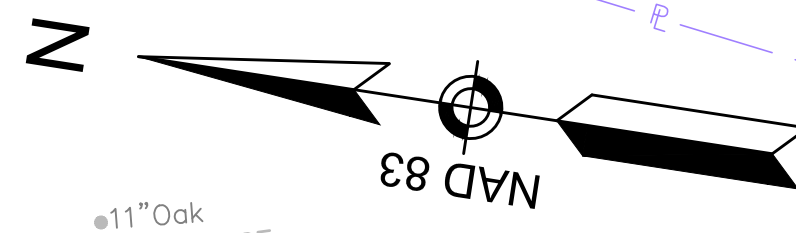
MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
115	CB	261+99.5 15.2 RT	101.65		(117) 97.65	
116	CB	262+08.6 11.5 LT	102.36		(117) 98.36	
117	LG	262+00.1 8.0 LT	102.05	(116) 98.05 (115) 97.50		



CONTINUED ON
SHEET NO. 68

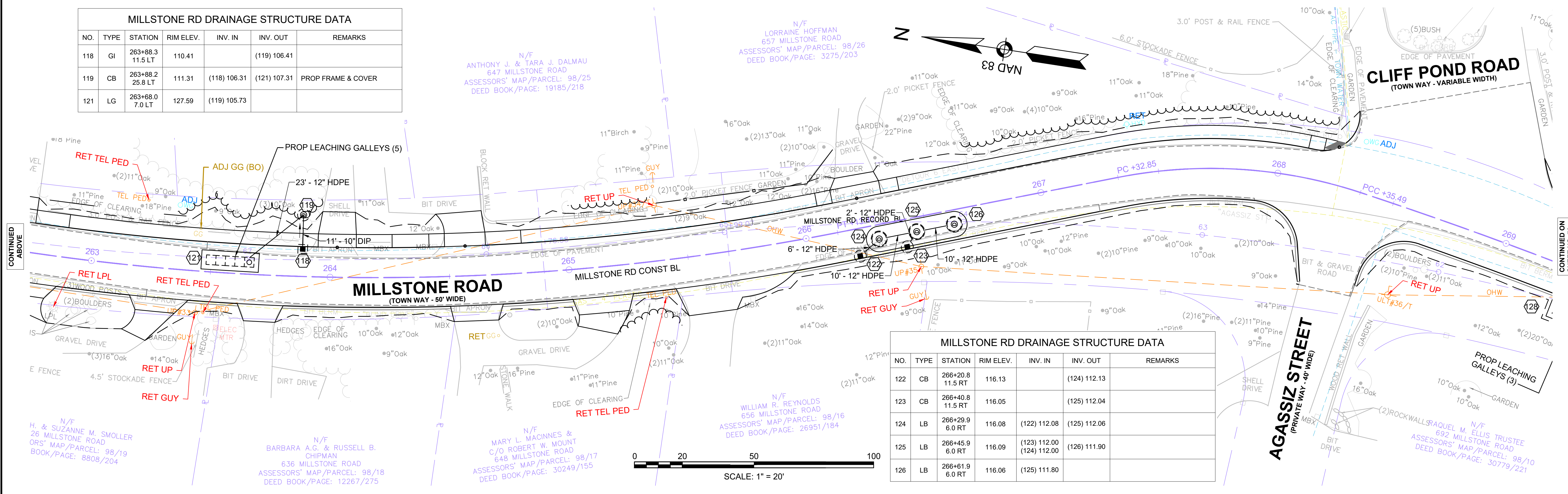
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BELOW

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
118	GI	263+88.3 11.5 LT	110.41		(119) 106.41	
119	CB	263+88.2 25.8 LT	111.31	(118) 106.31	(121) 107.31	PROP FRAME & COVER
121	LG	263+68.0 7.0 LT	127.59	(119) 105.73		



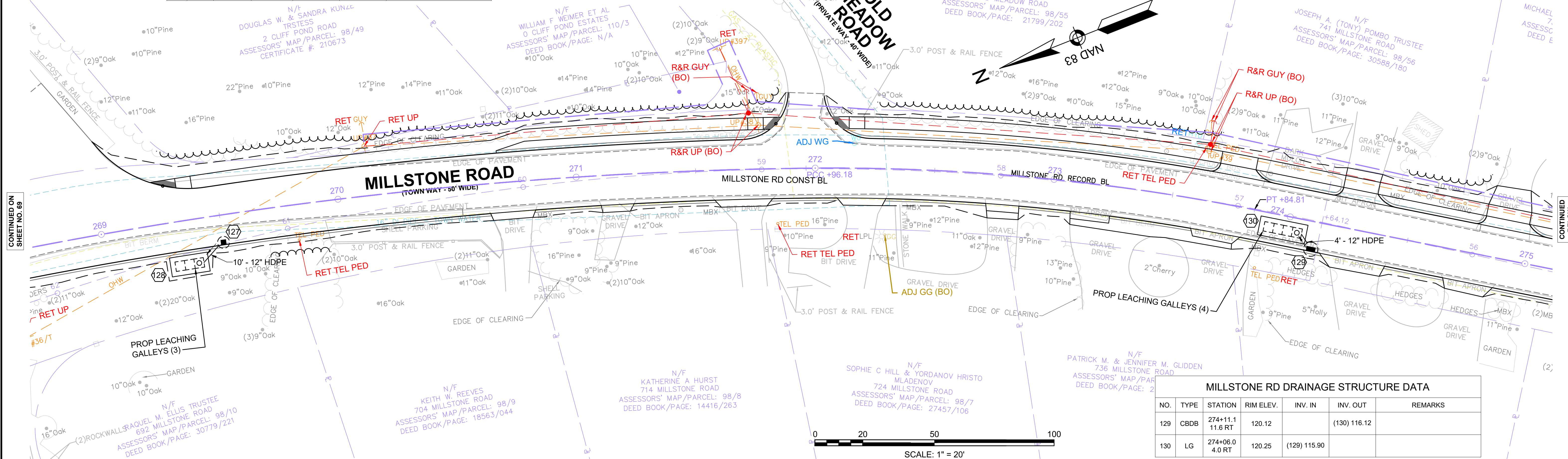
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CONTINUED ON
SHEET NO. 70

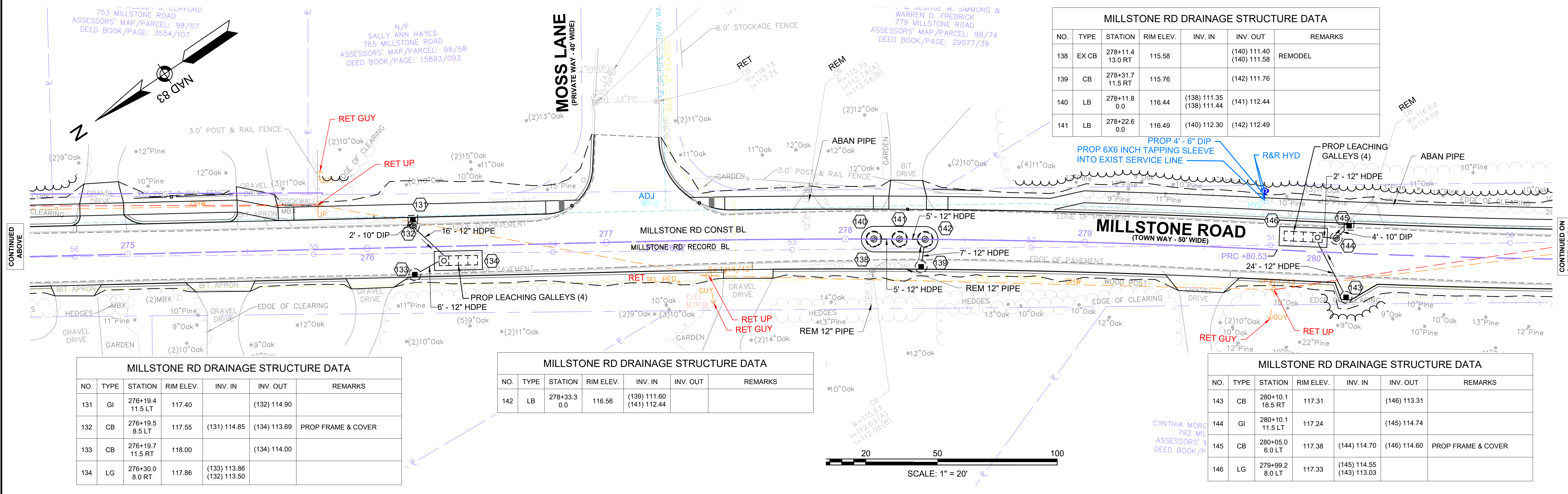


MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
122	CB	266+20.8 11.5 RT	116.13		(124) 112.13	
123	CB	266+40.8 11.5 RT	116.05		(125) 112.04	
124	LB	266+29.9 6.0 RT	116.08	(122) 112.08	(125) 112.06	
125	LB	266+45.9 6.0 RT	116.09	(123) 112.00 (124) 112.00	(126) 111.90	
126	LB	266+61.9 6.0 RT	116.06	(125) 111.80		

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
127	CB	269+50.0 11.5 RT	118.70		(128) 113.80	
128	LG	269+28.5 20.5 RT	117.64	(127) 113.64		



MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
129	CBDB	274+11.1 11.6 RT	120.12		(130) 116.12	
130	LG	274+06.0 4.0 RT	120.25	(129) 115.90		



MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
131	GI	276+19.4 11.5 LT	117.40		(132) 114.90	
132	CB	276+19.5 8.5 LT	117.55	(131) 114.85	(134) 113.69	PROP FRAME & COVER
133	CB	276+19.7 11.5 RT	118.00		(134) 114.00	
134	LG	276+30.0 8.0 RT	117.86	(133) 113.86 (132) 113.50		

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
142	LB	278+33.3 0.0	116.56	(139) 111.60 (141) 112.44		

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
138	EX CB	278+11.4 13.0 RT	115.58		(140) 111.40 (140) 111.58	REMODEL
139	CB	278+31.7 11.5 RT	115.76		(142) 111.76	
140	LB	278+11.8 0.0	116.44	(138) 111.35 (138) 111.44	(141) 112.44	
141	LB	278+22.6 0.0	116.49	(140) 112.30	(142) 112.49	

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
143	CB	280+10.1 18.5 RT	117.31		(146) 113.31	
144	GI	280+10.1 11.5 LT	117.24		(145) 114.74	
145	CB	280+05.0 6.0 LT	117.38	(144) 114.70	(146) 114.60	PROP FRAME & COVER
146	LG	279+99.2 8.0 LT	117.33	(145) 114.55 (143) 113.03		

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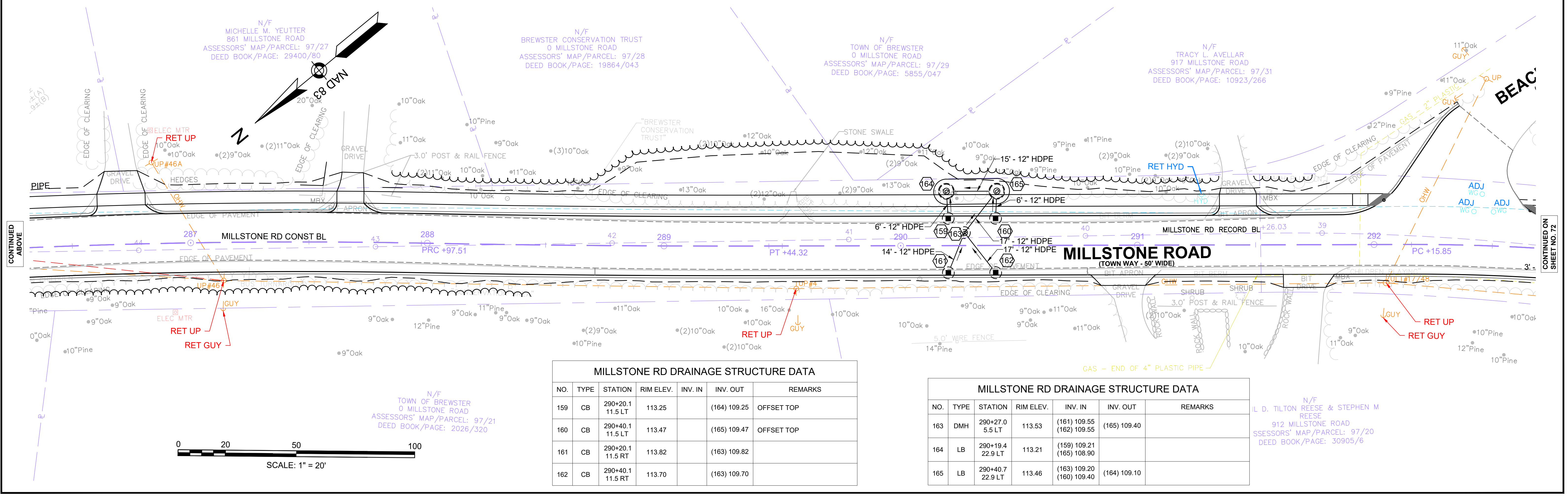
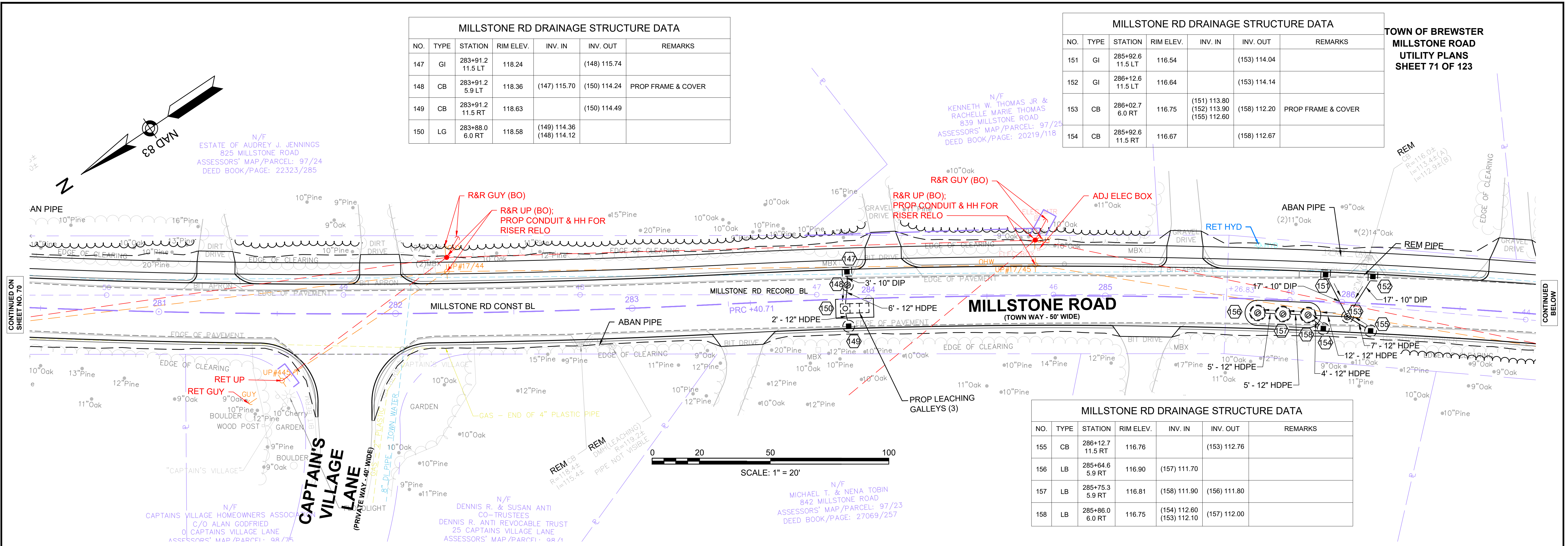
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NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
147	GI	283+91.2 11.5 LT	118.24		(148) 115.74	
148	CB	283+91.2 5.9 LT	118.36	(147) 115.70	(150) 114.24	PROP FRAME & COVER
149	CB	283+91.2 11.5 RT	118.63		(150) 114.49	
150	LG	283+88.0 6.0 RT	118.58	(149) 114.36 (148) 114.12		

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
151	GI	285+92.6 11.5 LT	116.54		(153) 114.04	
152	GI	286+12.6 11.5 LT	116.64		(153) 114.14	
153	CB	286+02.7 6.0 RT	116.75	(151) 113.80 (152) 113.90 (155) 112.60	(158) 112.20	PROP FRAME & COVER
154	CB	285+92.6 11.5 RT	116.67		(158) 112.67	

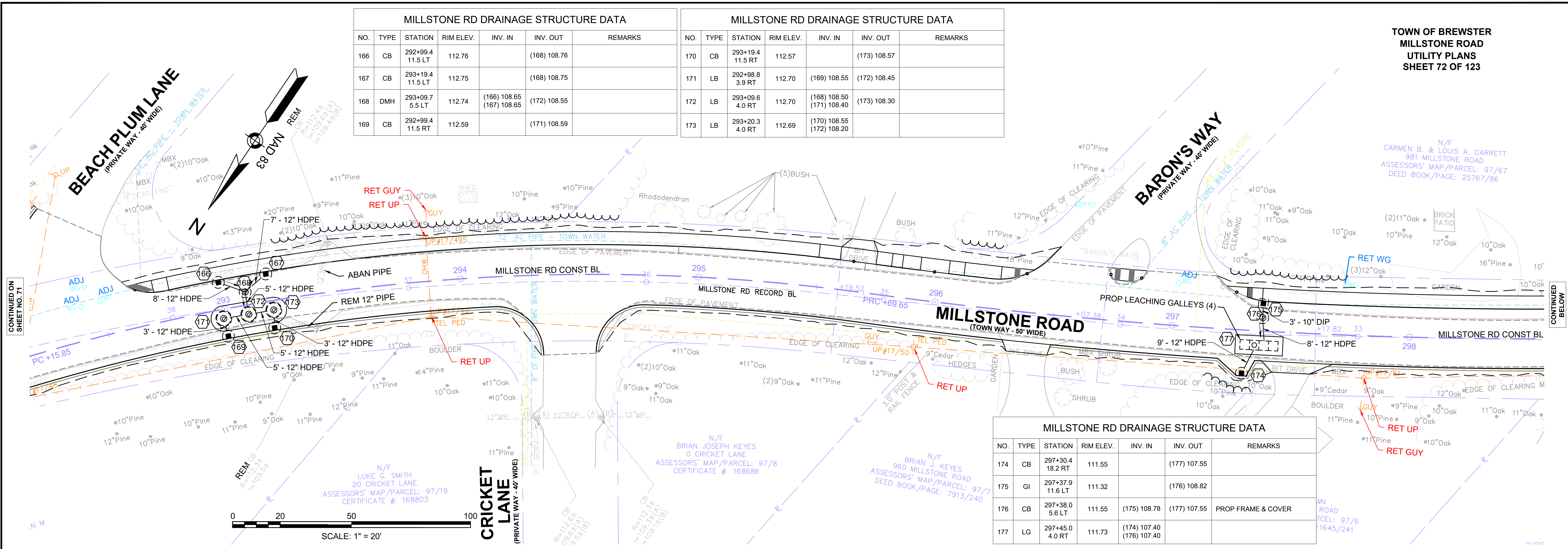
MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
155	CB	286+12.7 11.5 RT	116.76		(153) 112.76	
156	LB	285+64.6 5.9 RT	116.90	(157) 111.70		
157	LB	285+75.3 5.9 RT	116.81	(158) 111.90	(156) 111.80	
158	LB	285+86.0 6.0 RT	116.75	(154) 112.60 (153) 112.10	(157) 112.00	

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
159	CB	290+20.1 11.5 LT	113.25		(164) 109.25	OFFSET TOP
160	CB	290+40.1 11.5 LT	113.47		(165) 109.47	OFFSET TOP
161	CB	290+20.1 11.5 RT	113.82		(163) 109.82	
162	CB	290+40.1 11.5 RT	113.70		(163) 109.70	

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
163	DMH	290+27.0 5.5 LT	113.53	(161) 109.55 (162) 109.55	(165) 109.40	
164	LB	290+19.4 22.9 LT	113.21	(159) 109.21 (165) 108.90		
165	LB	290+40.7 22.9 LT	113.46	(163) 109.20 (160) 109.40	(164) 109.10	

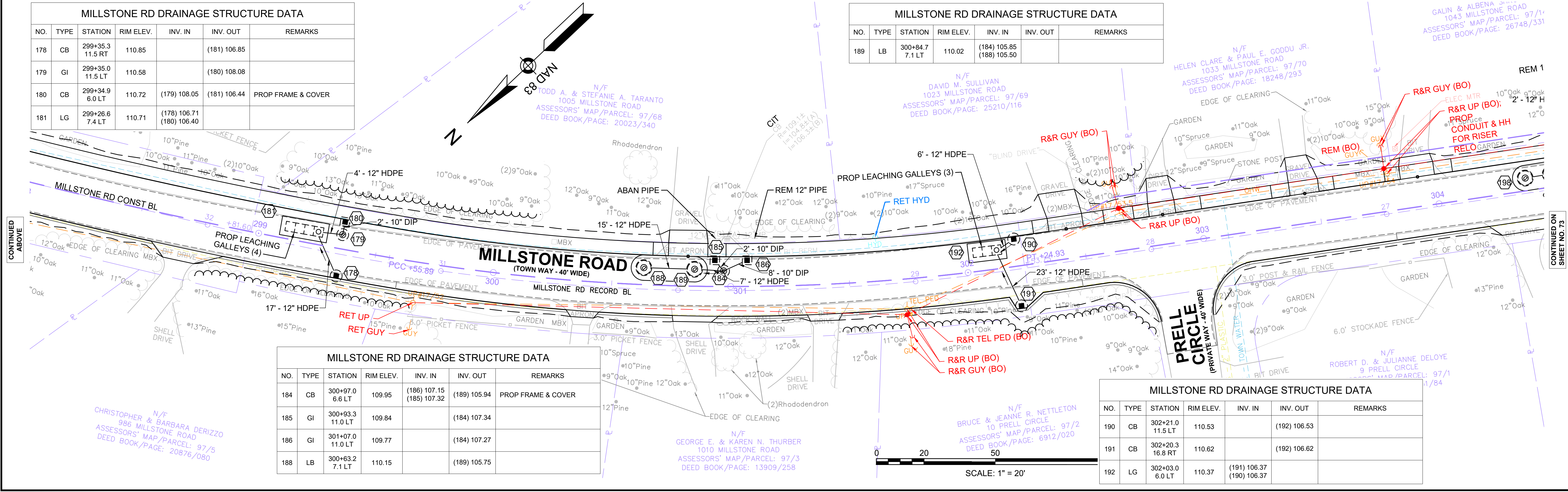


MILLSTONE RD DRAINAGE STRUCTURE DATA						MILLSTONE RD DRAINAGE STRUCTURE DATA							
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS	NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
166	CB	292+99.4 11.5 LT	112.76		(168) 108.76		170	CB	293+19.4 11.5 RT	112.57		(173) 108.57	
167	CB	293+19.4 11.5 LT	112.75		(168) 108.75		171	LB	292+98.8 3.9 RT	112.70	(169) 108.55	(172) 108.45	
168	DMH	293+09.7 5.5 LT	112.74	(166) 108.65 (167) 108.65	(172) 108.55		172	LB	293+09.6 4.0 RT	112.70	(168) 108.50 (171) 108.40	(173) 108.30	
169	CB	292+99.4 11.5 RT	112.59		(171) 108.59		173	LB	293+20.3 4.0 RT	112.69	(170) 108.55 (172) 108.20		



MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
174	CB	297+30.4 18.2 RT	111.55		(177) 107.55	
175	GI	297+37.9 11.6 LT	111.32		(176) 108.82	
176	CB	297+38.0 5.6 LT	111.55	(175) 108.78	(177) 107.55	PROP FRAME & COVER
177	LG	297+45.0 4.0 RT	111.73	(174) 107.40 (176) 107.40		

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
178	CB	299+35.3 11.5 RT	110.85		(181) 106.85	
179	GI	299+35.0 11.5 LT	110.58		(180) 108.08	
180	CB	299+34.9 6.0 LT	110.72	(179) 108.05	(181) 106.44	PROP FRAME & COVER
181	LG	299+26.6 7.4 LT	110.71	(178) 106.71 (180) 106.40		



MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
189	LB	300+84.7 7.1 LT	110.02	(184) 105.85 (188) 105.50		

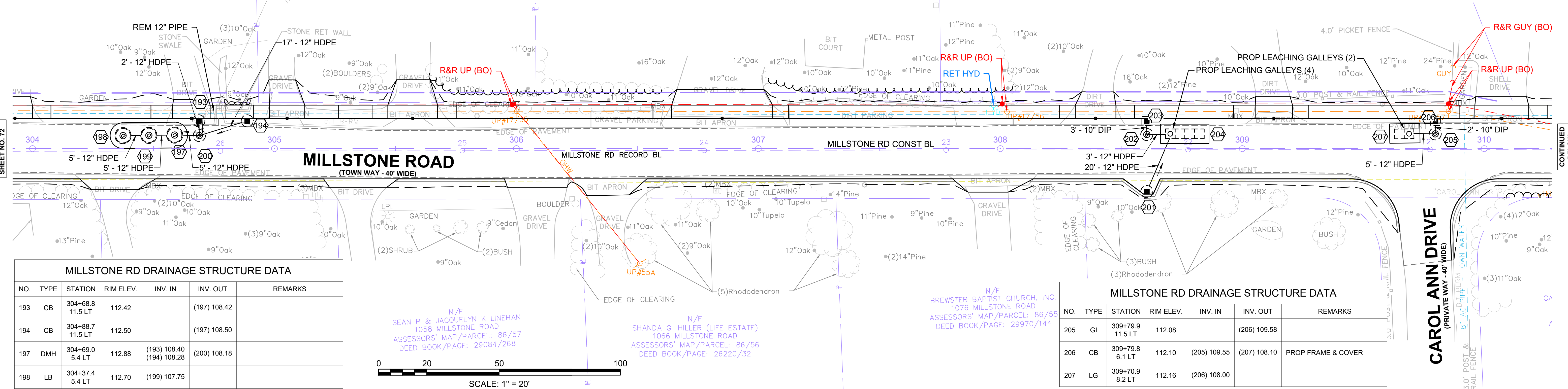
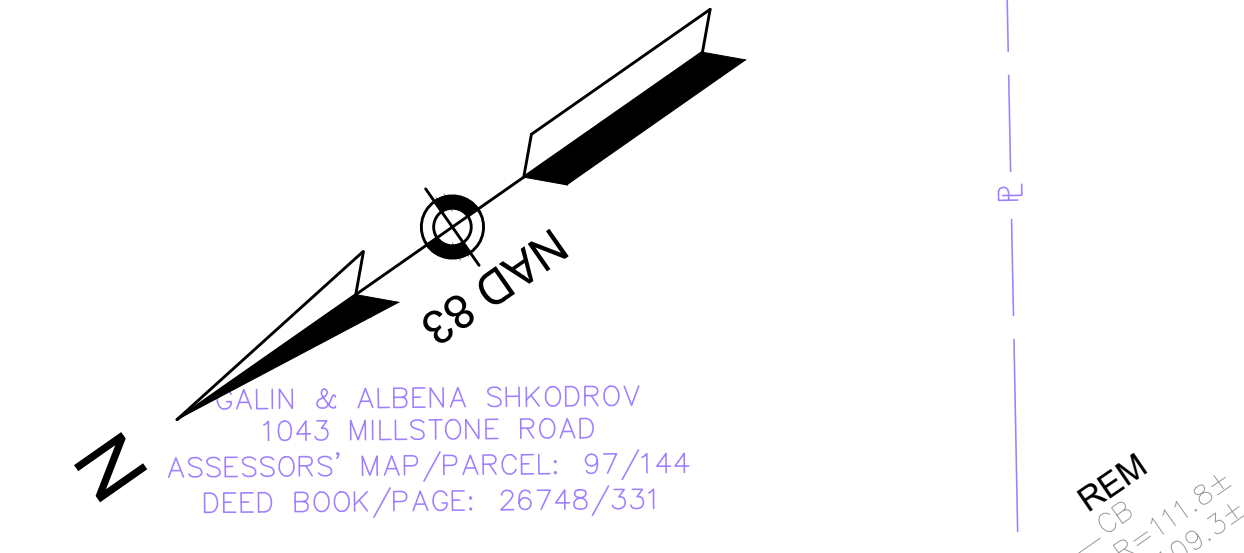
MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
184	CB	300+97.0 6.6 LT	109.95	(186) 107.15 (185) 107.32	(189) 105.94	PROP FRAME & COVER
185	GI	300+93.3 11.0 LT	109.84		(184) 107.34	
186	GI	301+07.0 11.0 LT	109.77		(184) 107.27	
188	LB	300+63.2 7.1 LT	110.15		(189) 105.75	

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
190	CB	302+21.0 11.5 LT	110.53		(192) 106.53	
191	CB	302+20.3 16.8 RT	110.62		(192) 106.62	
192	LG	302+03.0 6.0 LT	110.37	(191) 106.37 (190) 106.37		

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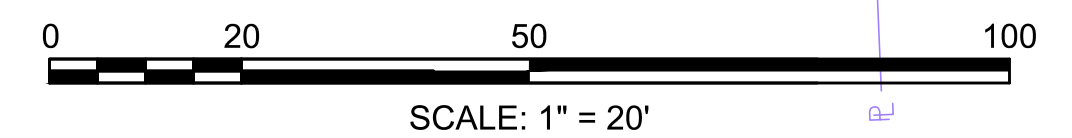
MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
201	CB	308+60.6 17.8 RT	113.18		(204) 108.08	
202	GI	308+60.5 11.5 LT	112.92		(203) 110.42	
203	CB	308+60.6 5.9 LT	113.08	(202) 110.38	(204) 109.08	PROP FRAME & COVER
204	LG	308+68.3 4.1 LT	113.01	(201) 107.90 (203) 109.01		

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
199	LB	304+48.1 5.5 LT	112.65	(200) 107.93	(198) 107.83	
200	LB	304+58.7 5.6 LT	112.84	(197) 108.10	(199) 108.00	

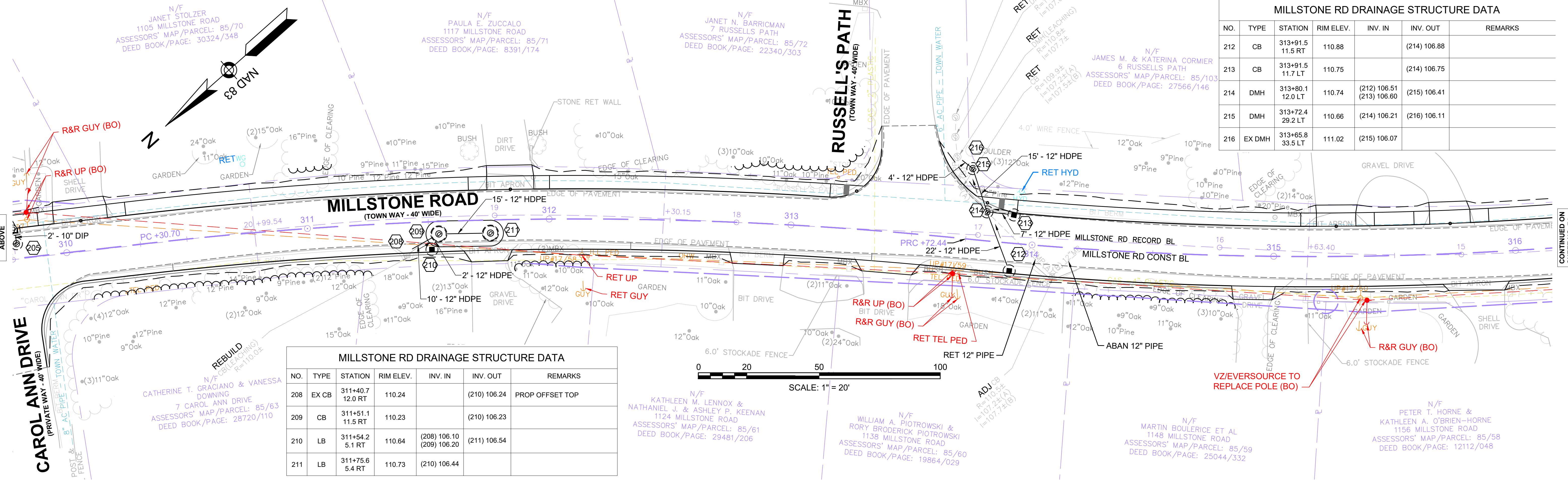


MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
193	CB	304+68.8 11.5 LT	112.42		(197) 108.42	
194	CB	304+88.7 11.5 LT	112.50		(197) 108.50	
197	DMH	304+69.0 5.4 LT	112.88	(193) 108.40 (194) 108.28	(200) 108.18	
198	LB	304+37.4 5.4 LT	112.70	(199) 107.75		

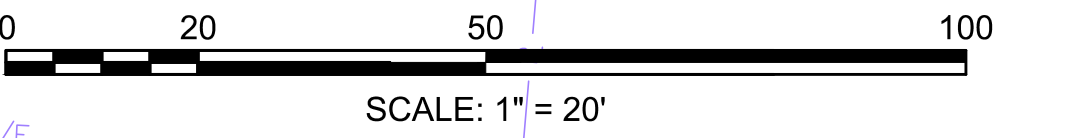
MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
205	GI	309+79.9 11.5 LT	112.08		(206) 109.58	
206	CB	309+79.8 6.1 LT	112.10	(205) 109.55	(207) 108.10	PROP FRAME & COVER
207	LG	309+70.9 8.2 LT	112.16	(206) 108.00		



MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
212	CB	313+91.5 11.5 RT	110.88		(214) 106.88	
213	CB	313+91.5 11.7 LT	110.75		(214) 106.75	
214	DMH	313+80.1 12.0 LT	110.74	(212) 106.51 (213) 106.60	(215) 106.41	
215	DMH	313+72.4 29.2 LT	110.66	(214) 106.21	(216) 106.11	
216	EX DMH	313+65.8 33.5 LT	111.02	(215) 106.07		



MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
208	EX CB	311+40.7 12.0 RT	110.24		(210) 106.24	PROP OFFSET TOP
209	CB	311+51.1 11.5 RT	110.23		(210) 106.23	
210	LB	311+54.2 5.1 RT	110.64	(208) 106.10 (209) 106.20	(211) 106.54	
211	LB	311+75.6 5.4 RT	110.73	(210) 106.44		



CONTINUED ON SHEET NO. 72

CONTINUED ON SHEET NO. 74

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
221	CB	318+94.3 11.5 RT	109.45		(222) 105.45	
222	DMH	318+94.1 5.3 RT	109.50	(223) 105.30 (221) 105.42	(230) 105.50	
223	CB	319+14.3 11.5 RT	109.53		(222) 105.53	
224	GI	318+94.0 11.5 LT	109.43		(225) 105.43	
225	CB	318+94.2 6.3 LT	109.48	(226) 105.25 (224) 105.40	(230) 105.15	PROP FRAME & COVER

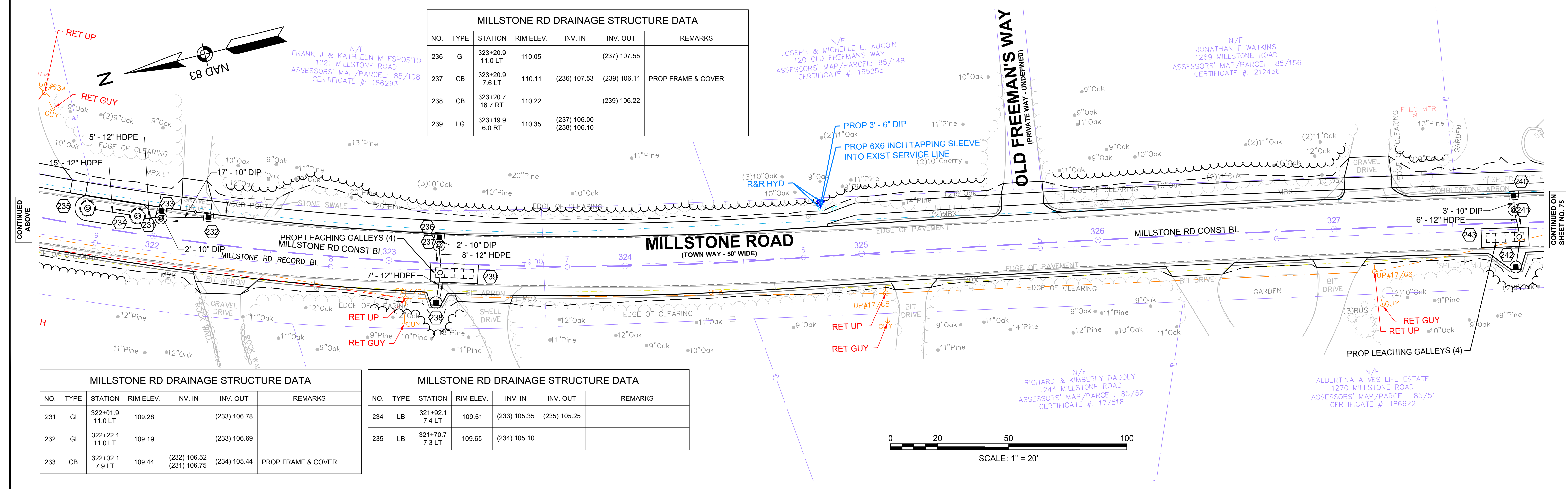
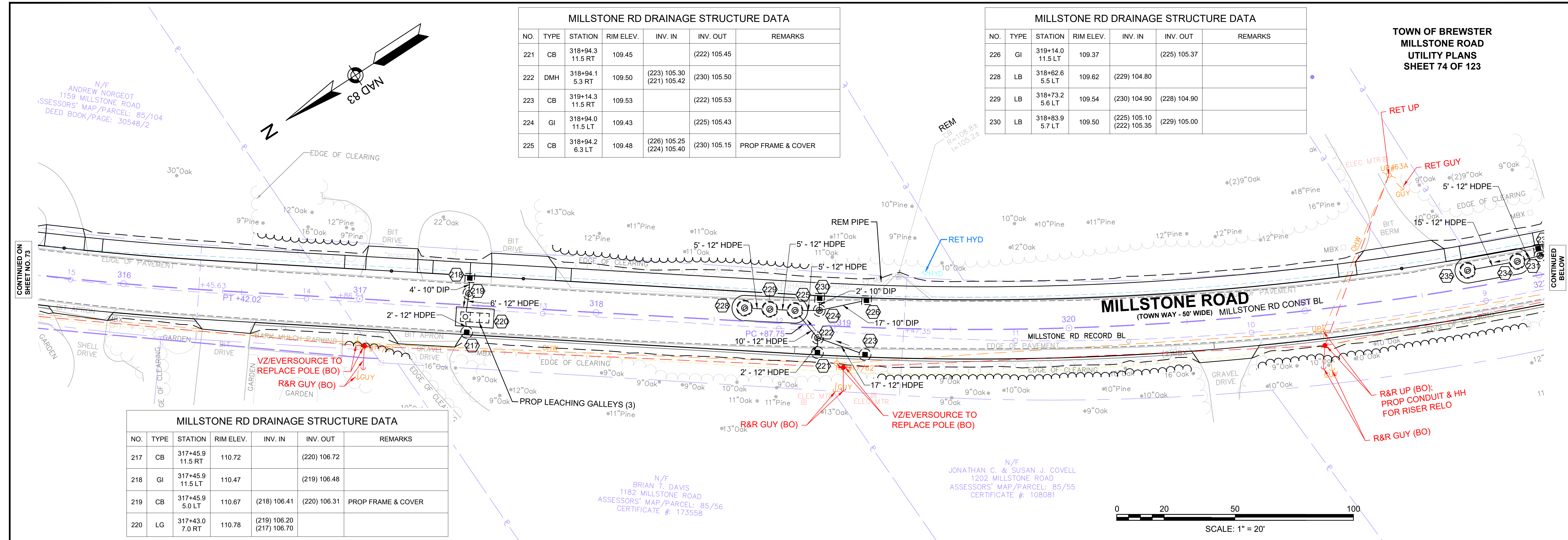
MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
226	GI	319+14.0 11.5 LT	109.37		(225) 105.37	
228	LB	318+62.6 5.5 LT	109.62	(229) 104.80		
229	LB	318+73.2 5.6 LT	109.54	(230) 104.90 (228) 104.90		
230	LB	318+83.9 5.7 LT	109.50	(225) 105.10 (222) 105.35	(229) 105.00	

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
217	CB	317+45.9 11.5 RT	110.72		(220) 106.72	
218	GI	317+45.9 11.5 LT	110.47		(219) 106.48	
219	CB	317+45.9 5.0 LT	110.67	(218) 106.41 (220) 106.31		PROP FRAME & COVER
220	LG	317+43.0 7.0 RT	110.78	(219) 106.20 (217) 106.70		

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
236	GI	323+20.9 11.0 LT	110.05		(237) 107.55	
237	CB	323+20.9 7.6 LT	110.11	(236) 107.53 (239) 106.11		PROP FRAME & COVER
238	CB	323+20.7 16.7 RT	110.22		(239) 106.22	
239	LG	323+19.9 6.0 RT	110.35	(237) 106.00 (238) 106.10		

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
231	GI	322+01.9 11.0 LT	109.28		(233) 106.78	
232	GI	322+22.1 11.0 LT	109.19		(233) 106.69	
233	CB	322+02.1 7.9 LT	109.44	(232) 106.52 (231) 106.75	(234) 105.44	PROP FRAME & COVER

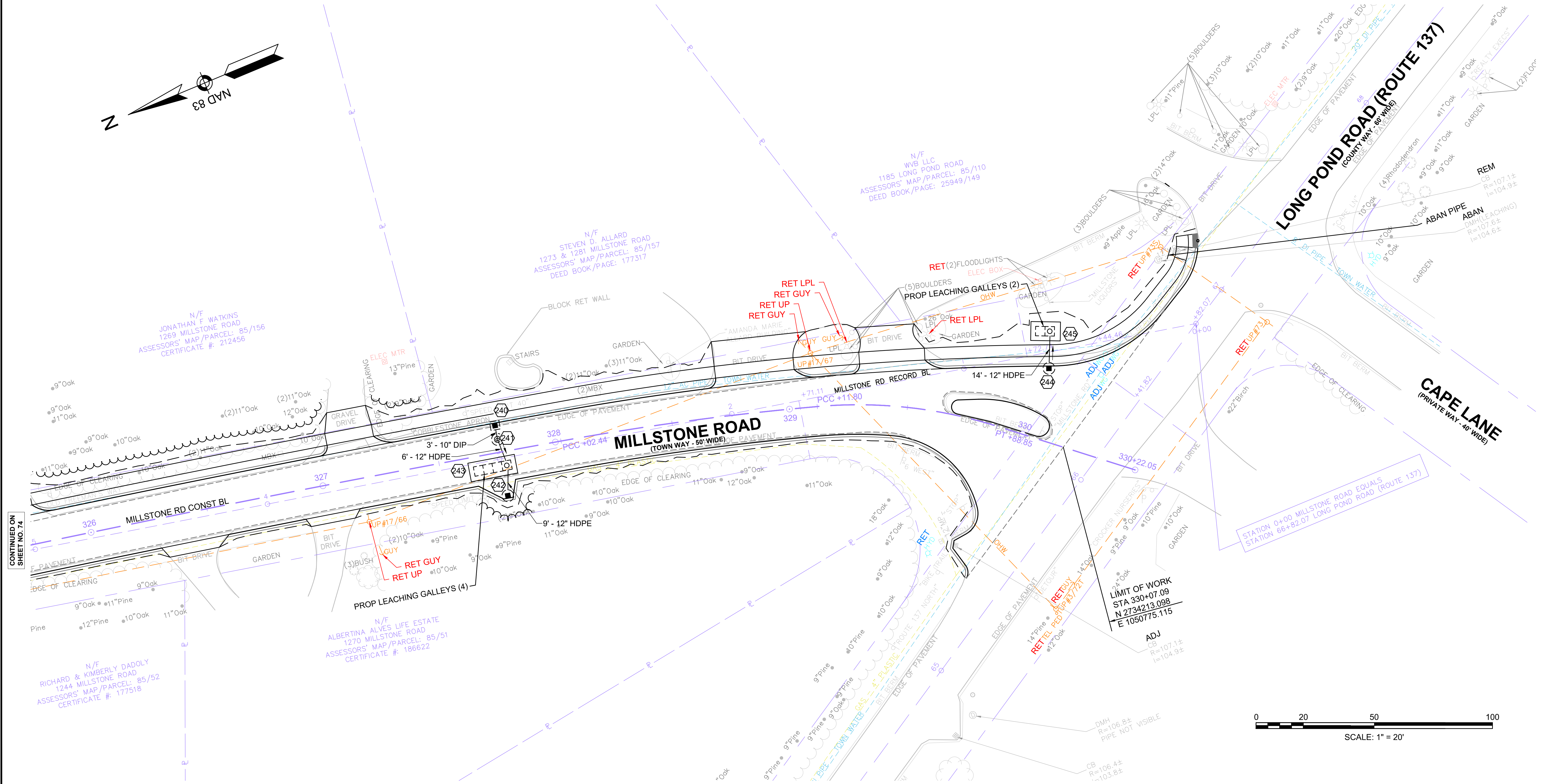
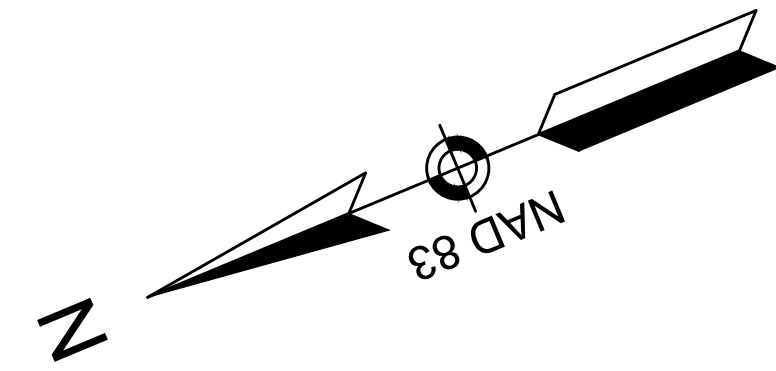
MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
234	LB	321+92.1 7.4 LT	109.51	(233) 105.35 (235) 105.25		
235	LB	321+70.7 7.3 LT	109.65	(234) 105.10		



MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
240	GI	327+76.1 11.5 LT	110.90		(241) 108.40	
241	CB	327+76.1 5.5 LT	110.88	(240) 108.38	(243) 106.88	PROP FRAME & COVER
242	CB	327+76.1 18.7 RT	110.41		(243) 106.41	
243	LG	327+80.0 4.0 RT	111.00	(241) 106.80 (242) 106.30		

MILLSTONE RD DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
244	CB	330+02.3 30.0 LT	109.06		(245) 102.10	
245	LG	329+99.2 47.5 LT	105.93	(244) 101.93		

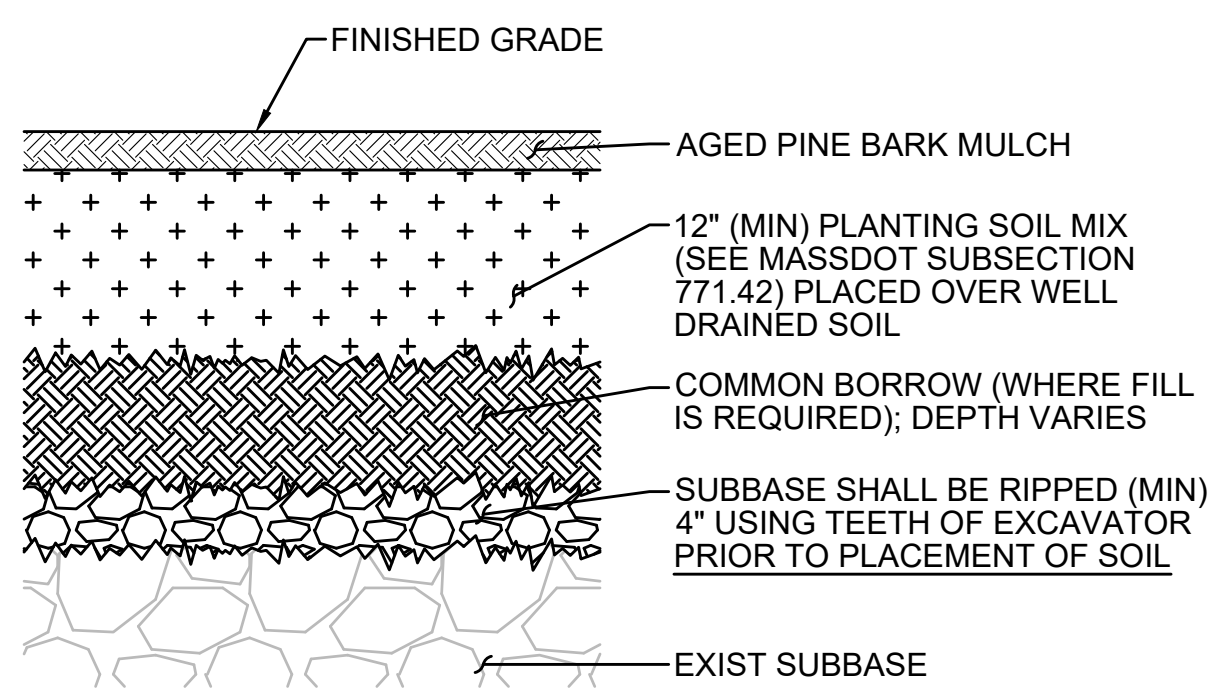
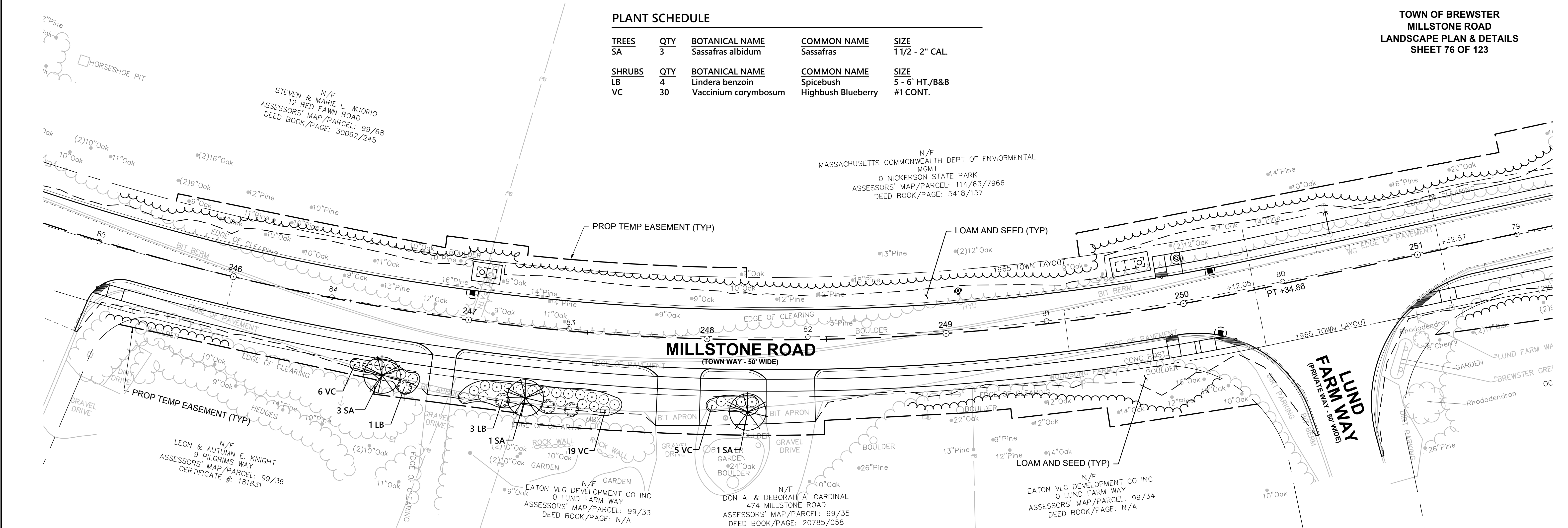
TOWN OF BREWSTER
MILLSTONE ROAD
UTILITY PLANS
SHEET 75 OF 123



CONTINUED ON
SHEET NO. 74

PLANT SCHEDULE

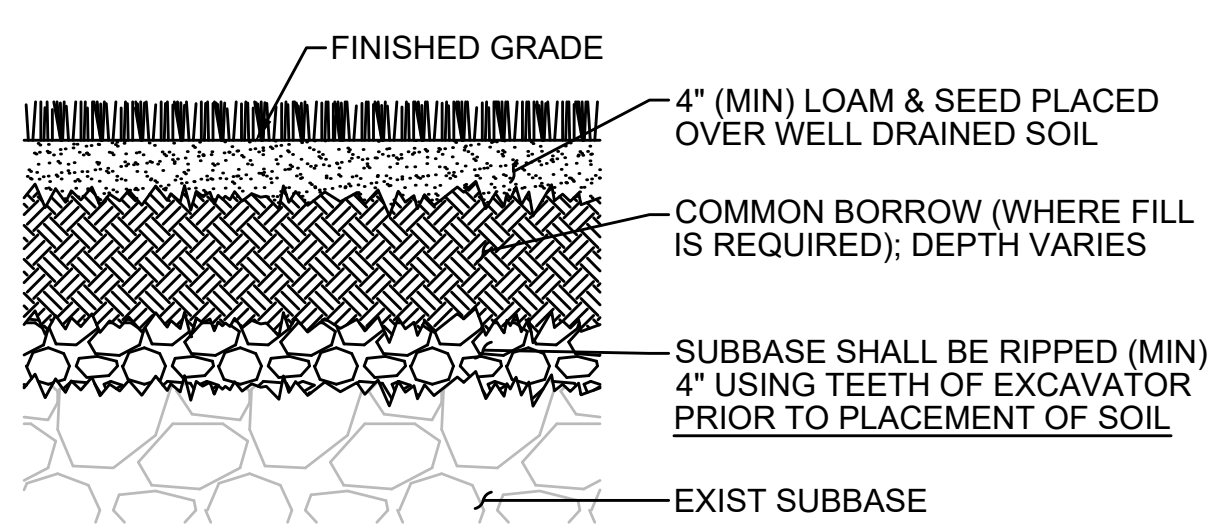
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
SA	3	Sassafras albidum	Sassafras	1 1/2 - 2" CAL.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
LB	4	Lindera benzoin	Spicebush	5 - 6' HT./B&B
VC	30	Vaccinium corymbosum	Highbush Blueberry	#1 CONT.



NOTE
ALL EXISTING ASPHALT SHALL BE STRIPPED AND REMOVED PROPT TO TILLING. ASPHALT SHALL NOT BE MIXED WITH THE SUBBASE.

PLANTING BED IN FORMER PAVED AREAS

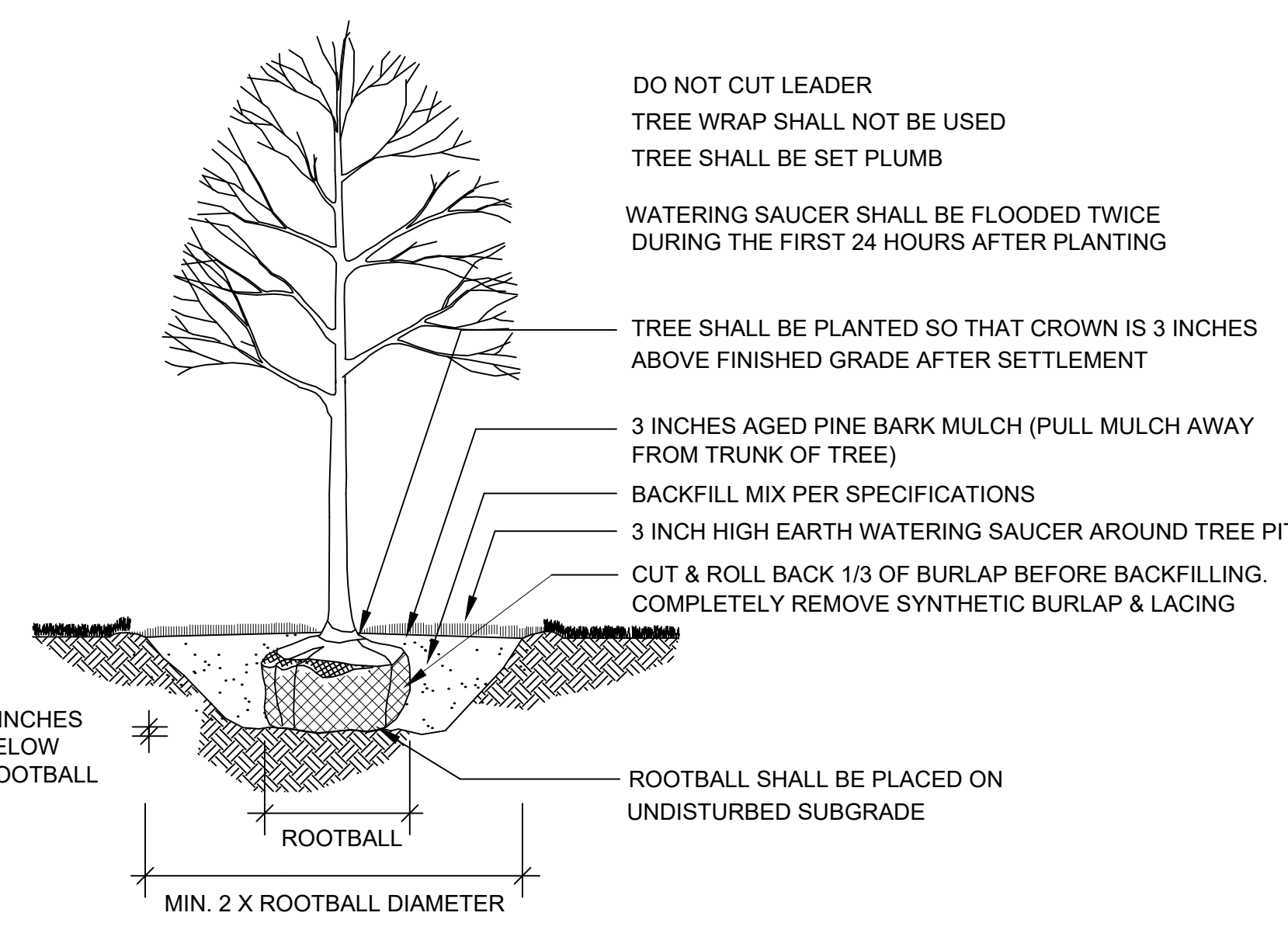
SCALE: NTS



NOTE
ALL EXISTING ASPHALT SHALL BE STRIPPED AND REMOVED PRIOR TO TILLING. ASPHALT SHALL NOT BE MIXED WITH THE SUBBASE.

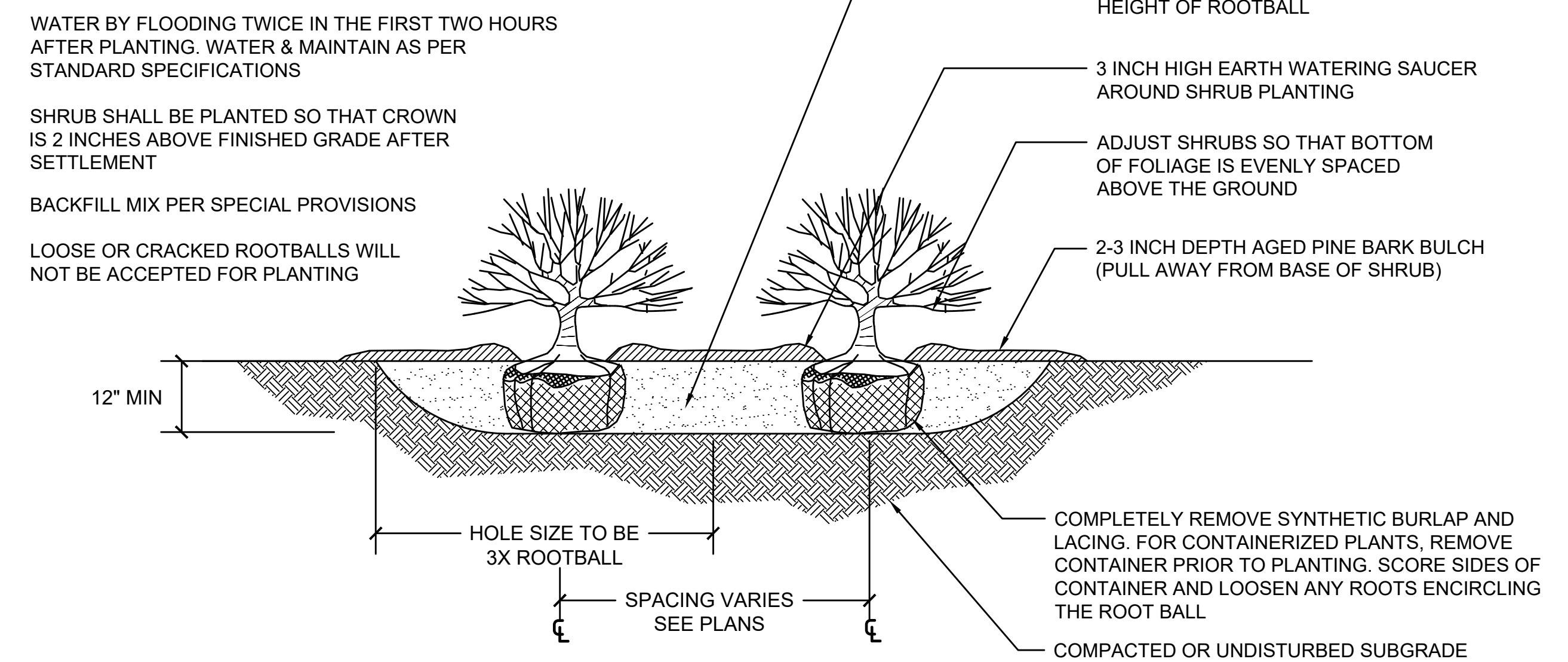
LAWN IN FORMER PAVED AREAS

SCALE: NTS



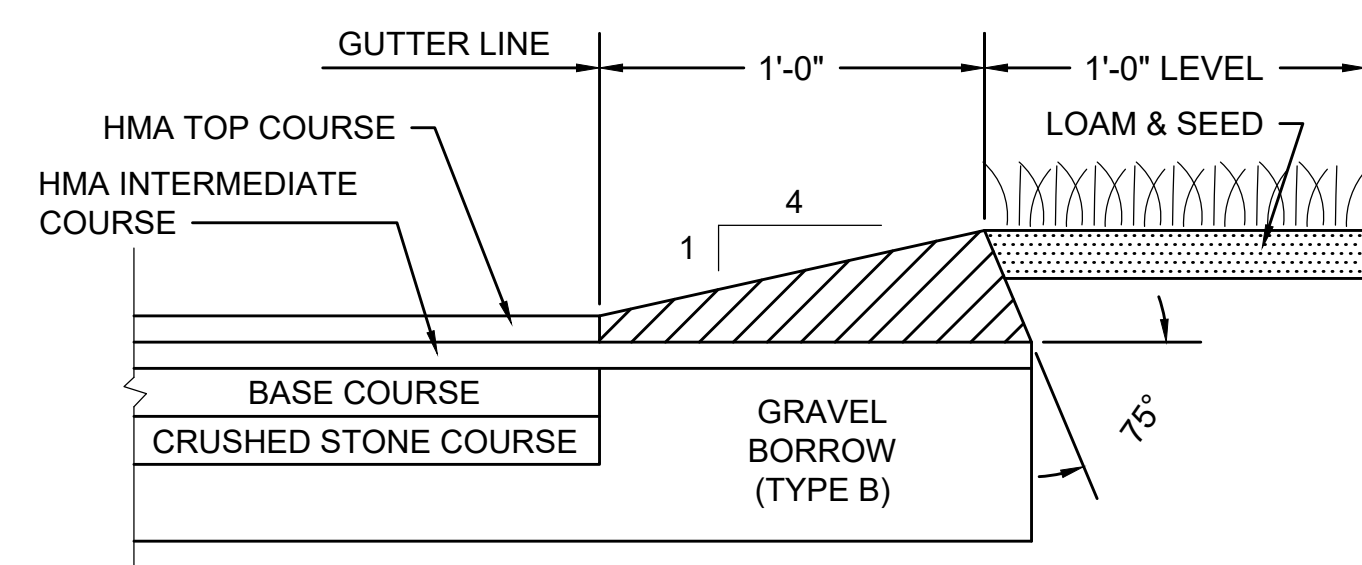
DECIDUOUS TREE PLANTING

NOT TO SCALE



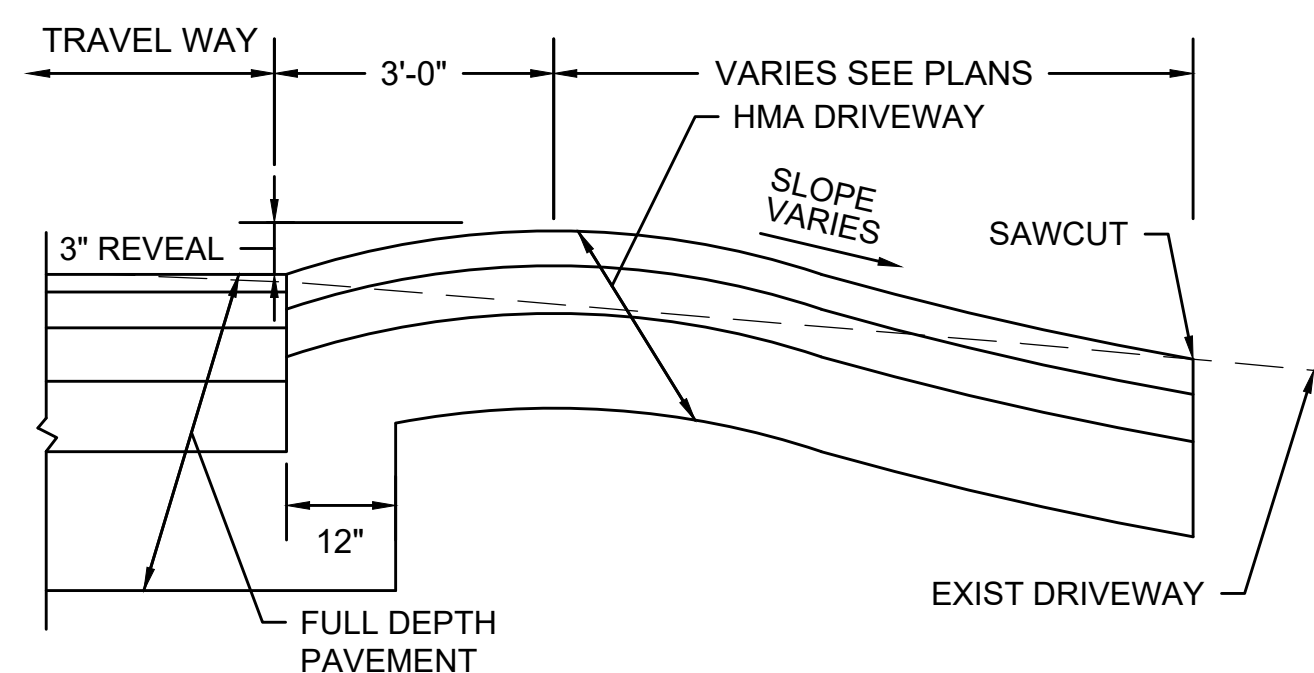
SHRUB PLANTING

SCALE: N.T.S.



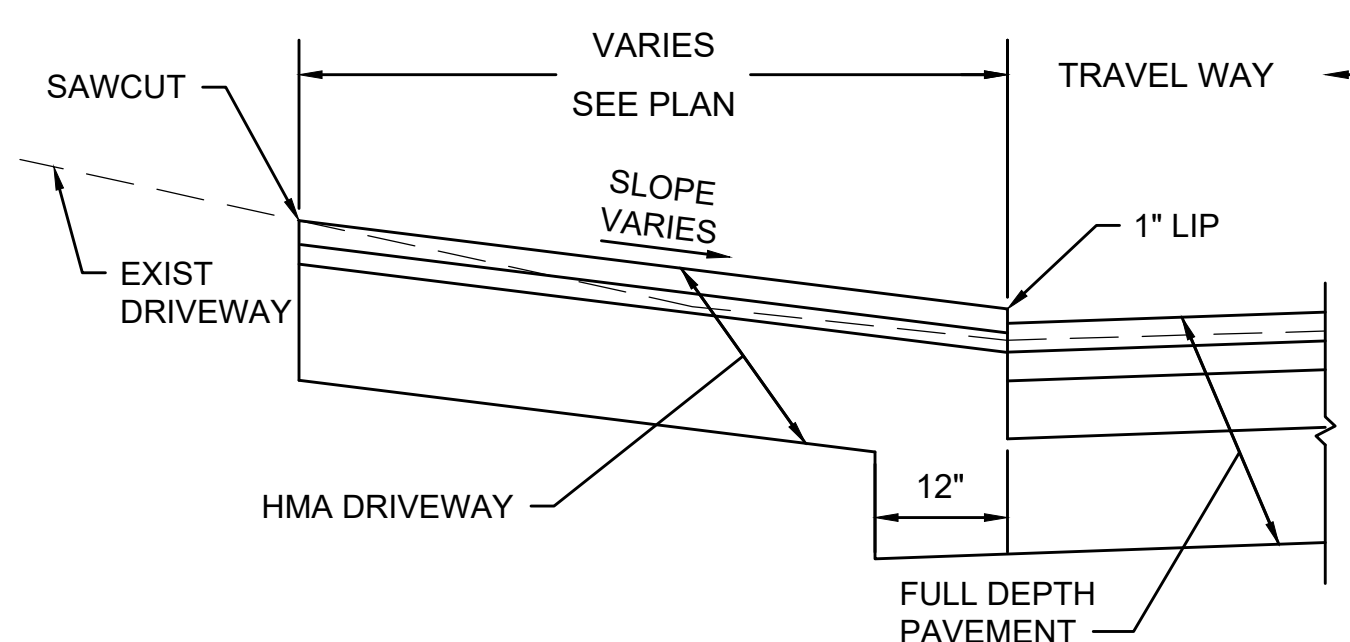
**HMA BERM TYPE A-MODIFIED
(USED WITH FULL DEPTH PAVEMENT)**

SCALE: N.T.S.



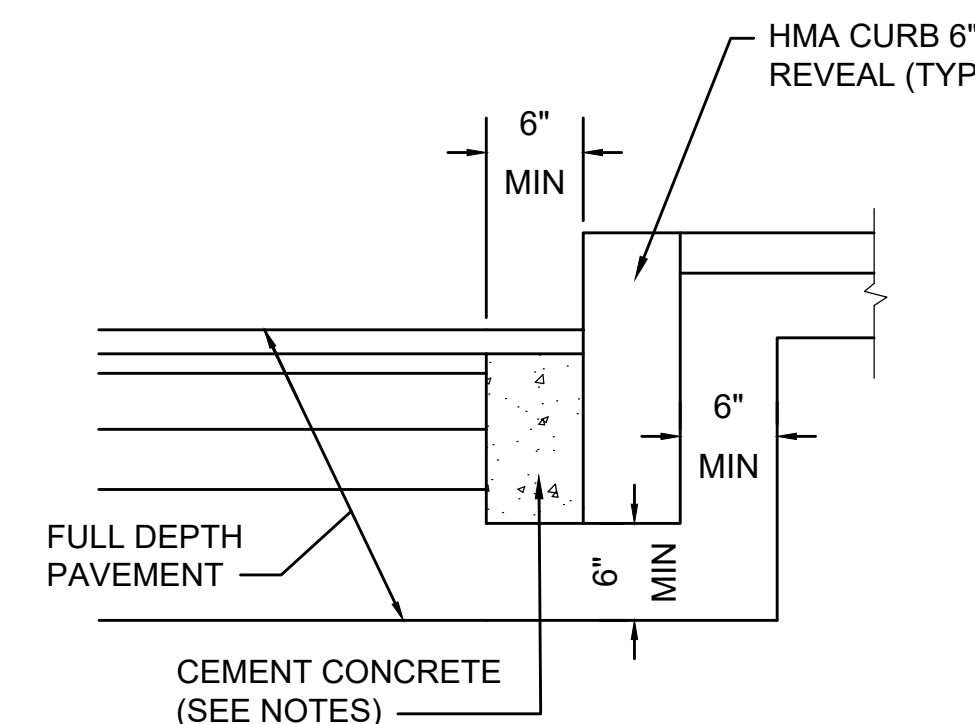
HMA DRIVEWAY

SCALE: N.T.S.



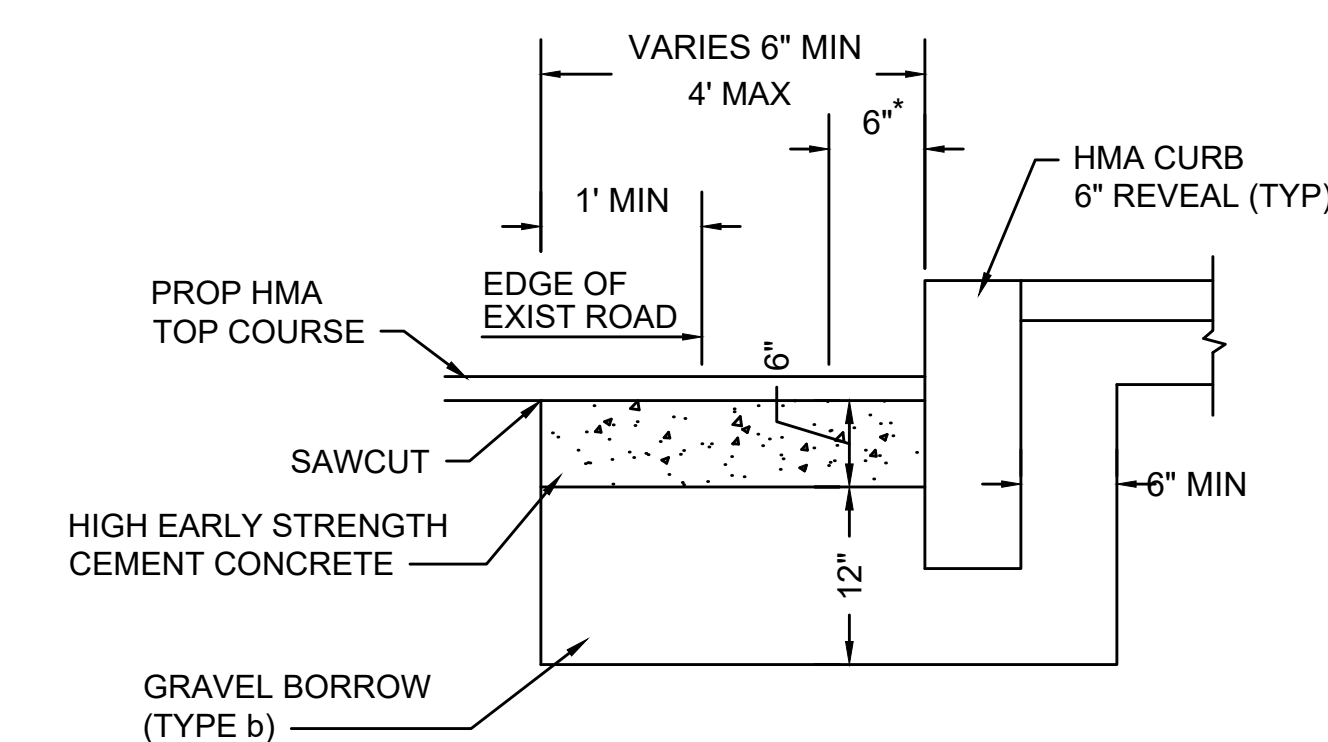
HMA DRIVEWAY

SCALE: N.T.S.



NOTES:

1. TO BE PLACED IF CURB IS INSTALLED AFTER HOT MIX ASPHALT
2. CONCRETE SHALL BE INCLUDED IN PRICE BID FOR HMA CURB
3. ANY DESIGNATED CEMENT CONCRETE THAT IS ACCEPTABLE UNDER SECTION M4 OF THE STANDARD SPECIFICATIONS MAY BE USED. ALL TEST REQUIREMENTS ARE WAIVED. HOT MIX ASPHALT SHALL NOT BE USED AS A SUBSTITUTE.



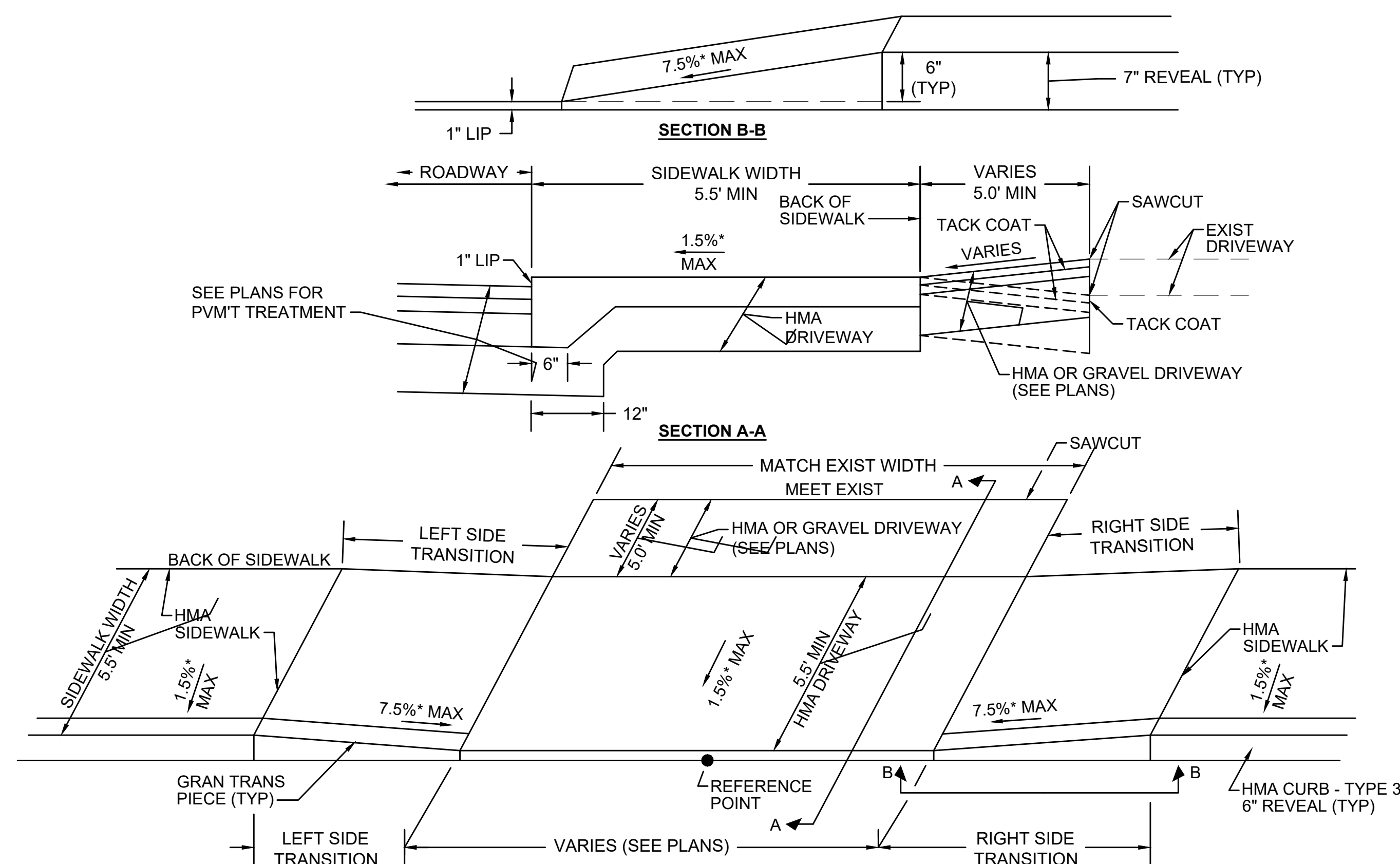
* 6" OF HIGH EARLY STRENGTH CEMENT CONCRETE BASE COURSE SHALL BE INCLUDED IN PRICE BID FOR HMA CURB.

HMA CURB IN FULL DEPTH PAVEMENT - TYPE 1

SCALE: N.T.S.

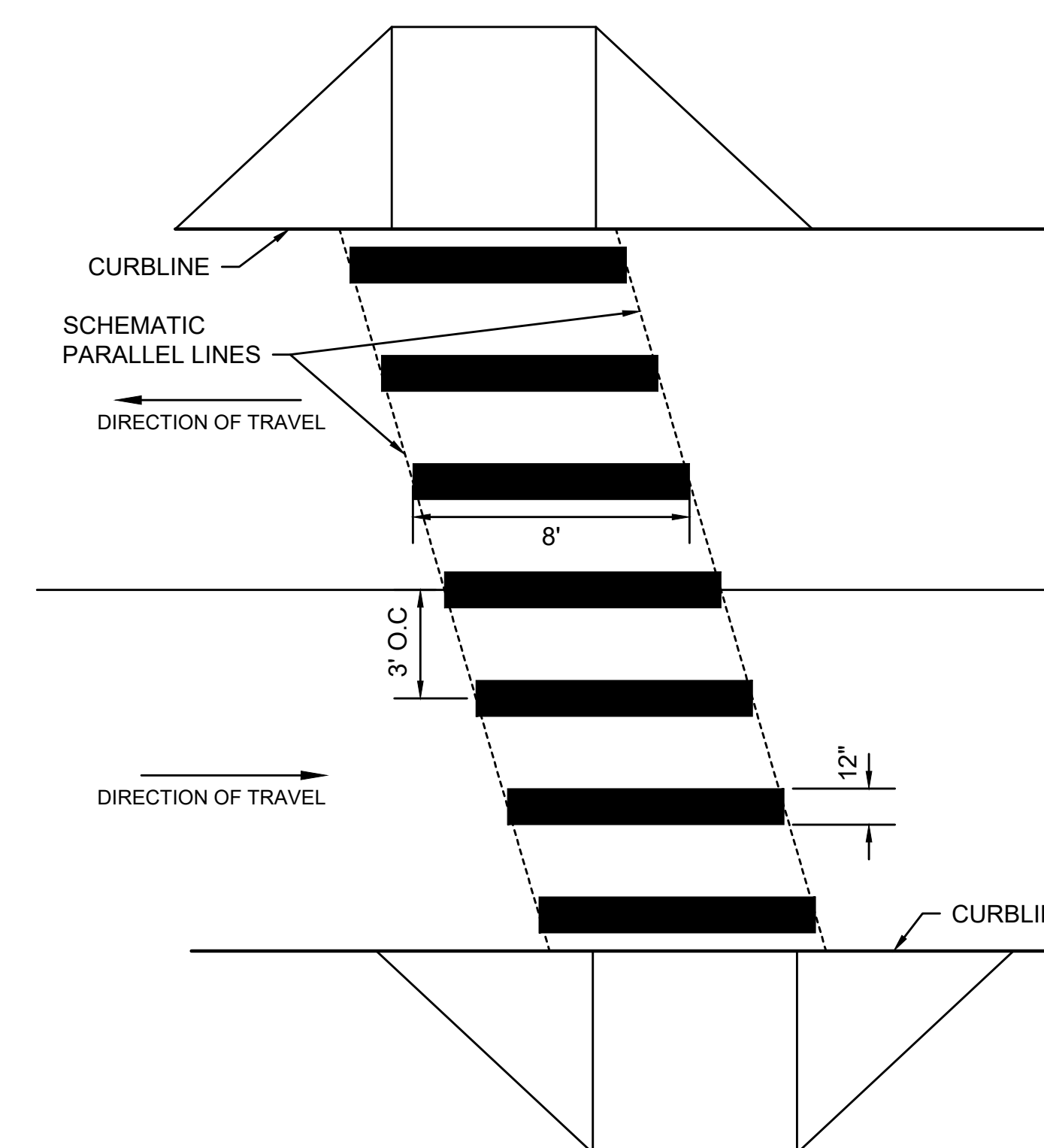
HMA CURB IN FULL DEPTH PAVEMENT - TYPE 2

SCALE: N.T.S.



HMA DRIVEWAY WITH HMA SIDEWALK

SCALE: NTS



NOTES:

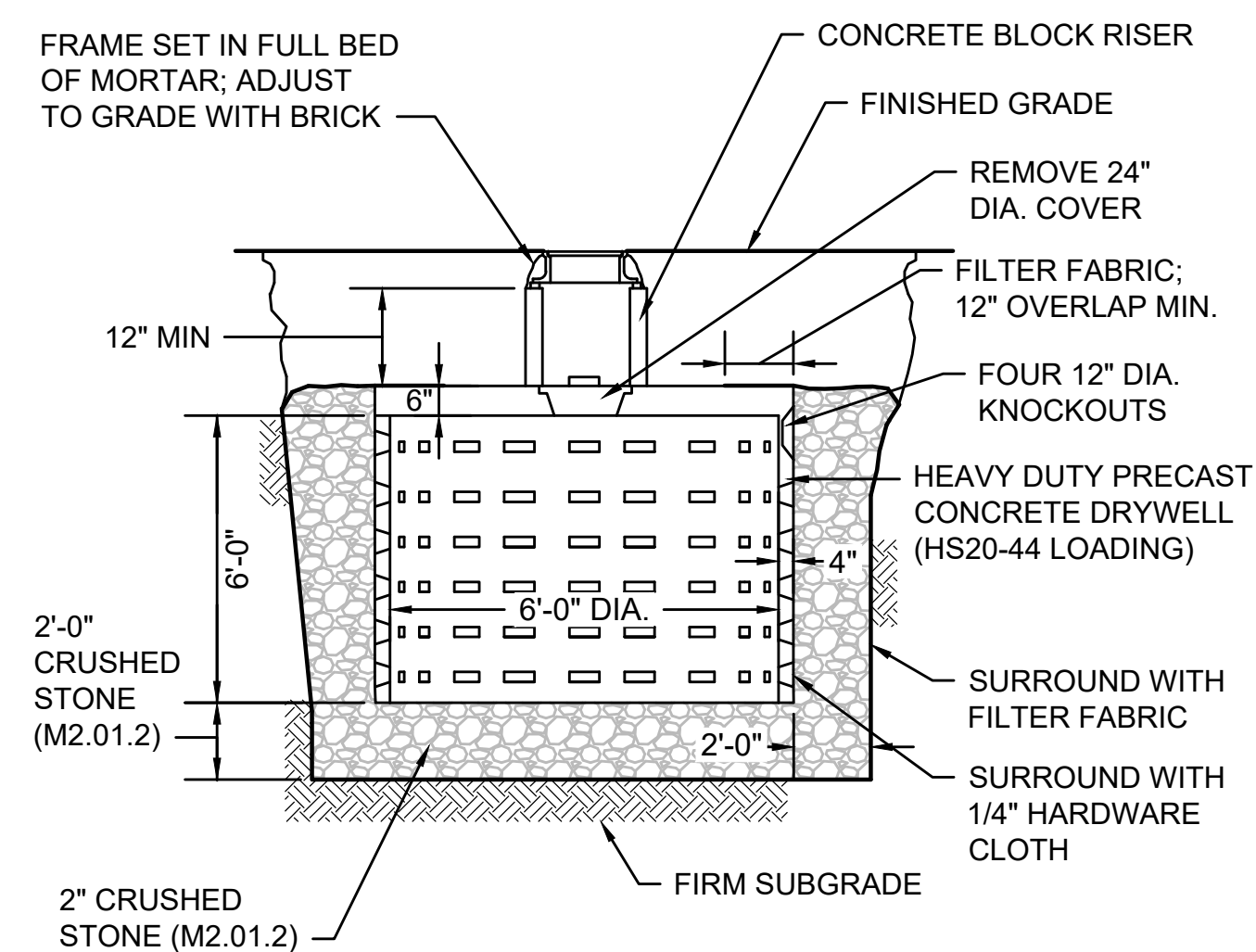
1. ALL EXISTING CROSSWALK MARKINGS SHALL BE FULLY ERADICATED BY APPROVED METHOD PRIOR TO THE APPLICATION OF PROPOSED MARKINGS.
2. ALL 12" THERMOPLASTIC LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6" LINES) WILL BE ACCEPTED.
3. LAYOUT OF CROSSWALKS SHALL BE ORIENTATED IN THE DIRECTION OF TRAVEL AND LOCATED OUTSIDE OF THE WHEEL PATH OF VEHICLES. LAYOUT SHALL BE APPROVED BY BREWSTER DPW PRIOR TO APPLICATION OF THERMOPLASTIC.
4. ALL CROSSWALKS INSTALLED SHALL CONFORM TO THE RELEVANT PROVISIONS OF THE MASSACHUSETTS HIGHWAY DEPARTMENT "STANDARD SPECIFICATION FOR HIGHWAY AND BRIDGES" DATED 2022, SECTION 860 FOR REFLECTORIZED LINE (THERMO-PLASTIC) & MATERIAL M7.01.03, LATEST REVISIONS.

CONTINENTAL-STYLE CROSSWALK - 12" WIDE LINES

SCALE: N.T.S.

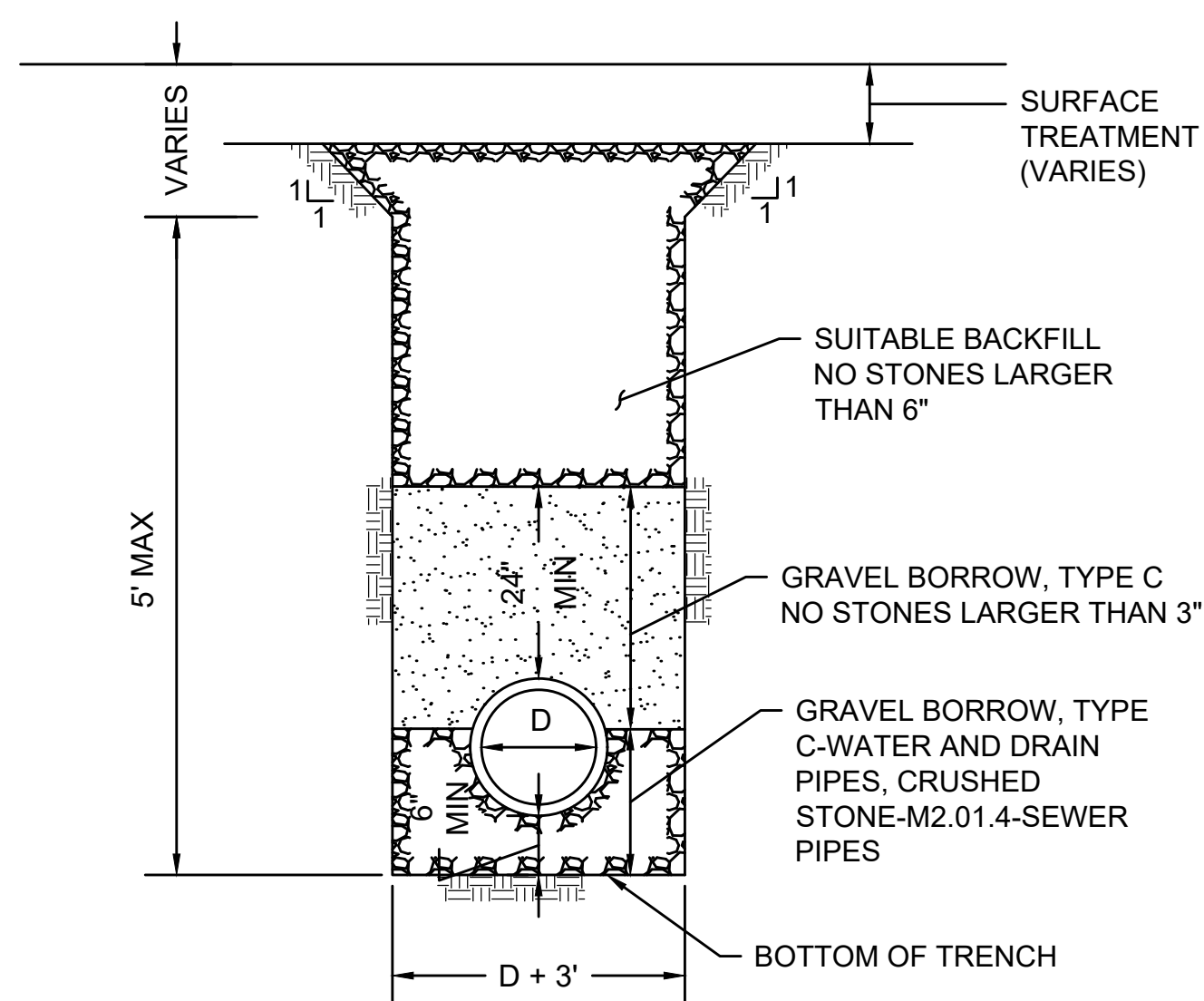
DWG: PM-27

DATE: MAY 2017



6' DIAMETER LEACHING BASIN

SCALE: N.T.S.

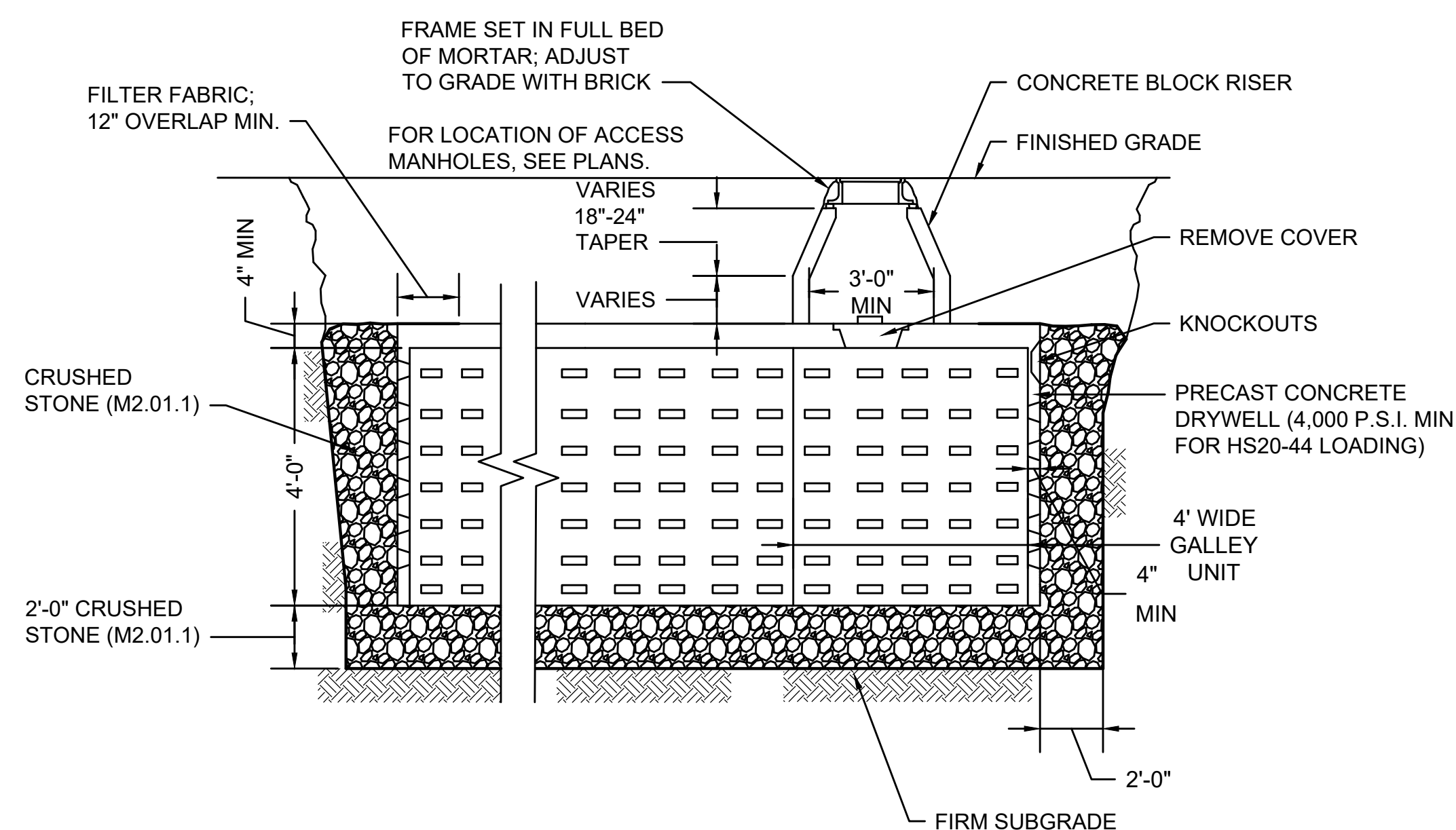


TRENCH DETAIL

SCALE: N.T.S.

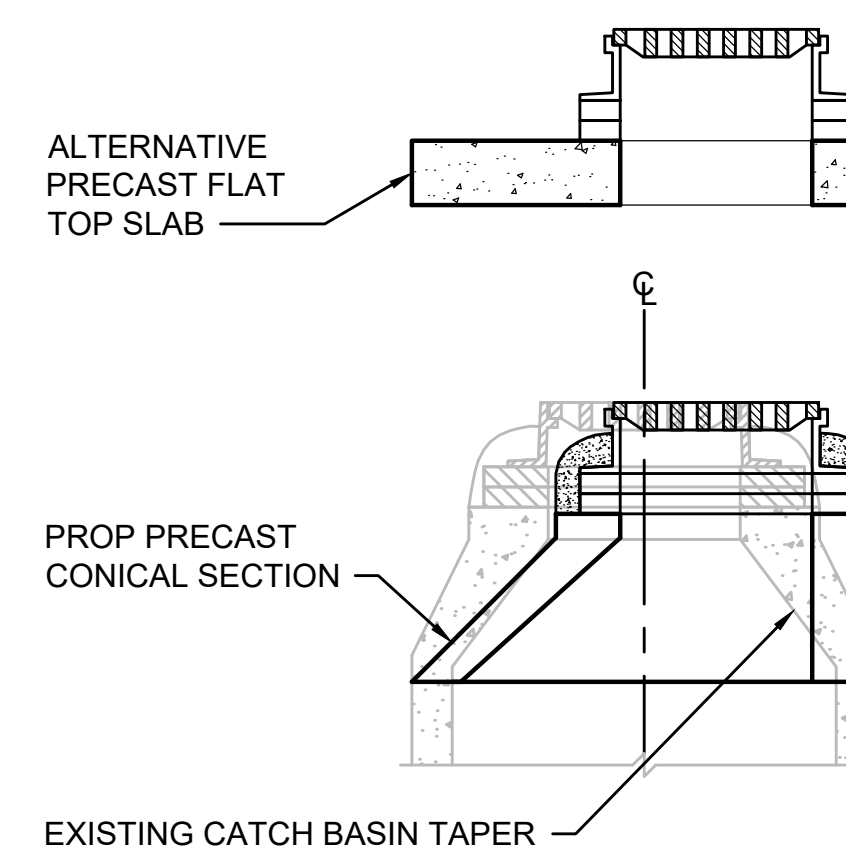
DWG: TRENCH-05

DATE: AUGUST 2018



LEACHING GALLEY

SCALE: N.T.S.

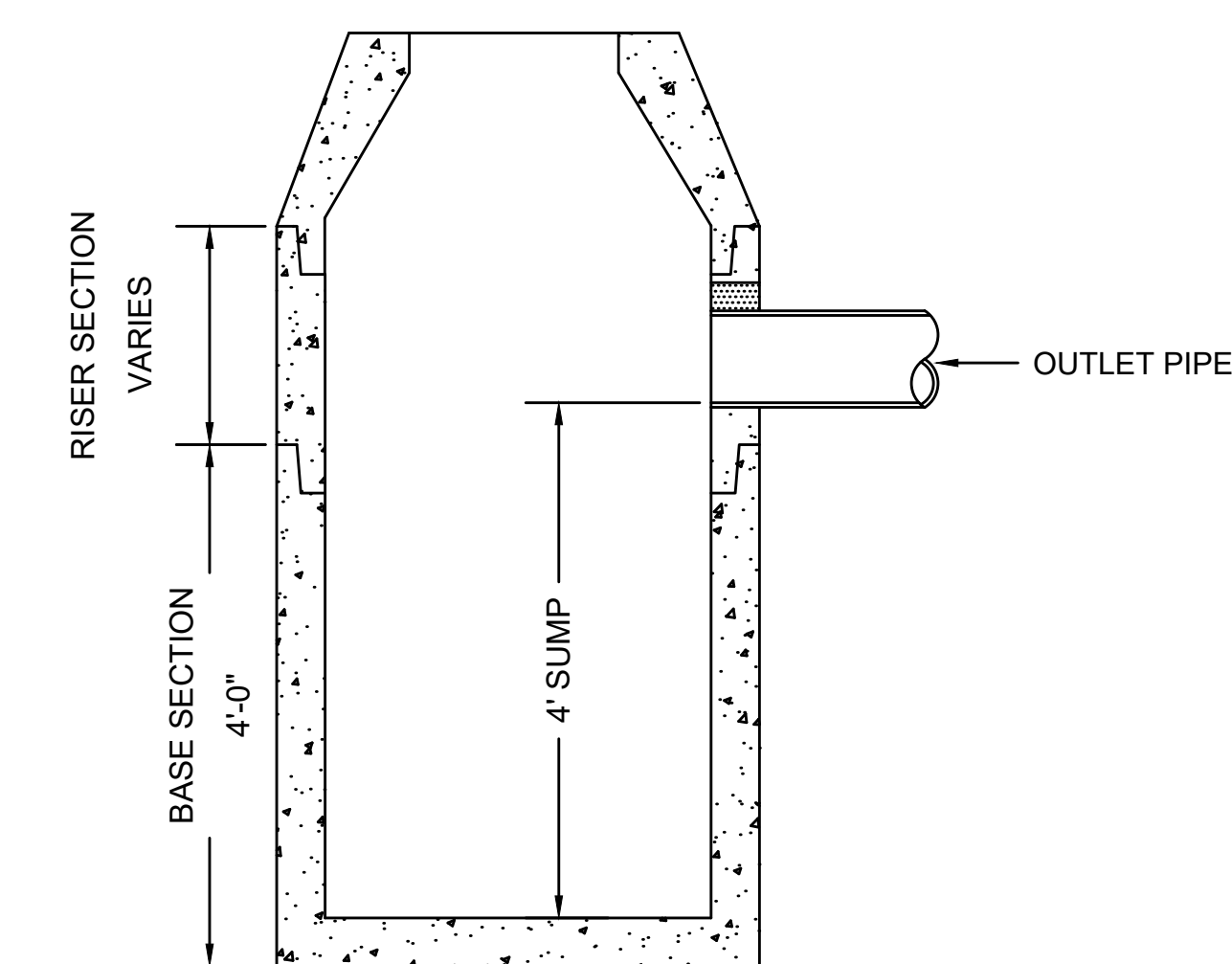


CB TREATMENT NOTES

1. BASED ON ACTUAL FIELD CONDITIONS; THE CONTRACTOR SHALL DETERMINE WHICH STYLE OF TOP SECTION SHOULD BE USED.
2. CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

CATCH BASIN REMODELED

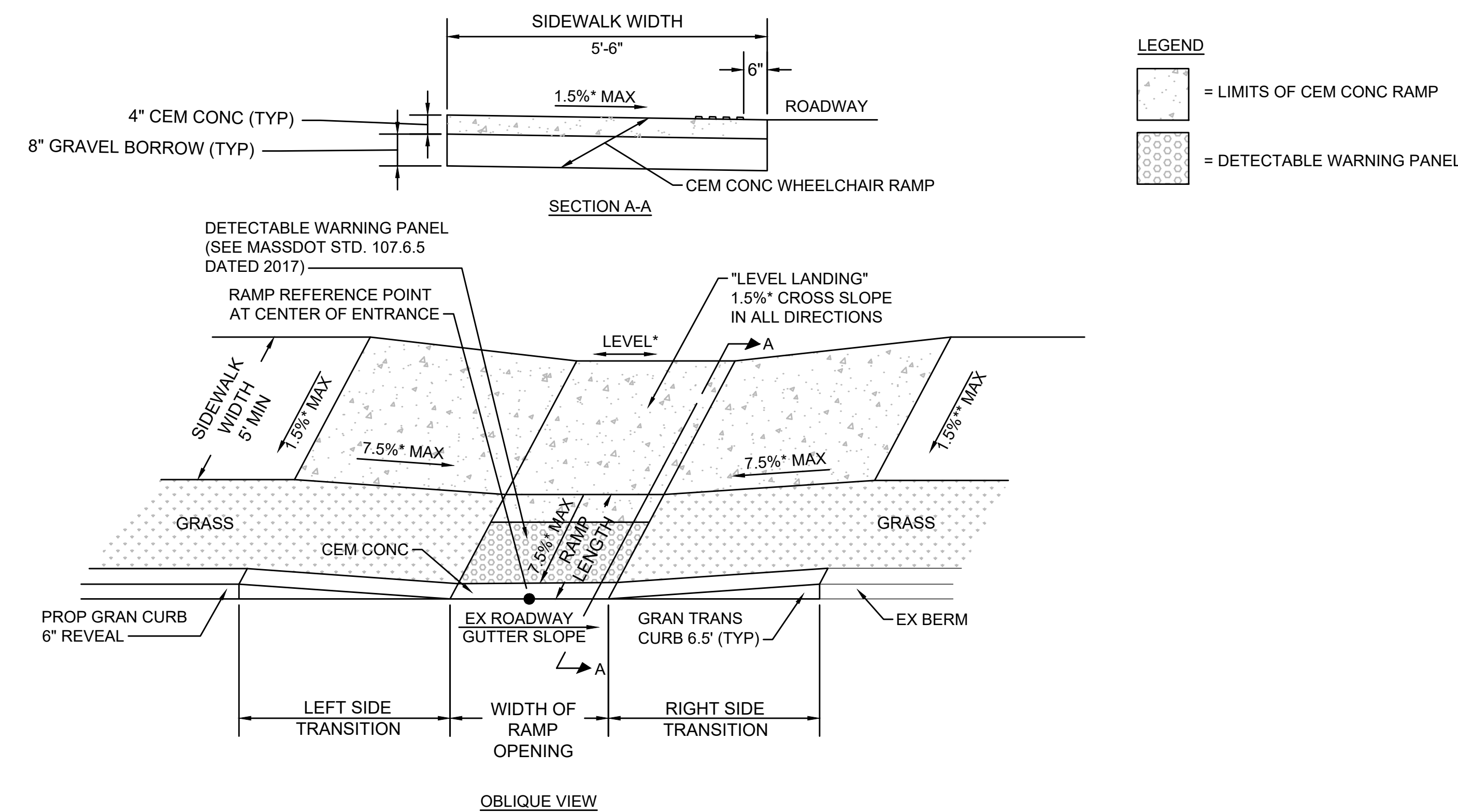
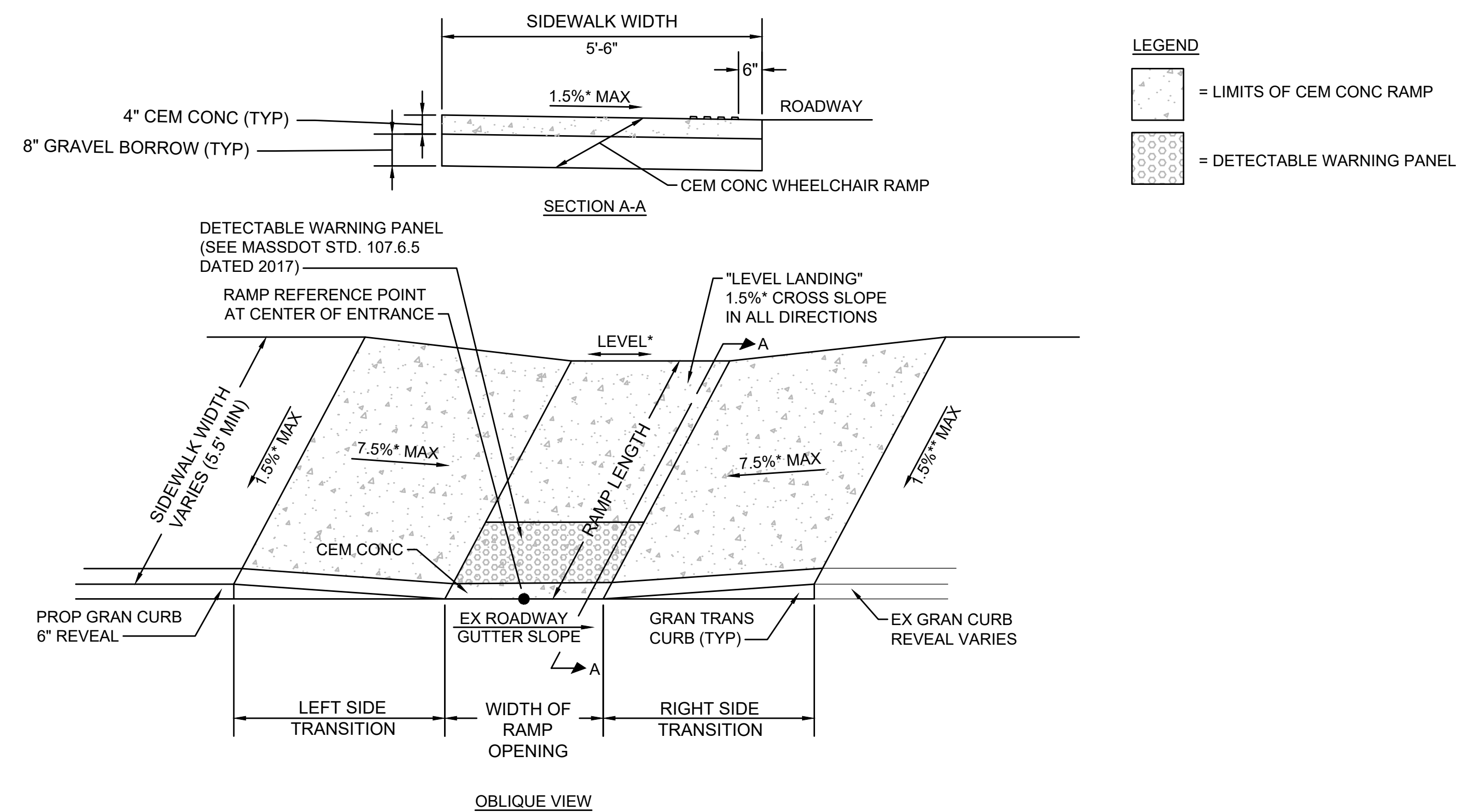
SCALE: N.T.S.



NOTE:
ALL CATCH BASINS SHALL CONFORM TO MASSDOT CONSTRUCTION STANDARD 201.4.0 EXCEPT FOR 4' SUMP DEPTH AS SHOWN.

DEEP SUMP CATCH BASIN

SCALE: N.T.S.



WHEELCHAIR RAMP - LESS THAN 6.50' WIDTH

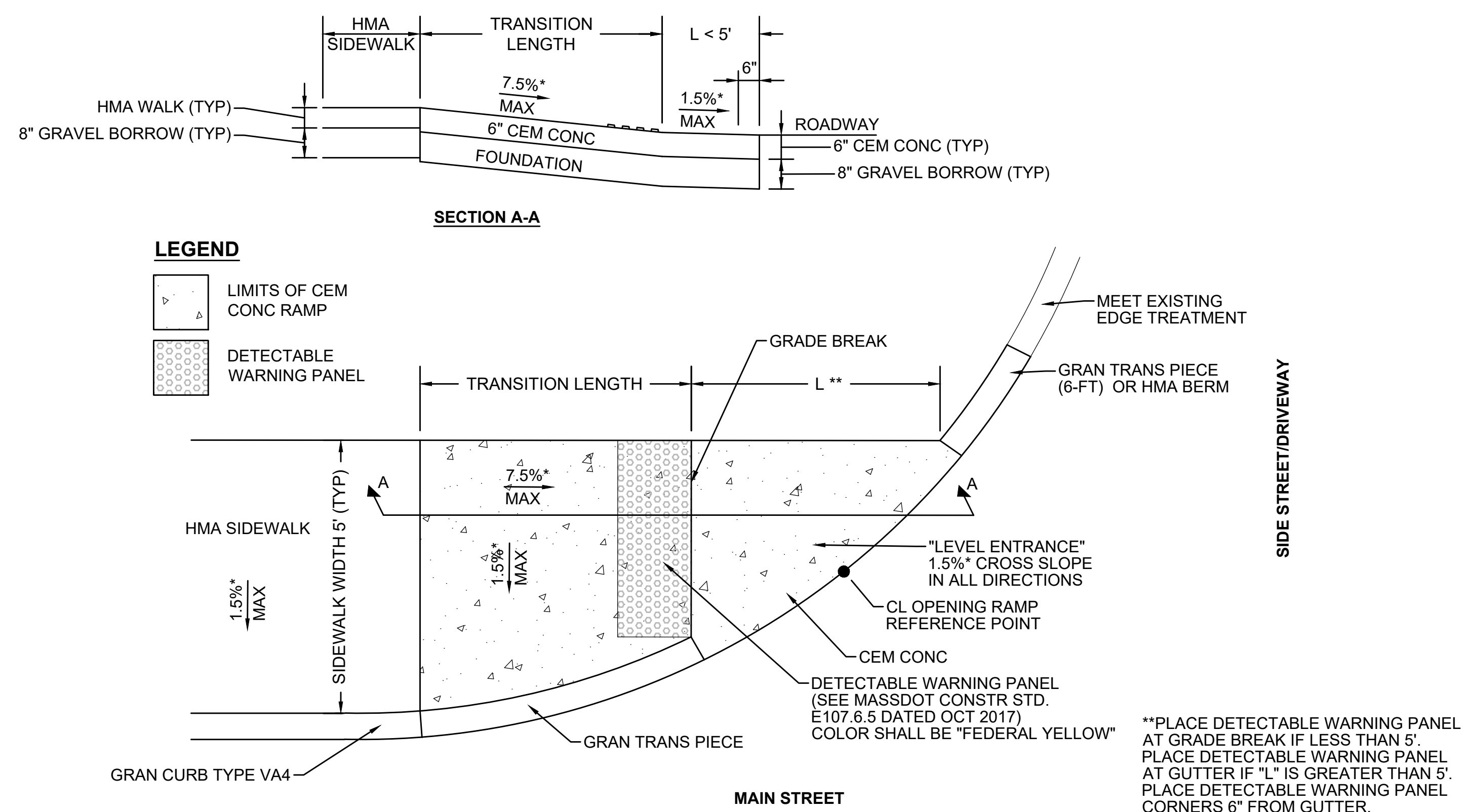
SCALE: N.T.S.

WHEELCHAIR RAMP DATA											
NO.	LOCATION (REF POINT)	SIDEWALK WIDTH	RAMP WIDTH	RAMP LENGTH	OPENING ELEV	LEFT SIDE			RIGHT SIDE		
						ROADWAY GUTTER	REVEAL	TRANS	ROADWAY GUTTER	REVEAL	TRANS
1	STA 311+35.46, 6.9 RT ALGN - ROUTE 6A RECORD BASELINE	5.4'-5.5'	5'-0"	5'-5"	44.24	-1.23%	6"	6.5'	0.65%	6"	7.67'
2	STA 311+35.36, 17.0 LT ALGN - ROUTE 6A RECORD BASELINE	5'-6"	5'-0"	5'-6"	44.25	1.67%	6"	9.0'	-1.54%	6"	6.5'

WHEELCHAIR RAMP - LESS THAN 6.50' WIDTH WITH GRASS STRIP

SCALE: N.T.S.

WHEELCHAIR RAMP DATA											
NO.	LOCATION (REF POINT)	SIDEWALK WIDTH	RAMP WIDTH	RAMP LENGTH	OPENING ELEV	LEFT SIDE			RIGHT SIDE		
						ROADWAY GUTTER	REVEAL	TRANS	ROADWAY GUTTER	REVEAL	TRANS
35	STA 67+10.46, 20.45 LT ALGN - LONG POND ROAD RECORD BASELINE	5'-0"	6'-0"	4'-0"	107.38	3.43%	2"	6.5'	N/A	N/A	N/A
36	STA 249+92.96, 12.5 LT ALGN - MILLSTONE RD CONST BASELINE	5'-0"	5'-0"	4'-0"	106.01	N/A	N/A	N/A	0.31%	2"	6.5'
37	STA 249+92.96, 12.5 RT ALGN - MILLSTONE RD CONST BASELINE	5'-0"	5'-0"	4'-0"	106.23	-1.85%	2"	6.5'	2.77%	2"	6.5'
38	STA 259+23.46, 12.5 LT ALGN - MILLSTONE RD CONST BASELINE	5'-0"	5'-0"	4'-0"	102.62	-0.15%	2"	6.5'	-3.04%	2"	6.5'
39	STA 259+23.46, 12.5 RT ALGN - MILLSTONE RD CONST BASELINE	5'-0"	5'-0"	4'-0"	102.59	N/A	N/A	N/A	0.15%	2"	6.5'



LEGEND

- LIMITS OF CEM CONC RAMP
- DETECTABLE WARNING PANEL

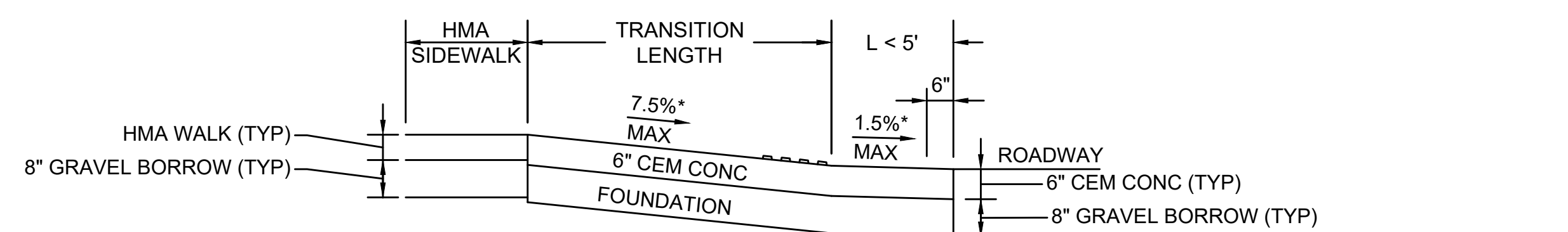
**PLACE DETECTABLE WARNING PANEL AT GRADE BREAK IF LESS THAN 5'. PLACE DETECTABLE WARNING PANEL AT GUTTER IF "L" IS GREATER THAN 5'. PLACE DETECTABLE WARNING PANEL CORNERS 6" FROM GUTTER.

*TOLERANCE FOR CONSTRUCTION ±0.5%

ONE DIRECTIONAL WHEELCHAIR RAMP

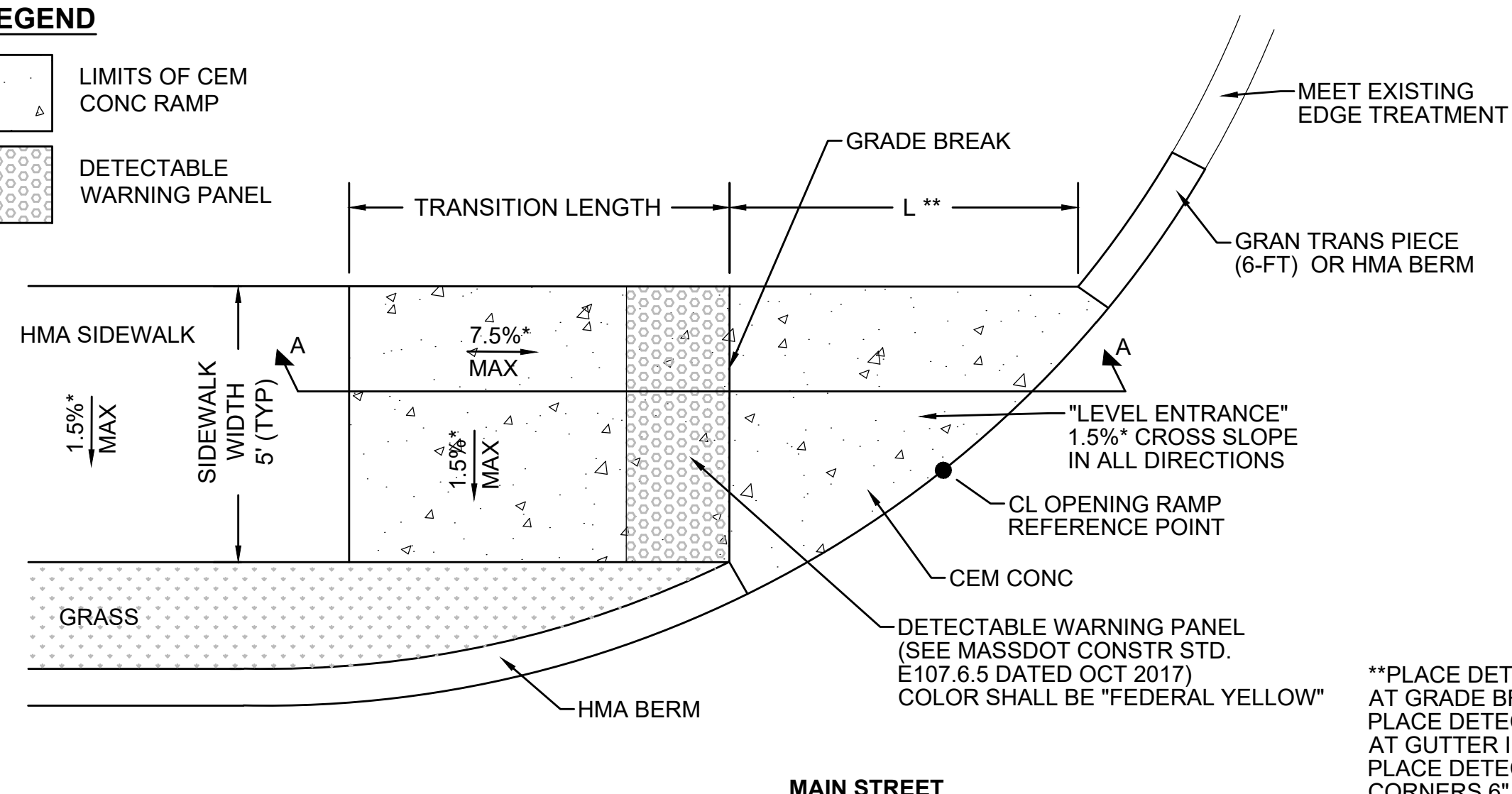
SCALE: NTS

WHEELCHAIR RAMP DATA							
NO.	LOCATION (REF POINT)	SIDEWALK WIDTH	TRANS LENGTH	"L"	OPENING ELEV	ROADWAY GUTTER	REVEAL
3	STA 206+42.90, 15.3 RT ALGN - MILLSTONE RD CONST BASELINE	5'-6"	6'-6"	3.62'	50.66'	0.00%	6"
4	STA 206+66.86, 15.3 RT ALGN - MILLSTONE RD CONST BASELINE	5'-6"	14'-0"	3.62'	50.96'	3.14%	6"
5	STA 226+11.87, 15.7 RT ALGN - MILLSTONE RD CONST BASELINE	5.1' - 5.5'	6'-6"	14.68'	94.81'	-1.38%	6"
6	STA 226+82.56, 15.7 RT ALGN - MILLSTONE RD CONST BASELINE	5.1' - 5.5'	11'-0"	11.28'	97.05'	2.45%	6"
10	STA 237+55.05, 15.7 RT ALGN - MILLSTONE RD CONST BASELINE	5.1' - 5.5'	6'-6"	11.16'	117.14'	-1.38%	6"
11	STA 240+56.88, 15.7 RT ALGN - MILLSTONE RD CONST BASELINE	4.0' - 5.5'	14'-0"	5.0'	112.57'	3.57%	6"
20	STA 260+04.01, 15.7 LT ALGN - MILLSTONE RD CONST BASELINE	5.1' - 5.5'	6'-6"	13.49'	100.25'	-1.85%	6"
21	STA 268+22.22, 15.7 LT ALGN - MILLSTONE RD CONST BASELINE	5.2' - 5.5'	6'-6"	8.19'	118.49'	-2.77%	6"
22	STA 269+28.54, 15.7 LT ALGN - MILLSTONE RD CONST BASELINE	4.0' - 5.5'	6'-6"	10.50'	120.04'	-6.46%	6"
25	STA 276+86, 15.7 LT ALGN - MILLSTONE RD CONST BASELINE	4.0' - 5.5'	7'-8"	6.15' *	116.96'	0.91%	6"
26	STA 277+39.20, 15.7 LT ALGN - MILLSTONE RD CONST BASELINE	4.0' - 5.4'	6'-6"	7.95' *	116.41'	0.00%	6"
28	STA 292+65.09, 15.7 LT ALGN - MILLSTONE RD CONST BASELINE	4.0' - 5.5'	6'-6"	6.49' *	112.88'	-0.15%	6"
29	STA 296+37.27, 16.2 LT ALGN - MILLSTONE RD CONST BASELINE	4.0' - 5.3'	7'-8"	6.00' *	112.04'	0.26%	6"
30	STA 297+25, 16.4 LT ALGN - MILLSTONE RD CONST BASELINE	5.0'	N/A	1.87'	111.61'	N/A	6"
31	STA 296+85.77, 18.8 LT ALGN - MILLSTONE RD CONST BASELINE	5.0'	N/A	5.30' *	111.51'	N/A	6"
32	STA 297+25, 16.4 LT ALGN - MILLSTONE RD CONST BASELINE	4.0' - 5.5'	6'-6"	8.77' *	111.39'	-0.15%	6"
33	STA 313+26.07, 15.7 LT ALGN - MILLSTONE RD CONST BASELINE	4.0' - 5.5'	7'-8"	6.14' *	111.06'	0.52%	6"
34	STA 313+79.98, 15.7 LT ALGN - MILLSTONE RD CONST BASELINE	4.0' - 5.4'	7'-8"	9.53' *	110.66'	0.62%	6"



LEGEND

- LIMITS OF CEM CONC RAMP
- DETECTABLE WARNING PANEL



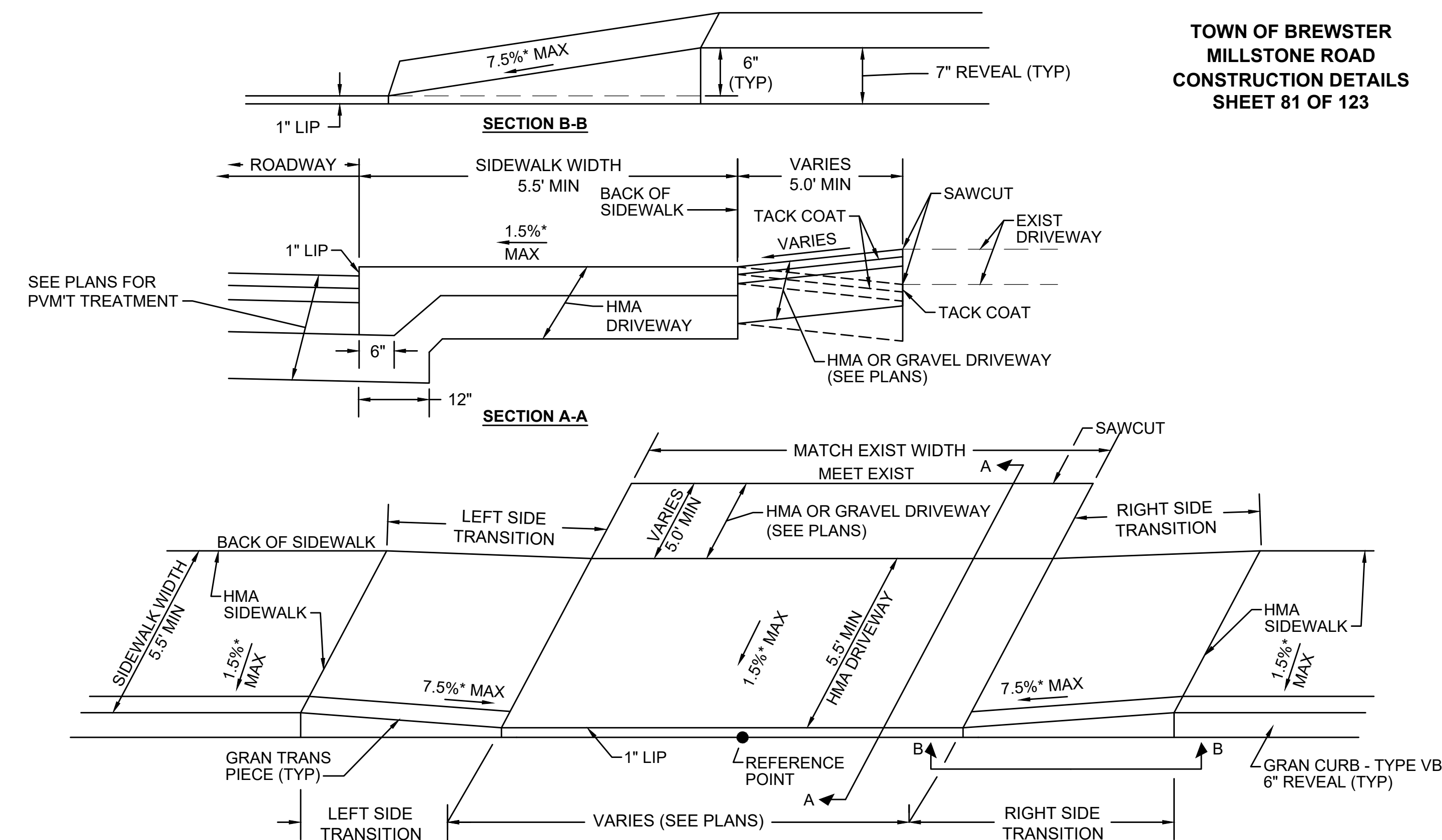
**PLACE DETECTABLE WARNING PANEL AT GRADE BREAK IF LESS THAN 5'. PLACE DETECTABLE WARNING PANEL AT GUTTER IF "L" IS GREATER THAN 5'. PLACE DETECTABLE WARNING PANEL CORNERS 6" FROM GUTTER.

*TOLERANCE FOR CONSTRUCTION ±0.5%

ONE DIRECTIONAL WHEELCHAIR RAMP WITH GRASS STRIP

SCALE: NTS

WHEELCHAIR RAMP DATA							
NO.	LOCATION (REF POINT)	SIDEWALK WIDTH	TRANS LENGTH	"L"	OPENING ELEV	ROADWAY GUTTER	REVEAL
7	STA 233+80.62, 18.8 RT ALGN - MILLSTONE RD CONST BASELINE	5'-0"	6'-6"	7.52'	118.92'	8.61%	2"
8	STA 234+13.74, 18.8 RT ALGN - MILLSTONE RD CONST BASELINE	5'-0"	6'-6"	7.45'	118.55'	1.69%	2"
9	STA 237+16.16, 18.6 RT ALGN - MILLSTONE RD CONST BASELINE	5'-0"	6'-6"	7.37'	117.86'	-0.15%	2"
12	STA 240+87.35, 18.8 RT ALGN - MILLSTONE RD CONST BASELINE	5'-0"	6'-6"	3.52'	111.31'	-4.77%	6"
13	STA 245+21.57, 18.8 RT ALGN - MILLSTONE RD CONST BASELINE	5'-0"	6'-6"	5.97'	105.28'	2.77%	2"
14	STA 245+46.88, 18.8 RT ALGN - MILLSTONE RD CONST BASELINE	5'-0"	6'-6"	5.97'	106.03'	1.38%	2"
15	STA 250+18.63, 18.8 RT ALGN - MILLSTONE RD CONST BASELINE	5'-0"	6'-6"	12.90'	105.75'	1.85%	2"
16	STA 250+96.58, 18.8 RT ALGN - MILLSTONE RD CONST BASELINE	5'-0"	6'-6"	13.87'	105.30'	0.92%	2"
17	STA 255+08.66, 18.8 LT ALGN - MILLSTONE RD CONST BASELINE	5'-0"	6'-6"	10.07'	102.52'	1.85%	2"
18	STA 255+48.74, 18.8 LT ALGN - MILLSTONE RD CONST BASELINE	5'-0"	6'-6"	5.95'	102.57'	1.69%	2"
19	STA 259+50.59, 18.8 LT ALGN - MILLSTONE RD CONST BASELINE	5'-0"	6'-6"	8.66'	101.94'	3.03%	2"
23	STA 271+83.95, 18.8 LT ALGN - MILLSTONE RD CONST BASELINE	5'-0"	6'-6"	7.42'	120.62'	2.77%	2"
24	STA 272+08.91, 18.8 LT ALGN - MILLSTONE RD CONST BASELINE	5'-0"	6'-6"	7.39'	121.59'	-1.23%	2"
27	STA 292+04.23, 19.0 LT ALGN - MILLSTONE RD CONST BASELINE	5'-0"	6'-6"	7.59'	113.43'	0.31%	2"

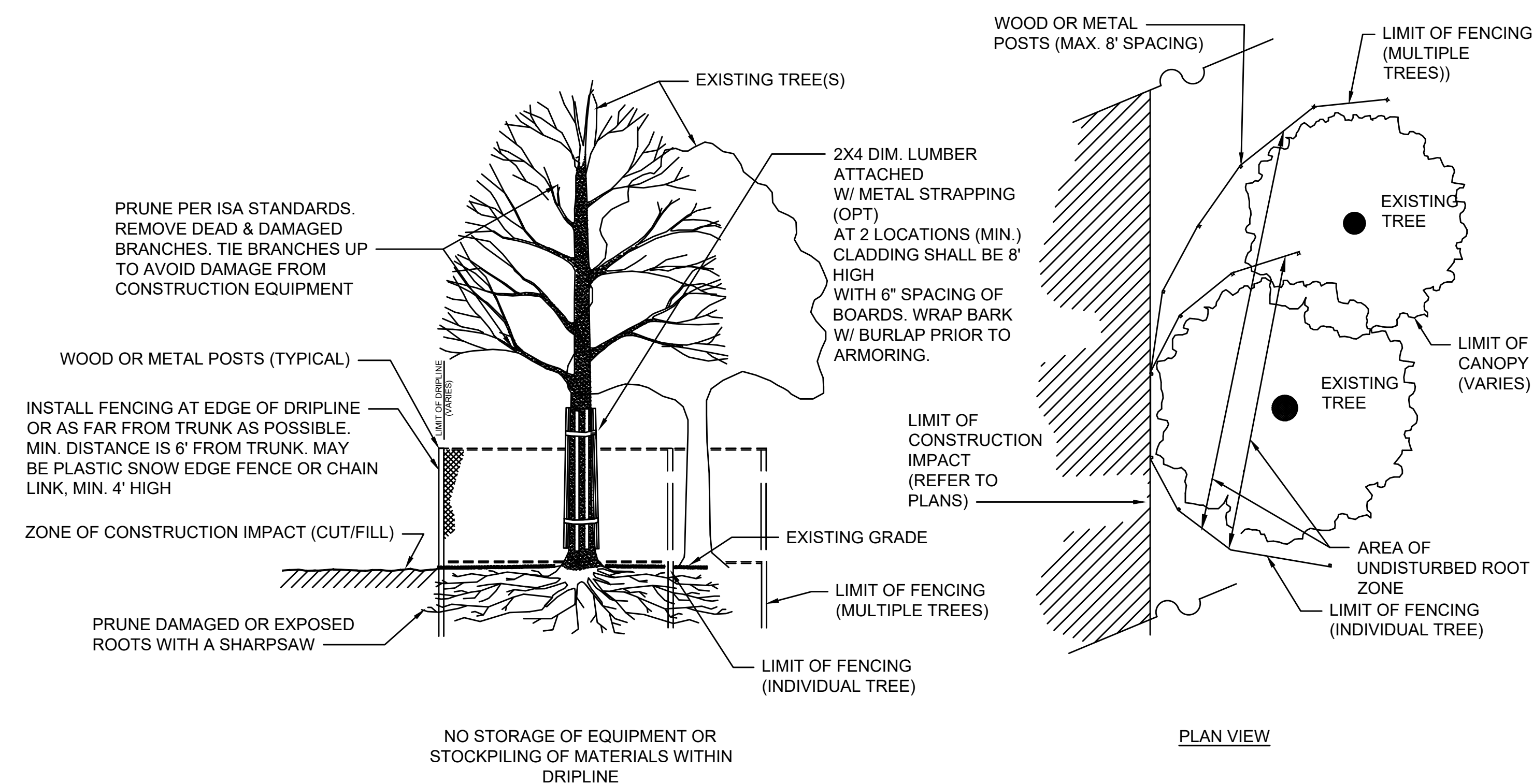


HMA DRIVEWAY WITH HMA SIDEWALK

SCALE: NTS

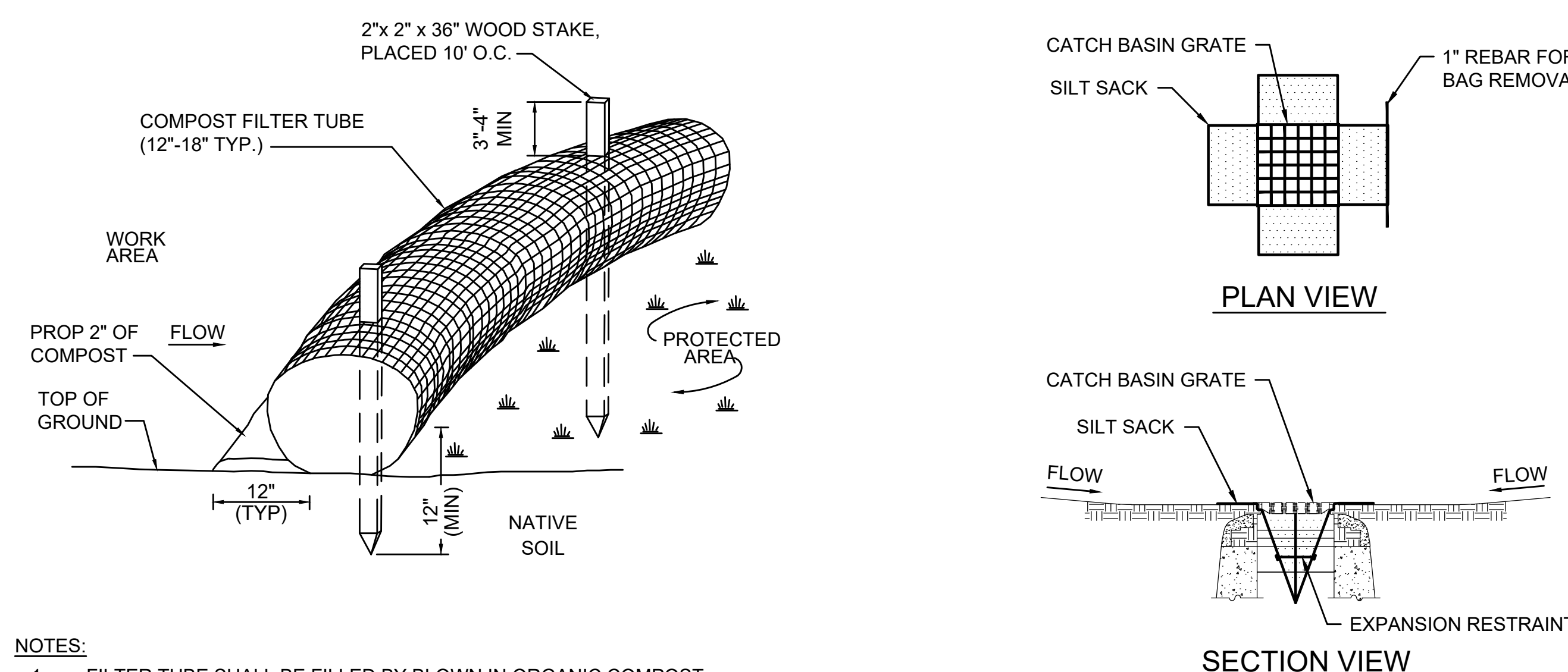
DRIVEWAY DATA					
NO.	LOCATION (REF POINT)	ROADWAY GUTTER	OPENING ELEV	LEFT SIDE TRANS	RIGHT SIDE TRANS
1	STA 210+07.82, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	1.45%	59.04	15'-0"	6'-6"
2	STA 211+64.43, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	2.97%	62.03	6'-6"	14'-0"
3	STA 212+75.00, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	5.97%	66.53	15'-0"	6'-6"
4	STA 215+37.14, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	2.57%	80.42	14'-0"	6'-6"
5	STA 216+02.83, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	0.55%	81.44	9'-0"	6'-6"
6	STA 216+97.46, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	1.37%	82.09	7'-8"	6'-6"
7	STA 218+24.15, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	3.57%	85.35	11'-0"	6'-6"
8	STA 218+90.29, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	0.94%	86.94	11'-0"	6'-6"
9	STA 220+34.89, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	0.42%	87.58	9'-0"	6'-6"
10	STA 220+84.01, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	0.50%	87.94	7'-8"	6'-6"
11	STA 222+20.41, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	1.73%	89.34	7'-8"	6'-6"
12	STA 223+26.45, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	2.86%	92.22	11'-0"	6'-6"
13	STA 223+59.38, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	1.97%	93.05	11'-0"	6'-6"
14	STA 225+21.82, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	0.24%	94.21	7'-8"	6'-6"
15	STA 229+33.04, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	0.91%	102.88	7'-8"	6'-6"

16	STA 229+98.28, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	1.09%	103.70	14'-0"	6'-6"
17	STA 231+15.89, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	4.51%	107.97	14'-0"	6'-6"
18	STA 238+78.40, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	-1.29%	115.48	6'-6"	7'-8"
19	STA 238+78.40, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	-1.85%	114.63	6'-6"	9'-0"
20	STA 255+63.66, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	2.43%	101.450	11'-0"	6'-6"
21	STA 257+20.71, 12.5' RT ALGN - MILLSTONE RD CONST BASELINE	0.73%	105.39	7'-8"	6'-6"
22	STA 261+54.66, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	2.48%	100.81	6'-6"	11'-0"
23	STA 262+66.36, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	3.92%	104.61	6'-6"	14'-0"
24	STA 264+02.82, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	5.16%	111.09	6'-6"	15'-0"
25	STA 264+56.93, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	4.54%	113.61	6'-6"	15'-0"
26	STA 266+23.98, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	-0.02%	115.76	6'-6"	7'-8"
27	STA 278+25.89, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	0.30%	116.99	6'-6"	9'-0"
28	STA 295+63.96, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	-1.71%	112.51	9'-0"	6'-6"
29	STA 298+98.21, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	-0.47%	112.21	7'-8"	6'-6"
30	STA 300+81.84, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	-0.90%	109.93	6'-6"	7'-8"
31	STA 302+43.46, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	2.16%	110.90	6'-6"	9'-0"
32	STA 302+84.44, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	3.91%	112.08	6'-6"	11'-0"
33	STA 303+44.79, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	-0.48%	113.23	7'-8"	6'-6"
34	STA 303+92.72, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	-0.60%	112.73	6'-6"	7'-8"
35	STA 304+65.68, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	0.11%	112.34	9'-0"	6'-6"
36	STA 305+05.21, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	1.33%	112.89	6'-6"	14'-0"
37	STA 305+57.15, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	1.30%	113.39	6'-6"	7'-8"
38	STA 306+85.02, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	-0.68%	113.70	7'-8"	6'-6"
39	STA 308+39.42, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	-1.06%	113.09	6'-6"	7'-8"
40	STA 309+13.09, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	-0.85%	112.51	9'-0"	6'-6"
41	STA 310+07.28, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	-0.76%	111.93	6'-6"	7'-8"
42	STA 311+84.19, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	-0.02%	111.30	7'-8"	6'-6"
43	STA 315+25.93, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	0.36%	111.84	6'-6"	7'-8"
44	STA 315+73.46, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	0.03%	111.93	6'-6"	7'-8"
45	STA 317+12.70, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	-1.17%	110.79	9'-0"	6'-6"
46	STA 317+68.53, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	-0.44%	110.30	9'-0"	6'-6"
47	STA 321+43.06, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	-1.33%	109.73	7'-8"	6'-6"
48	STA 322+16.30, -12.5' LT ALGN - MILLSTONE RD CONST BASELINE	-0.09%	109.16	9'-0"	6'-6"



TREE PROTECTION OF EXISTING TREE(S)

SCALE: N.T.S.



NOTES:

- FILTER TUBE SHALL BE FILLED BY BLOWN IN ORGANIC COMPOST AND PLACED AS ILLUSTRATED ON THE PROJECT PLANS.
- COMPOST FILTER TUBES SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIRED OR REPLACED AS NEEDED.
- AT COMPLETION OF PROJECT, COMPOST FILTER TUBES SHALL BE CUT OPEN AND COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
- THE EMPTY FILTER TUBE FABRIC SHALL BE COLLECTED AND DISPOSED OF PROPERLY.

SEDIMENTATION FENCE

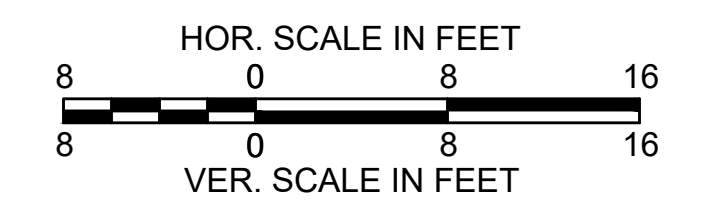
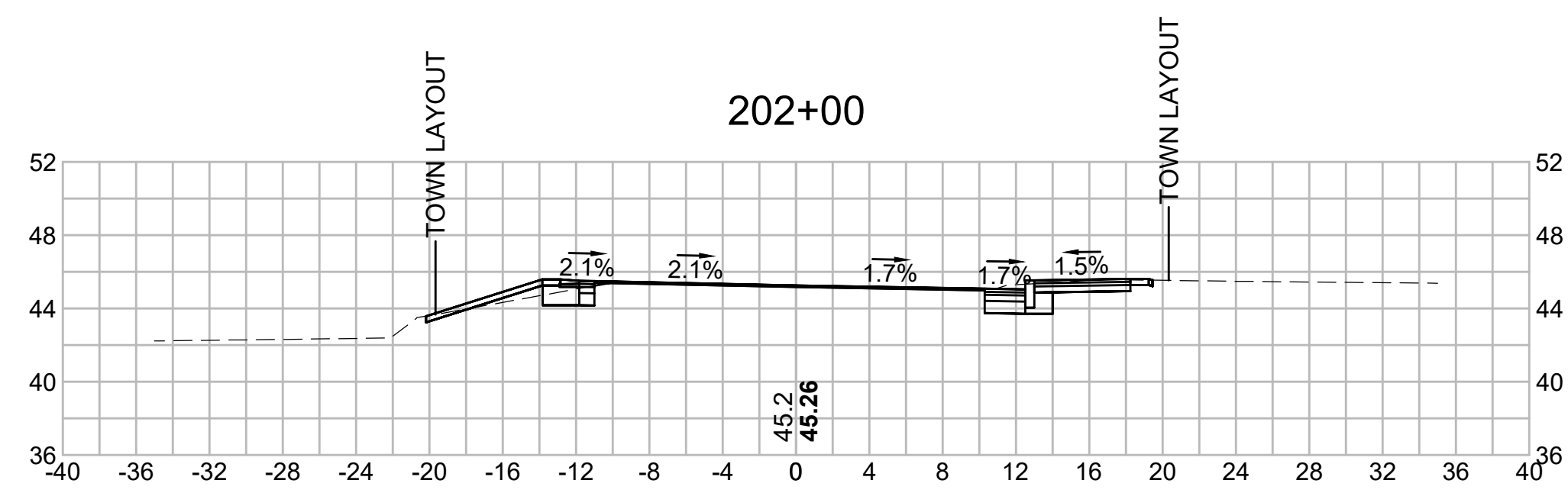
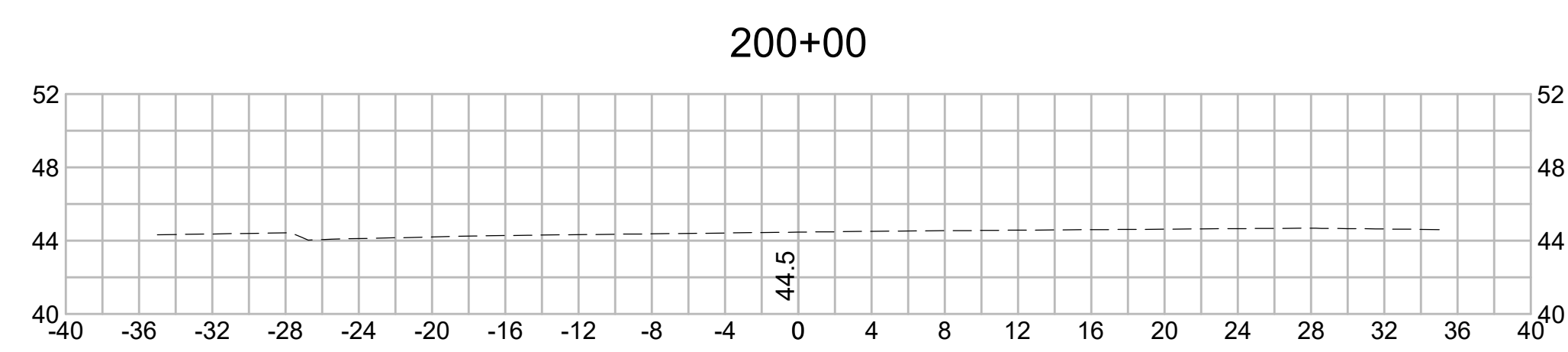
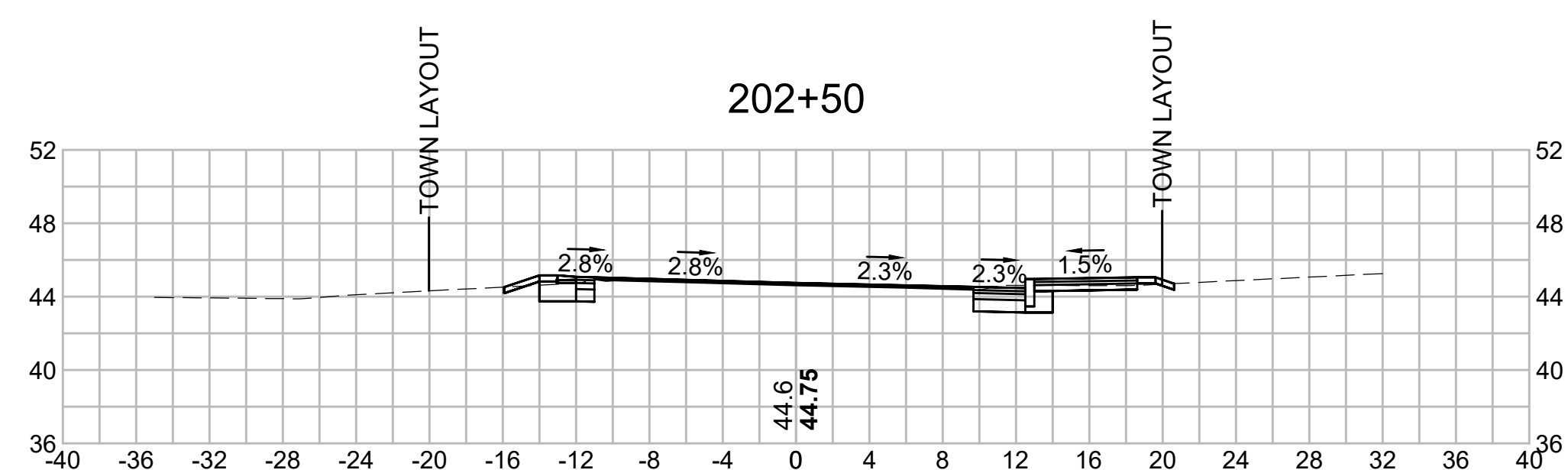
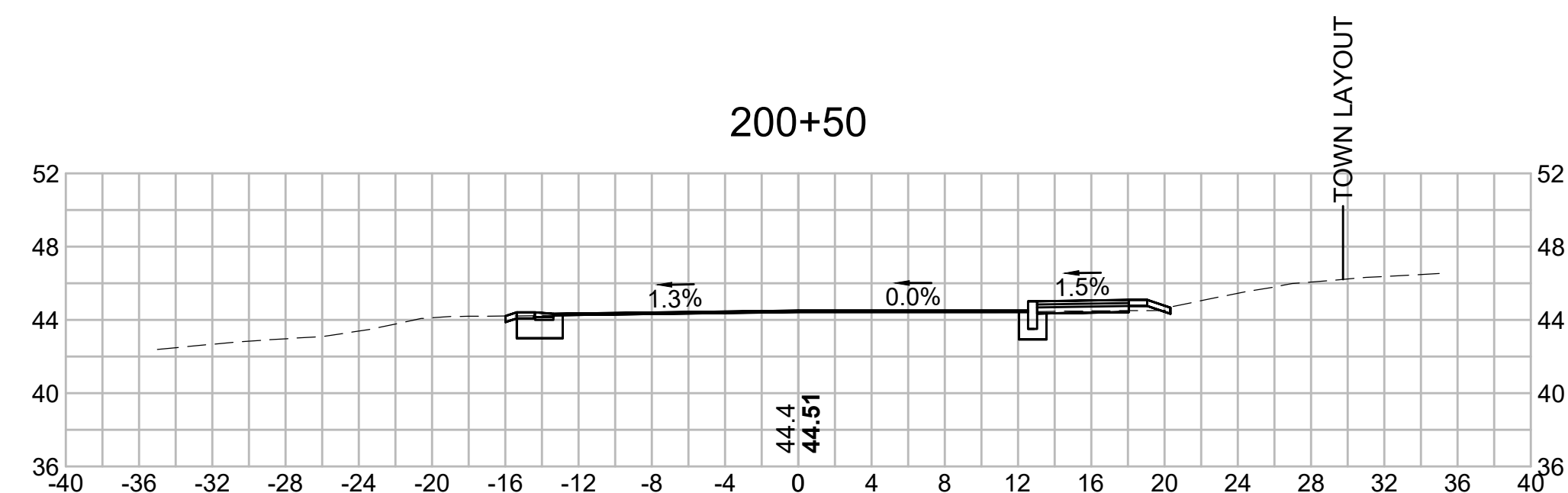
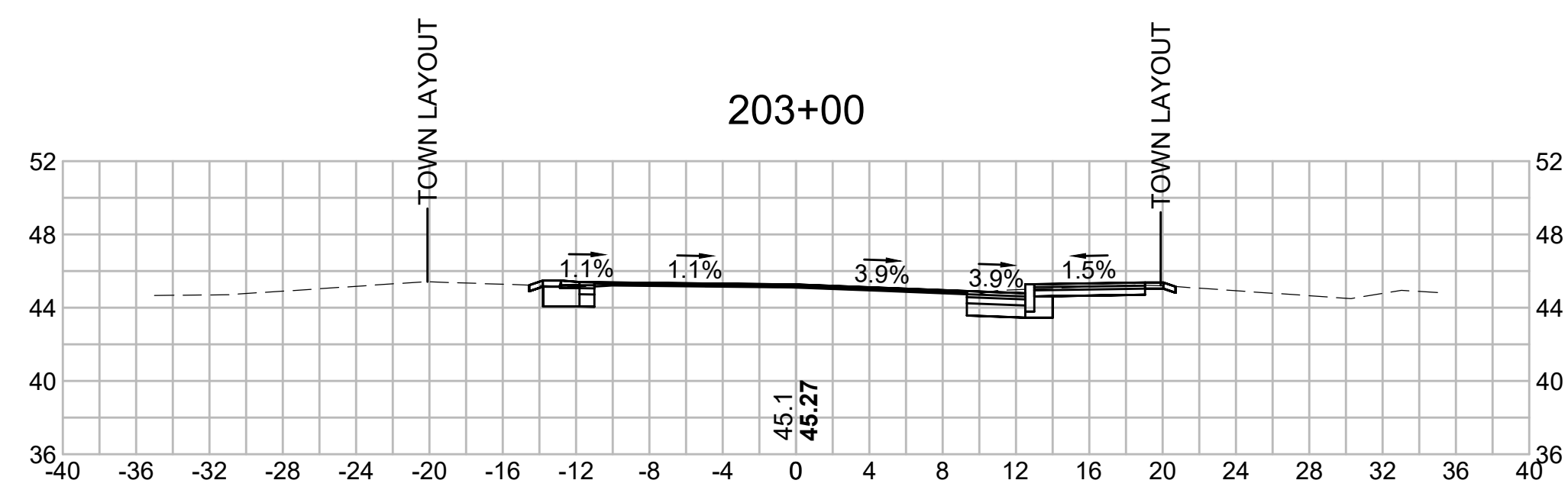
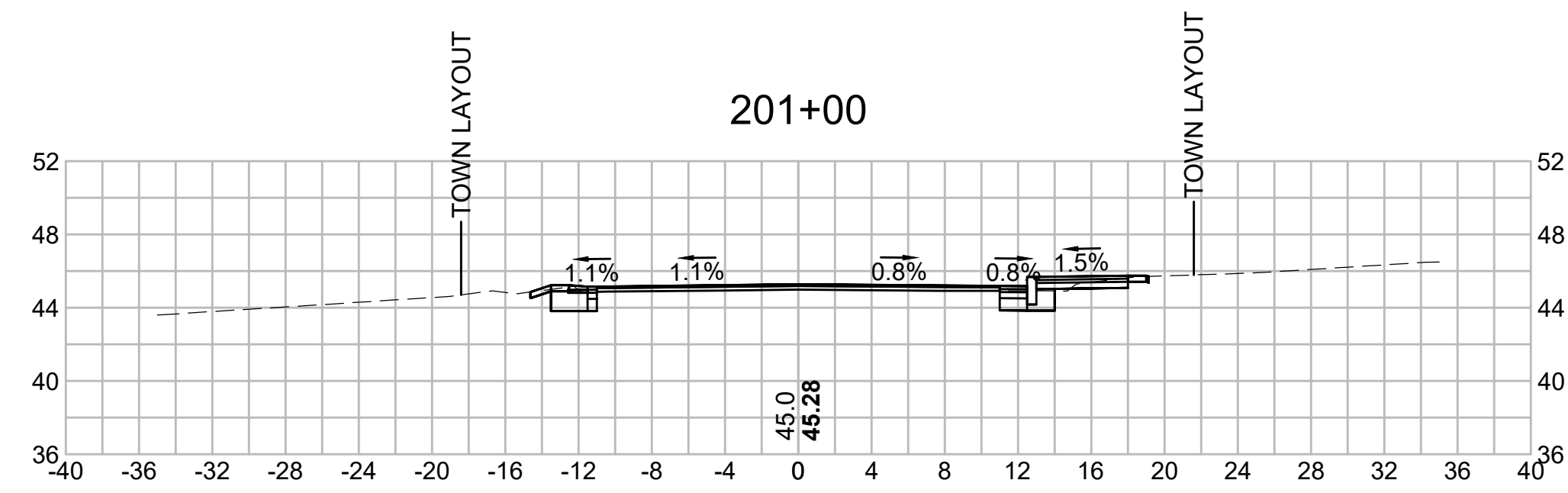
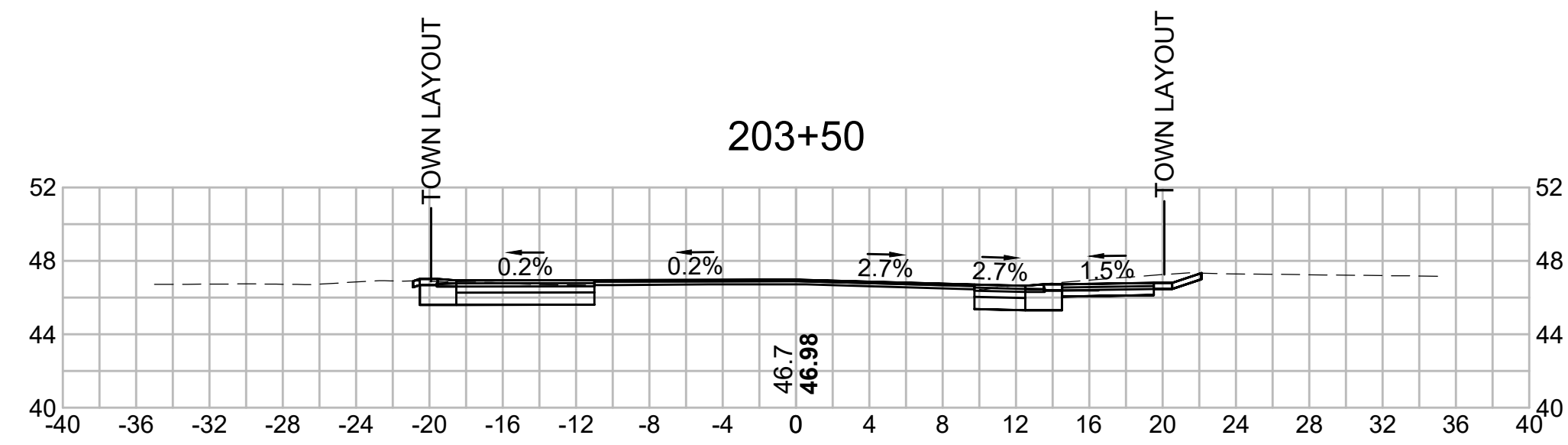
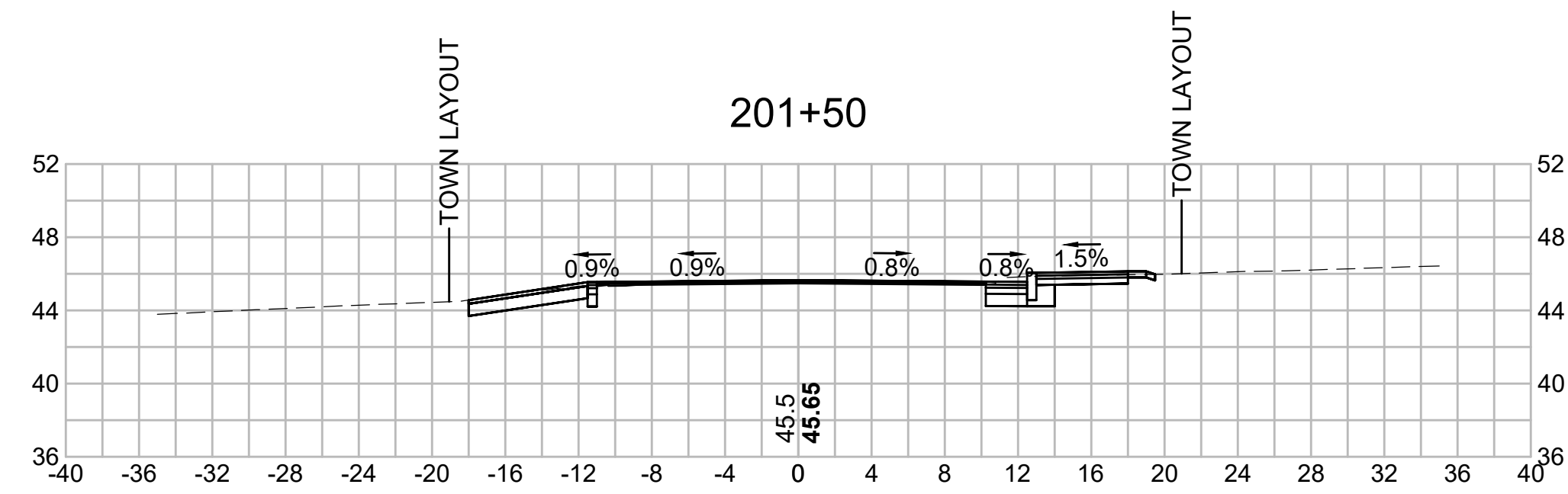
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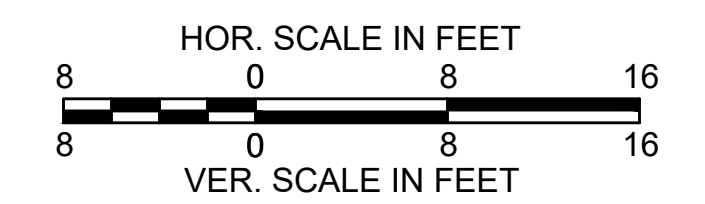
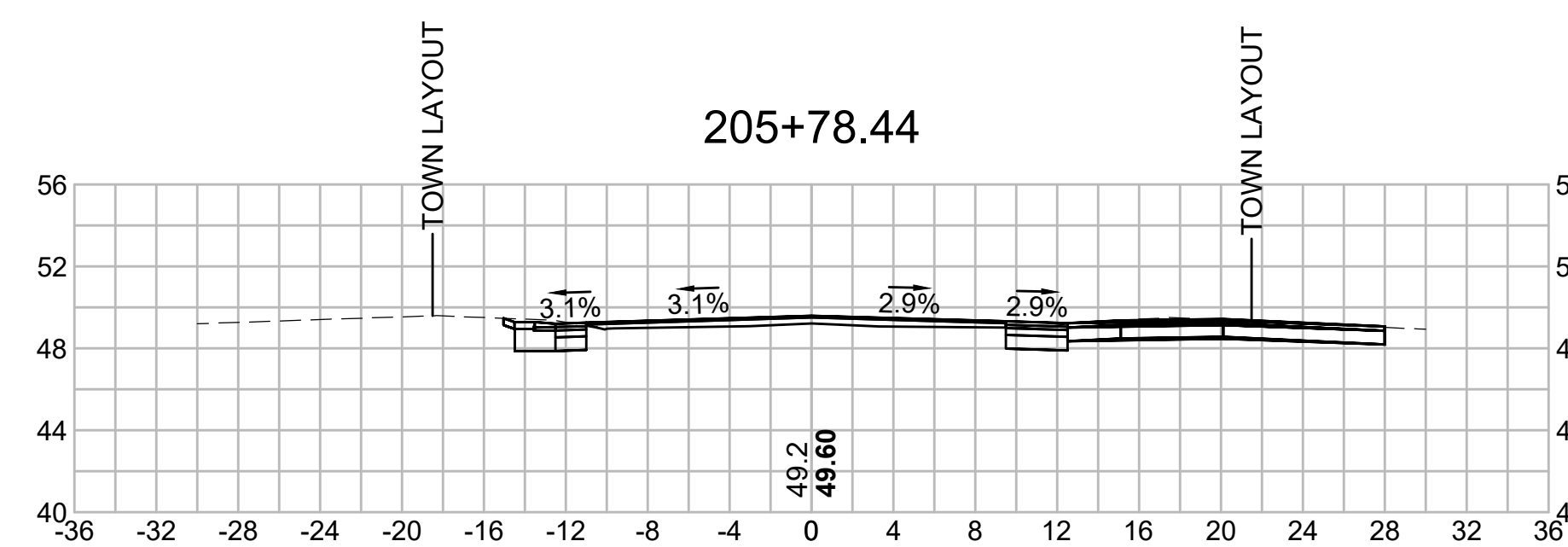
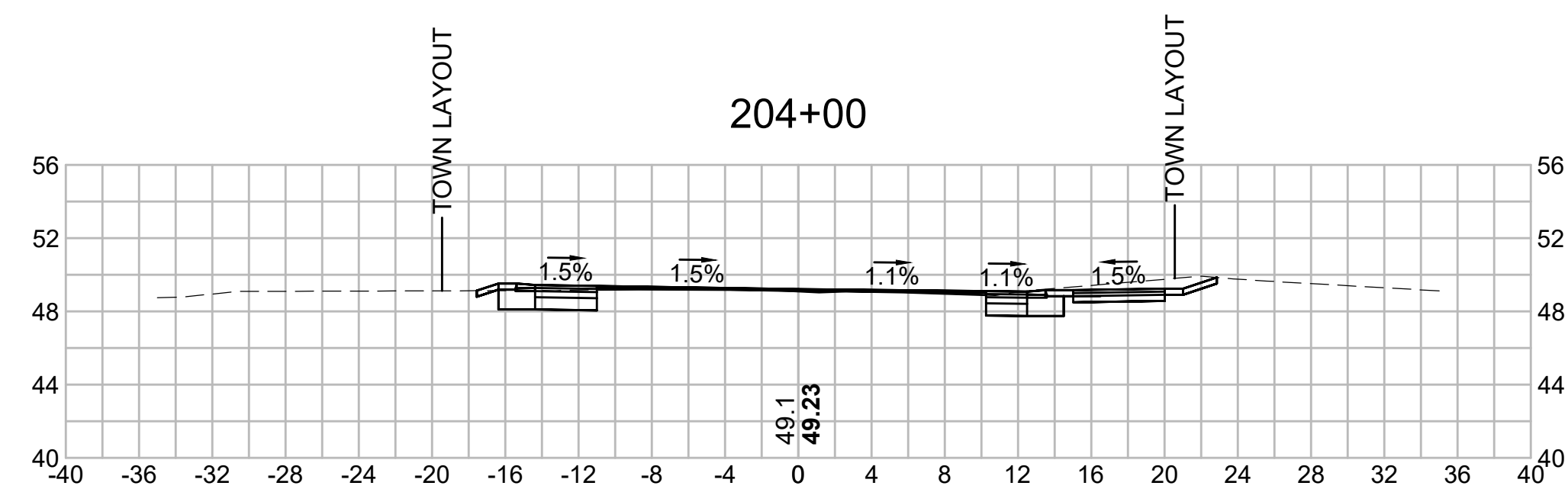
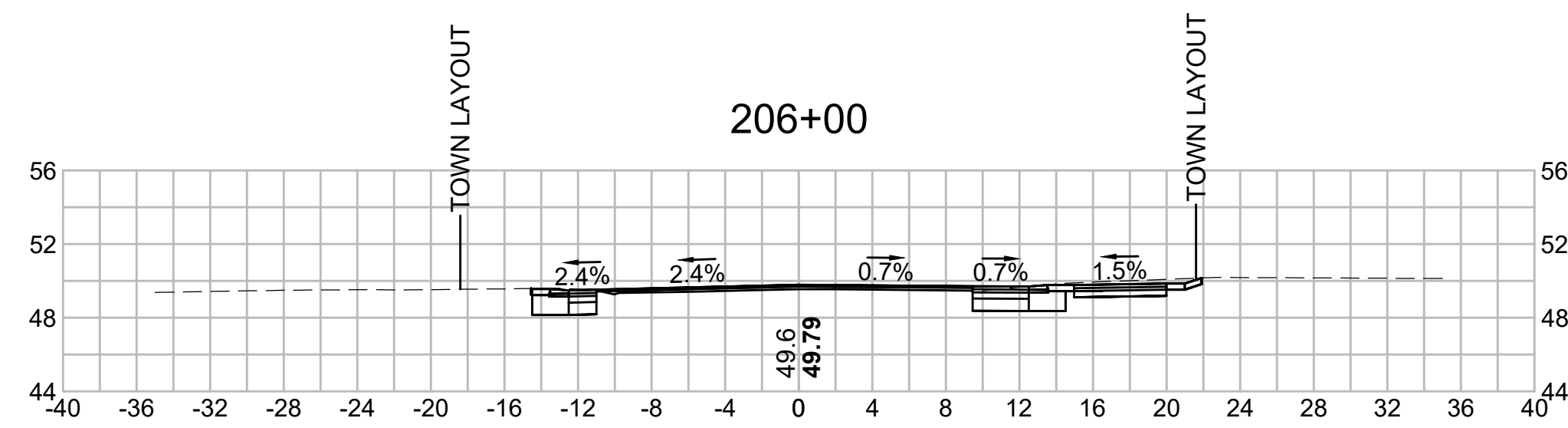
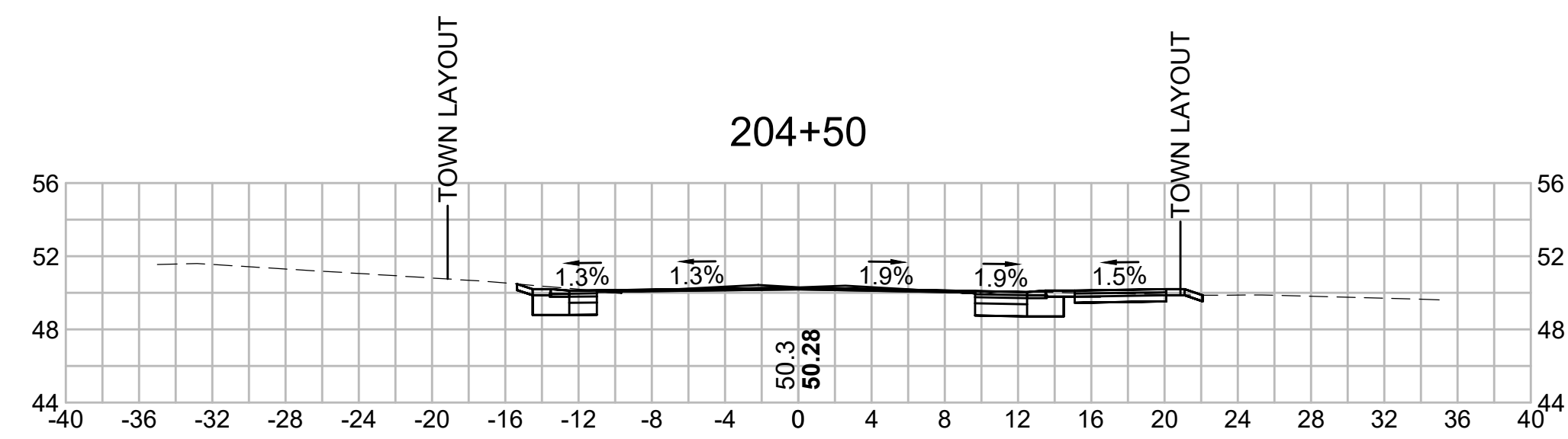
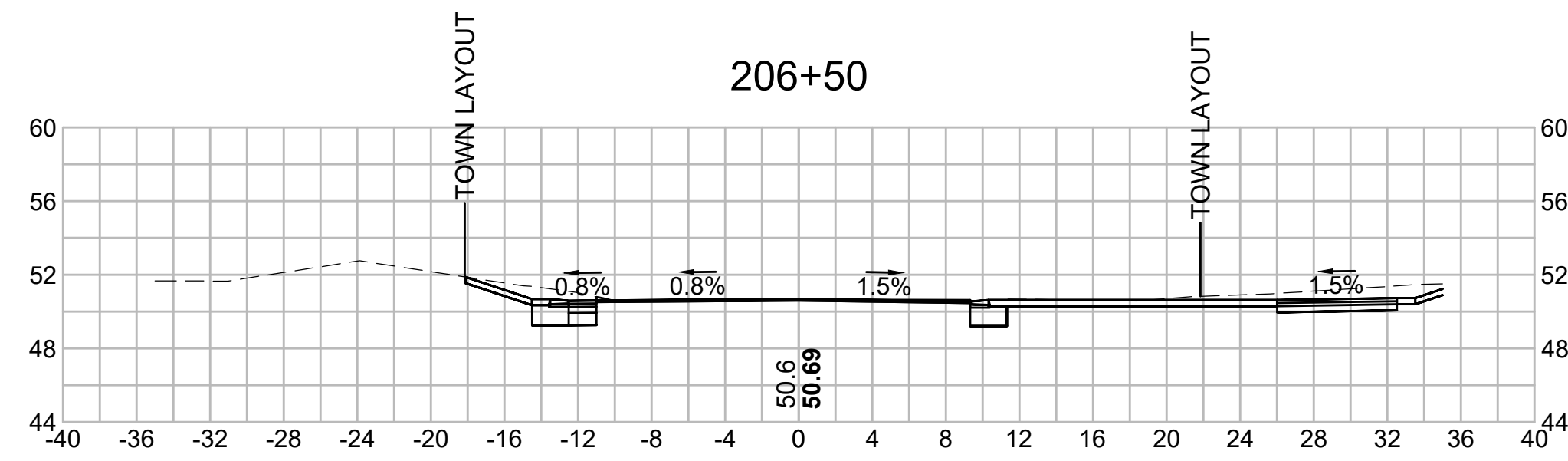
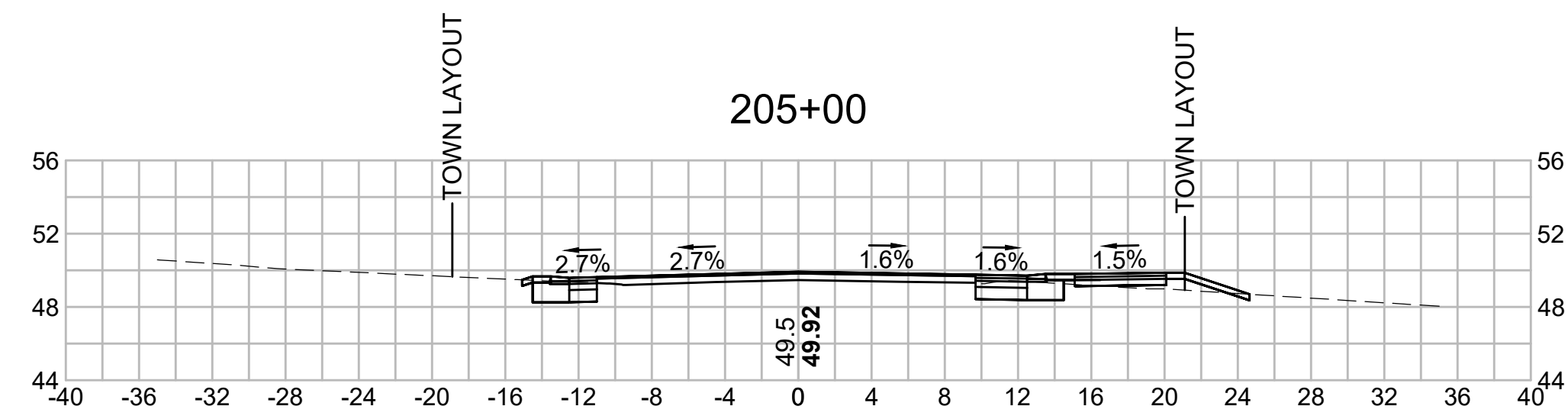
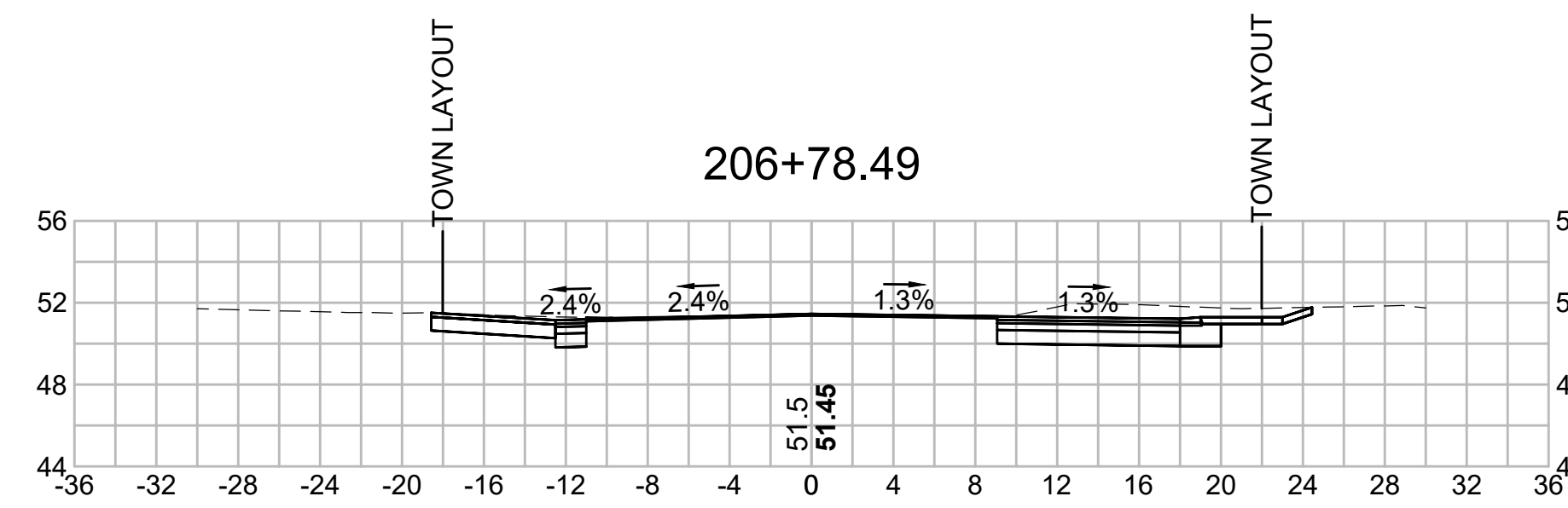
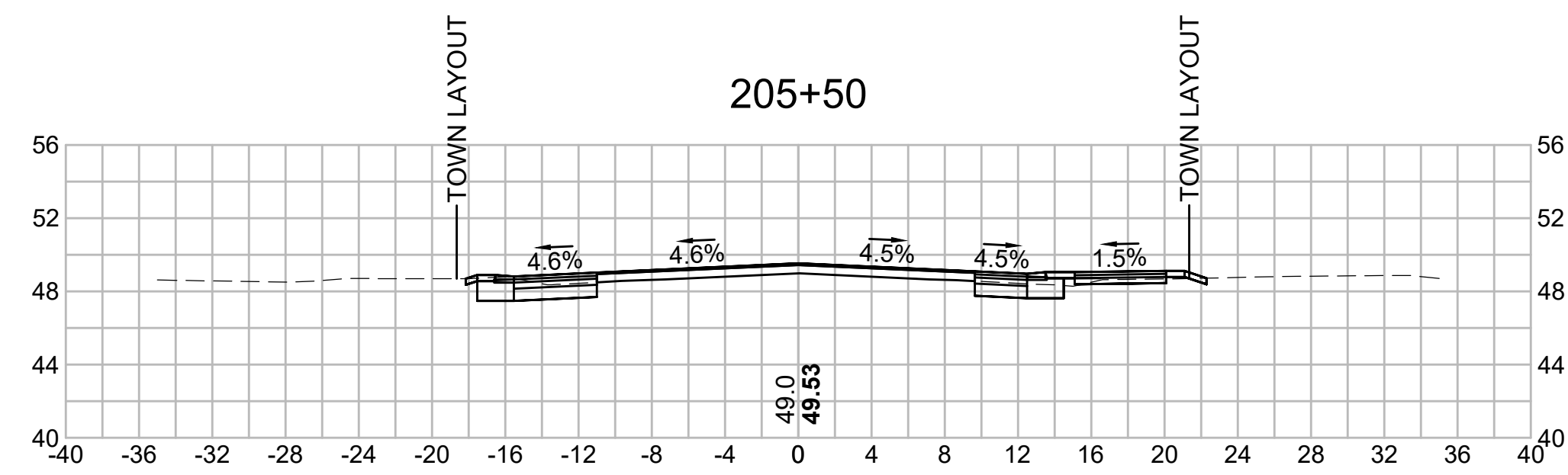
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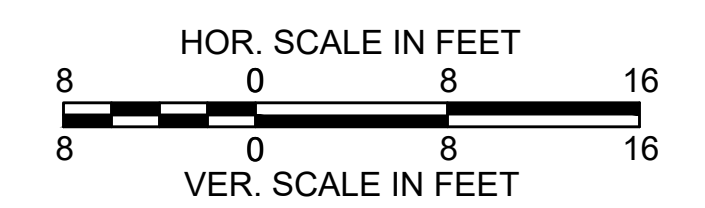
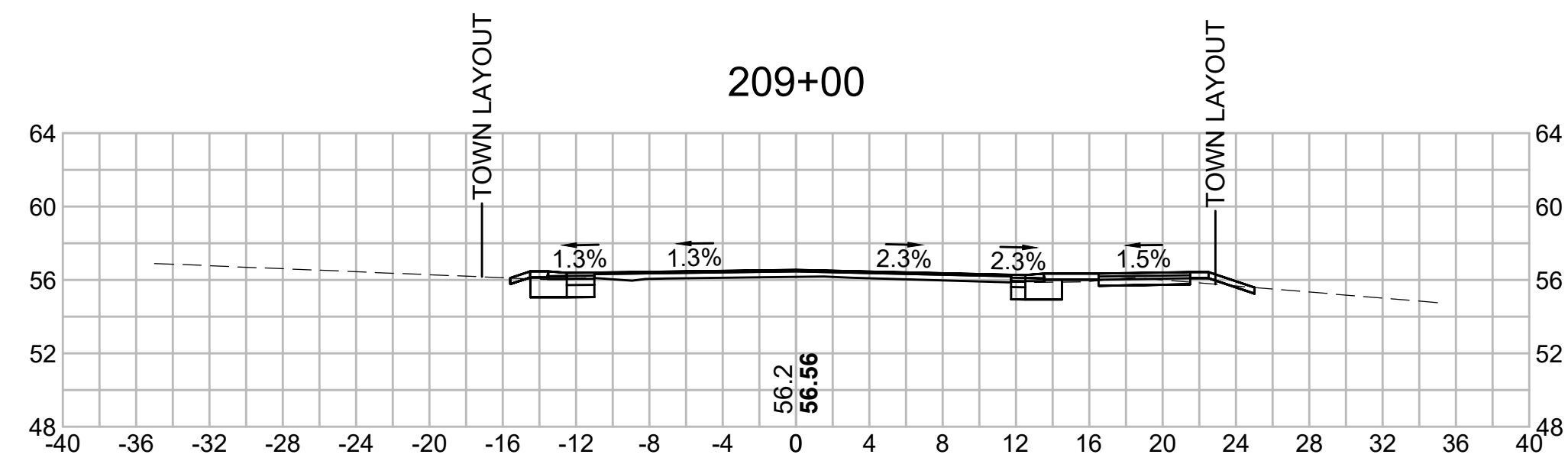
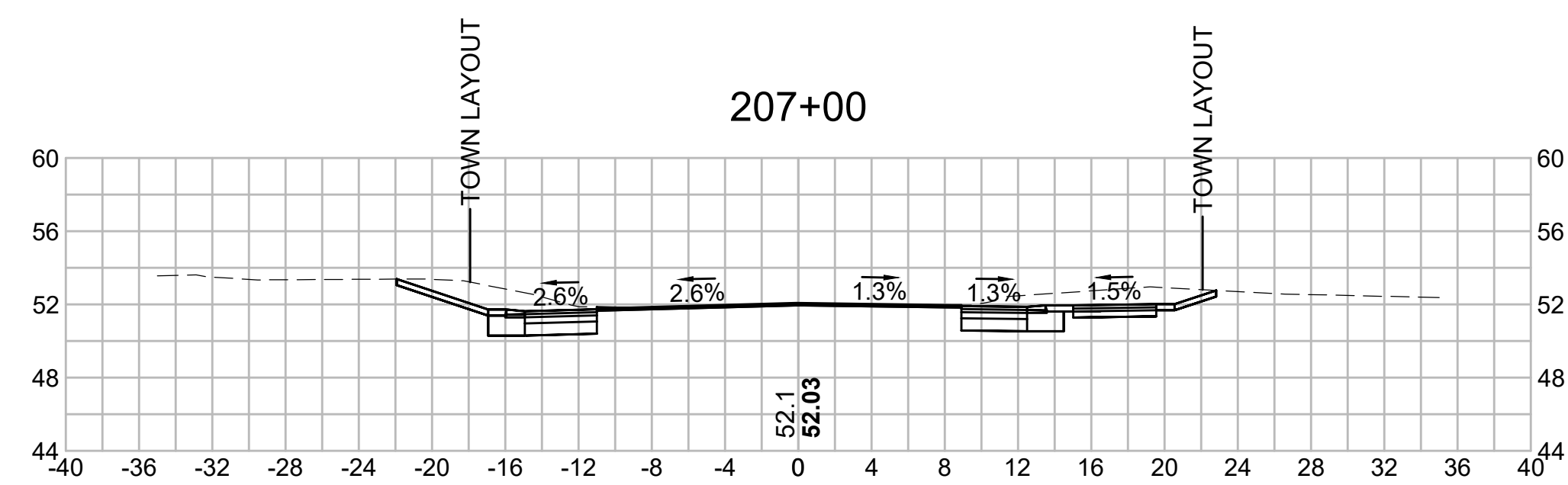
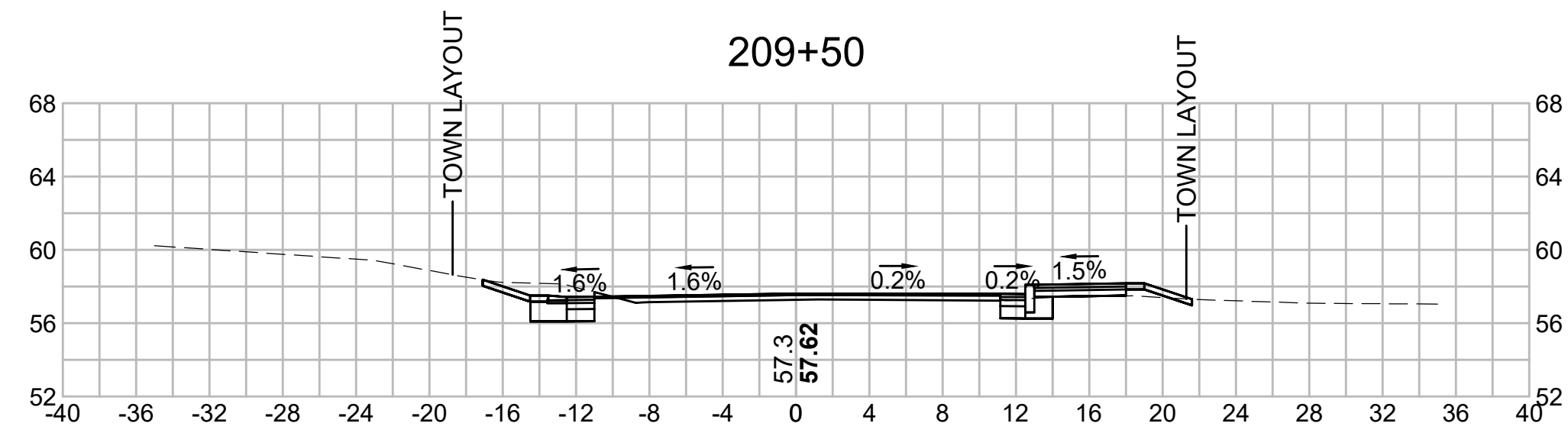
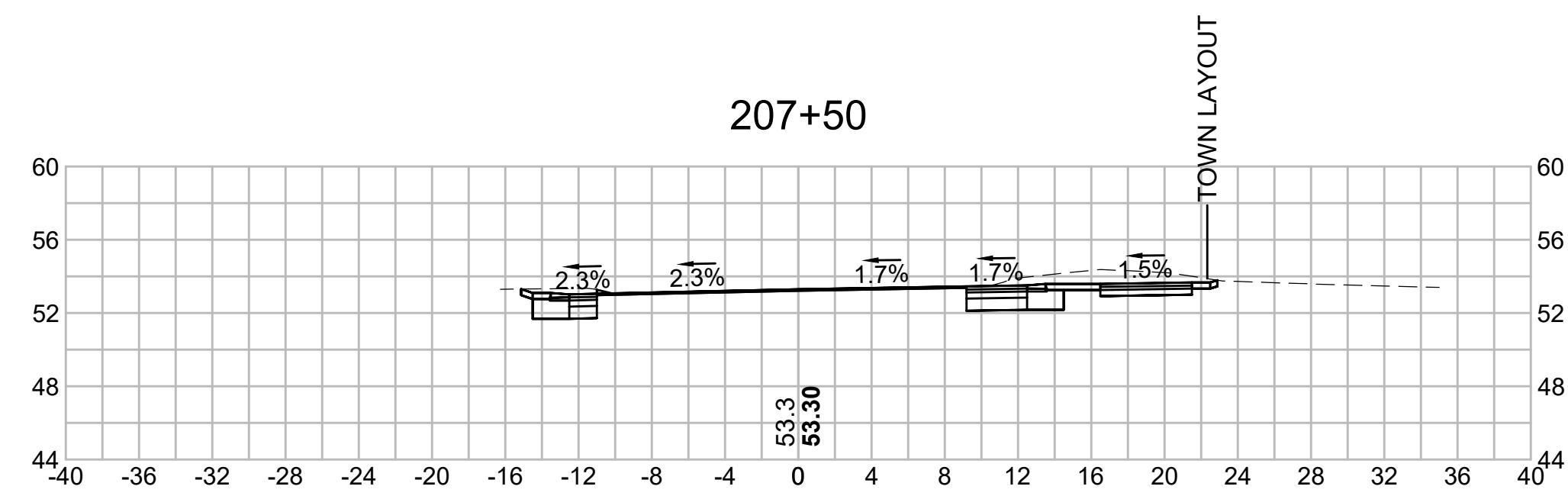
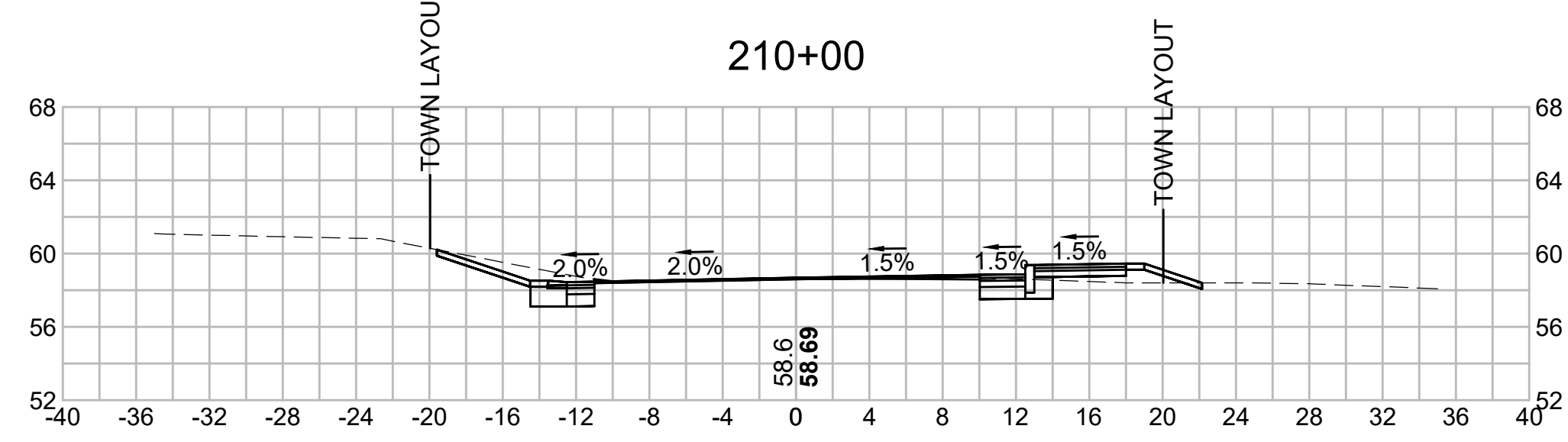
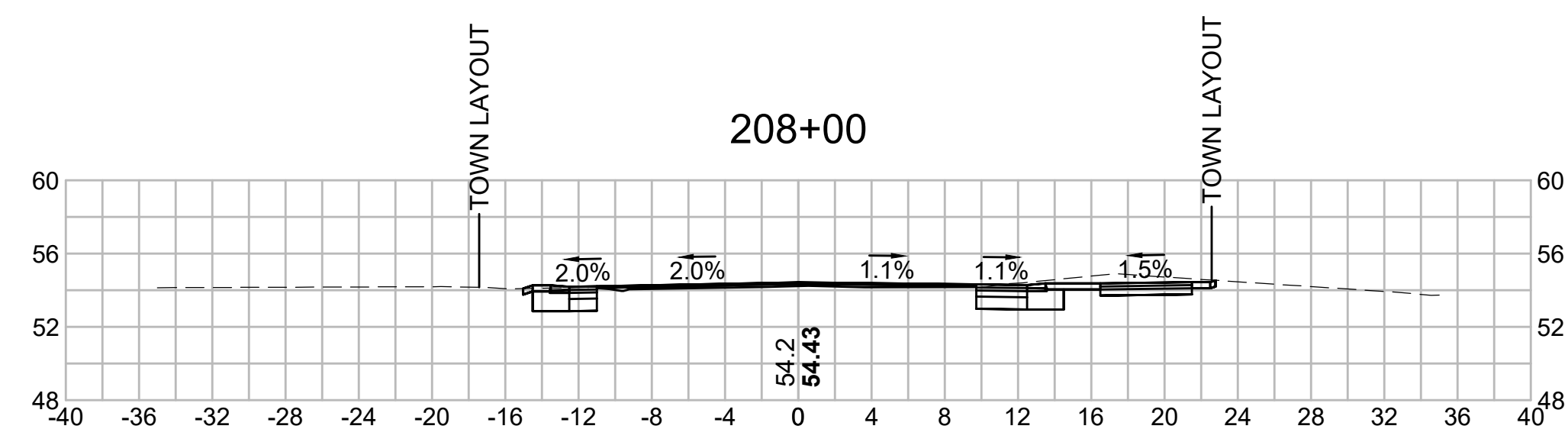
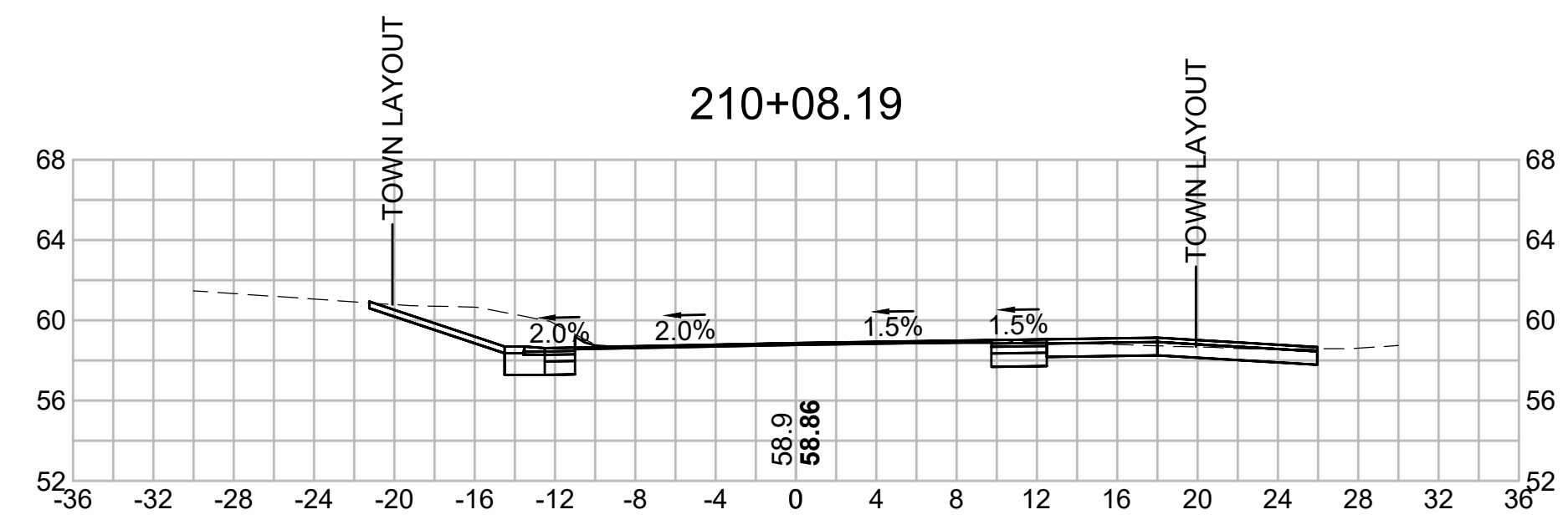
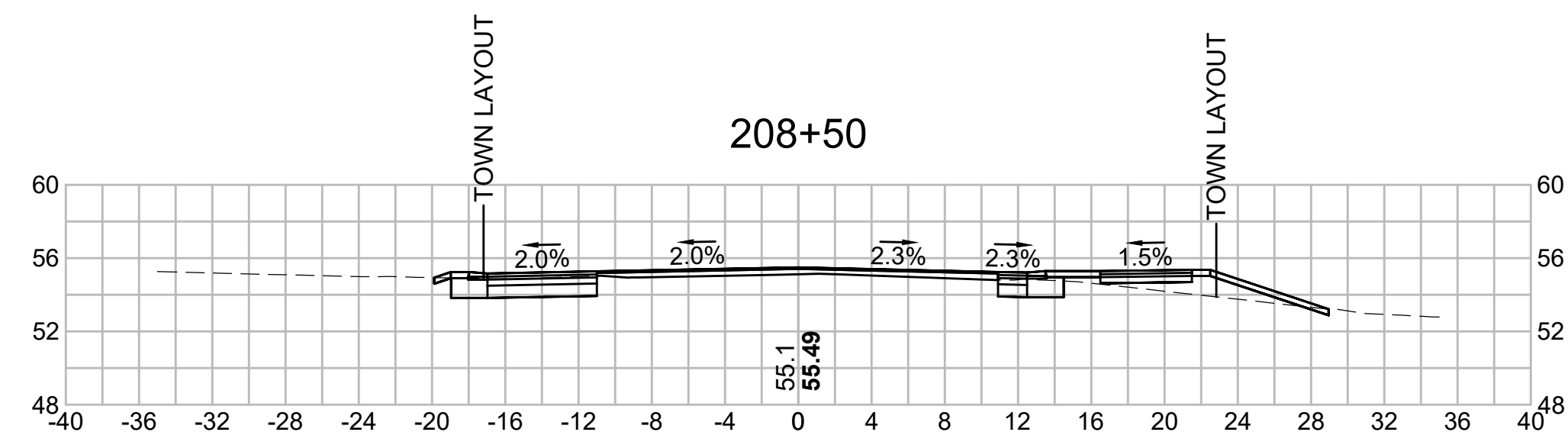
- INSTALL SILT SACK IN EXISTING CATCH BASINS, BEFORE COMMENCING WORK, AND IN NEW CATCH BASINS IMMEDIATELY AFTER INSTALLATION OF STRUCTURE. MAINTAIN UNTIL BINDER COURSE PAVING IS COMPLETE OR A PERMANENT STAND OF GRASS HAS BEEN ESTABLISHED.
- GRATE TO BE PLACED OVER SILT SACK.
- SILT SACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED

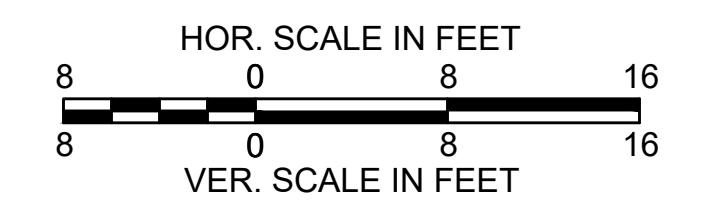
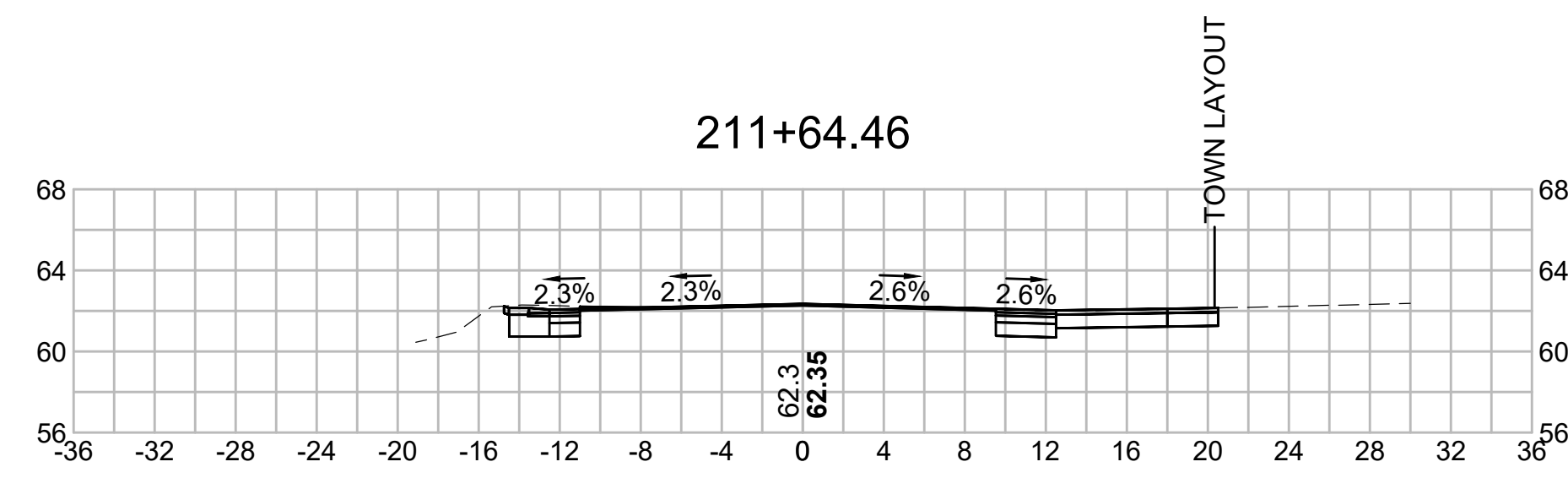
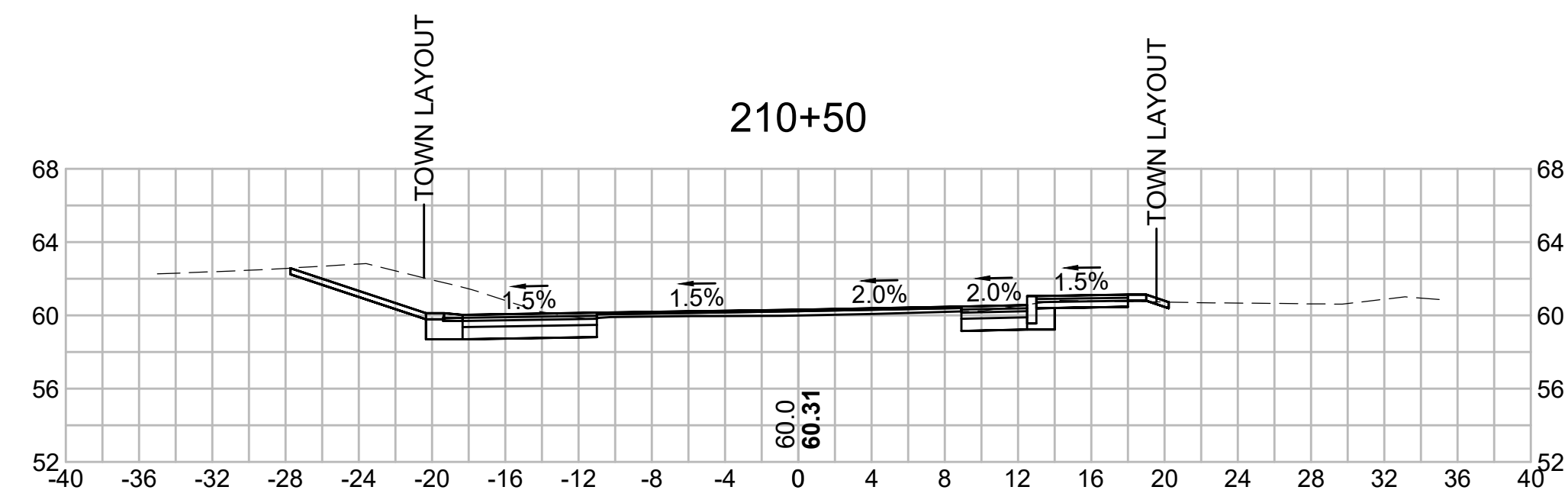
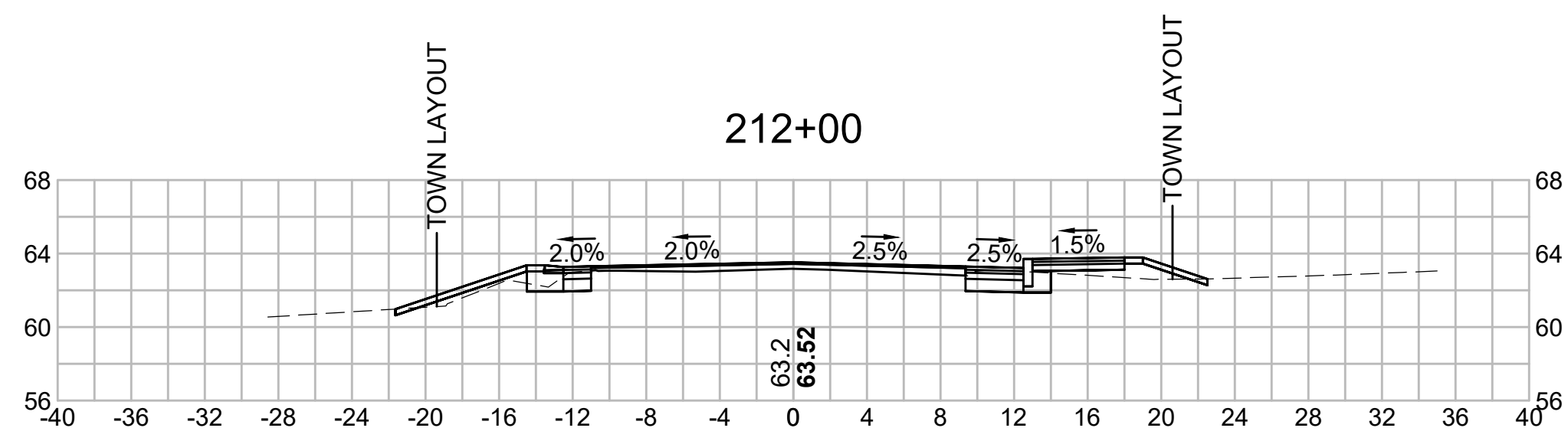
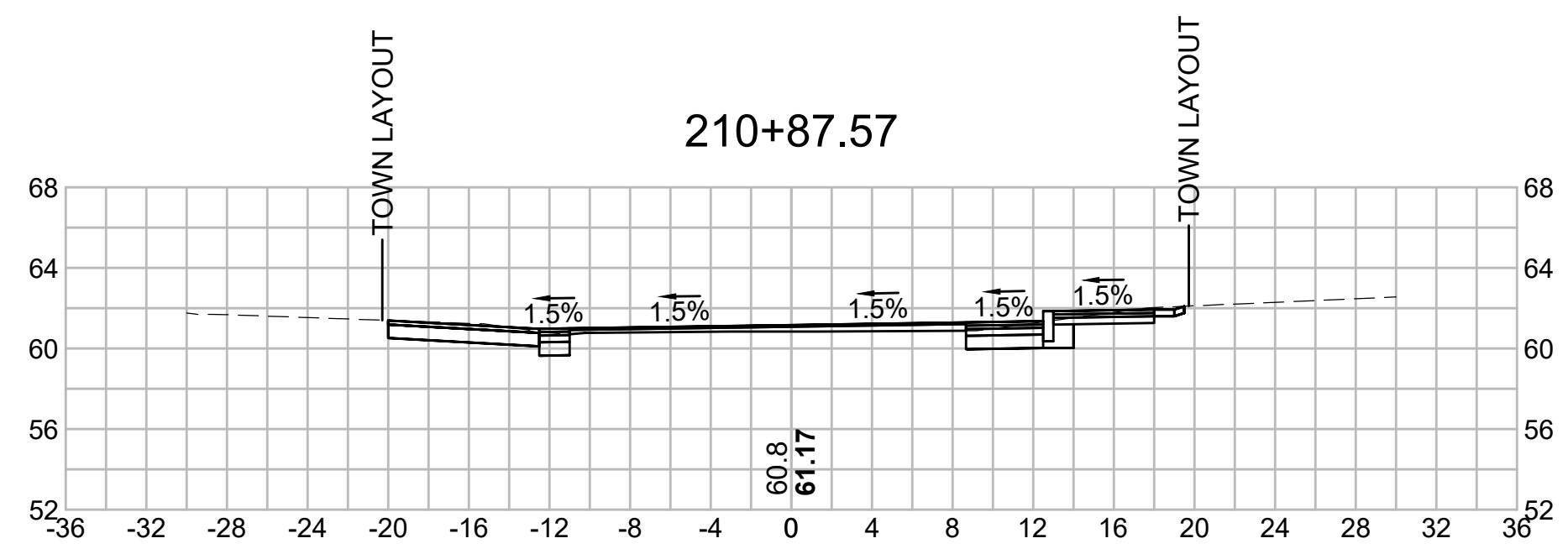
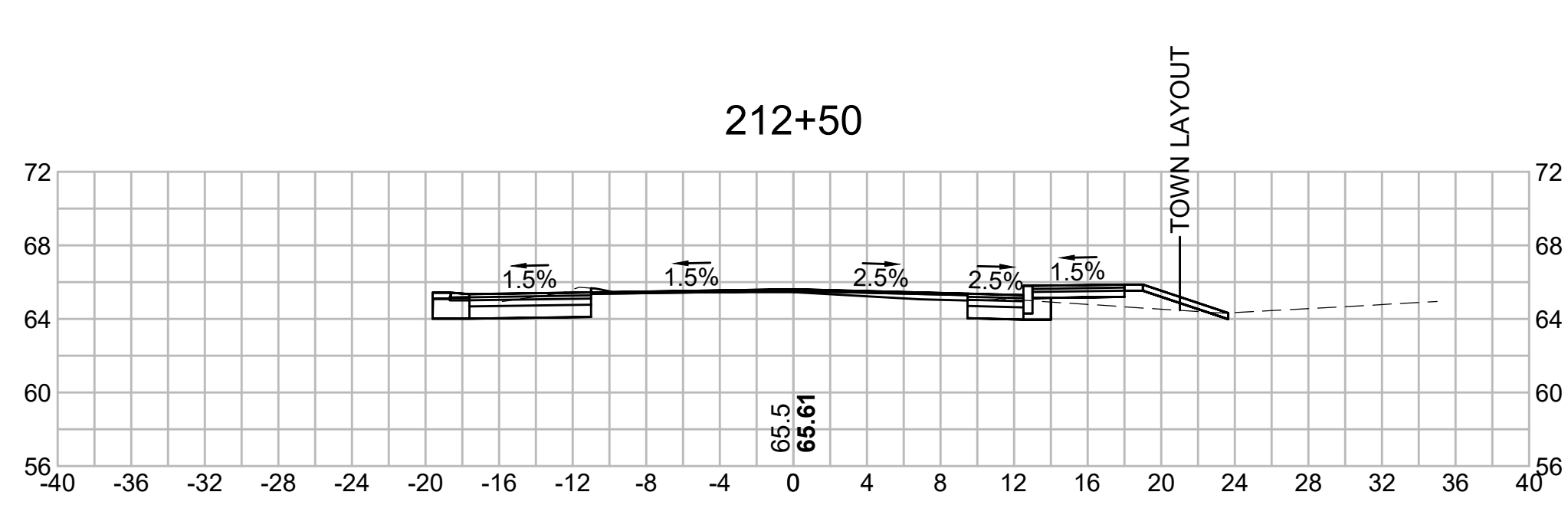
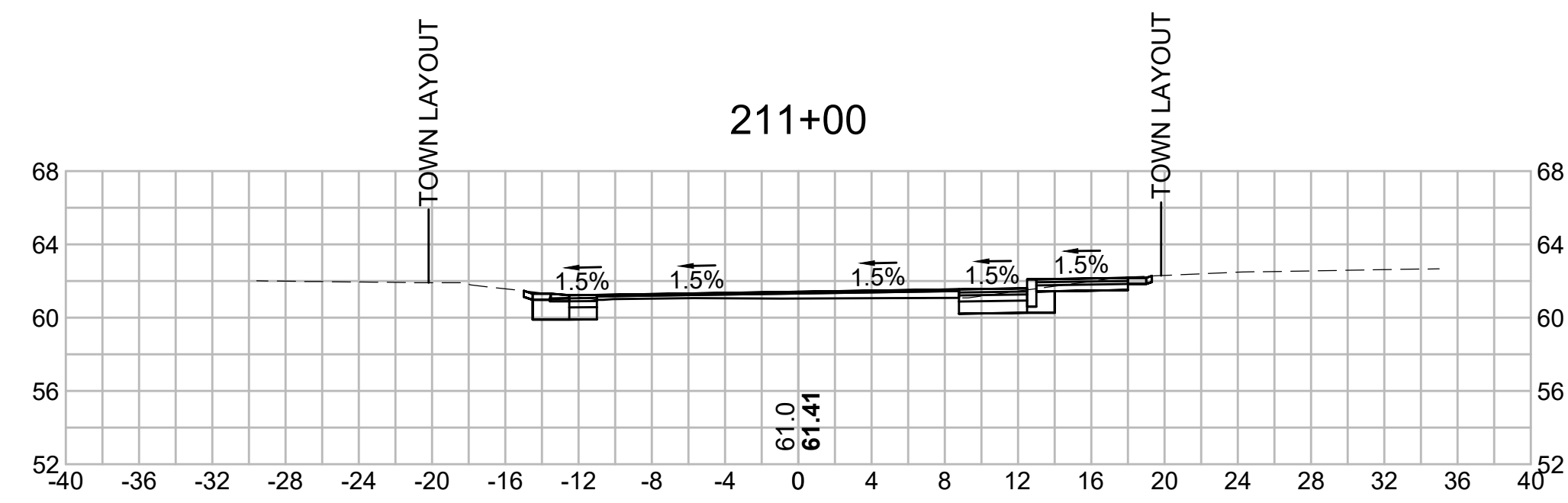
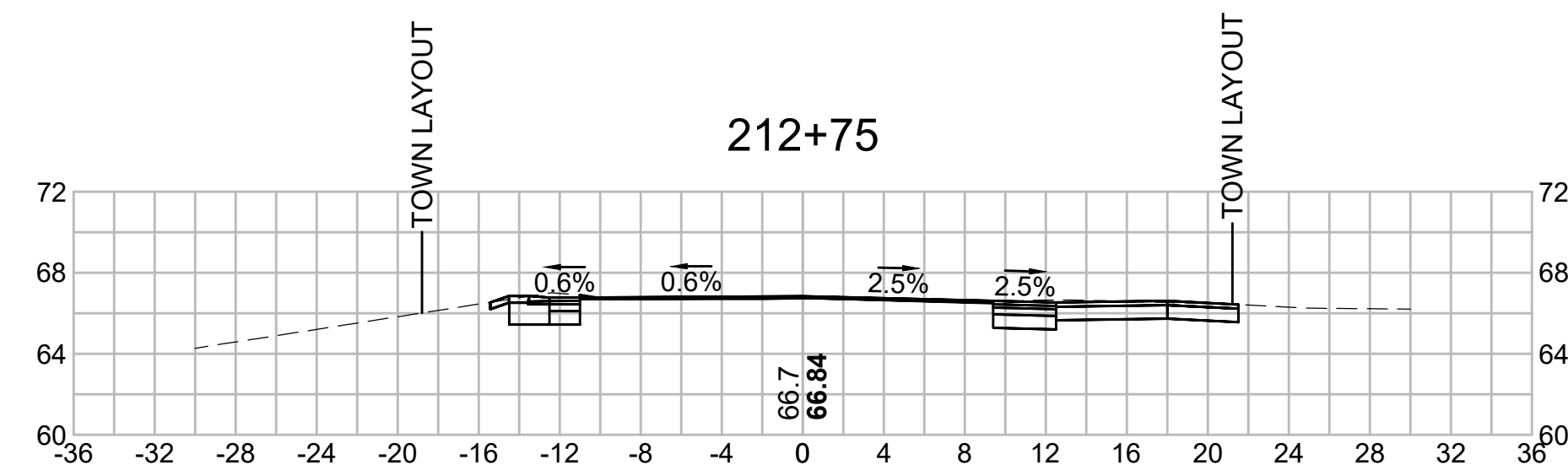
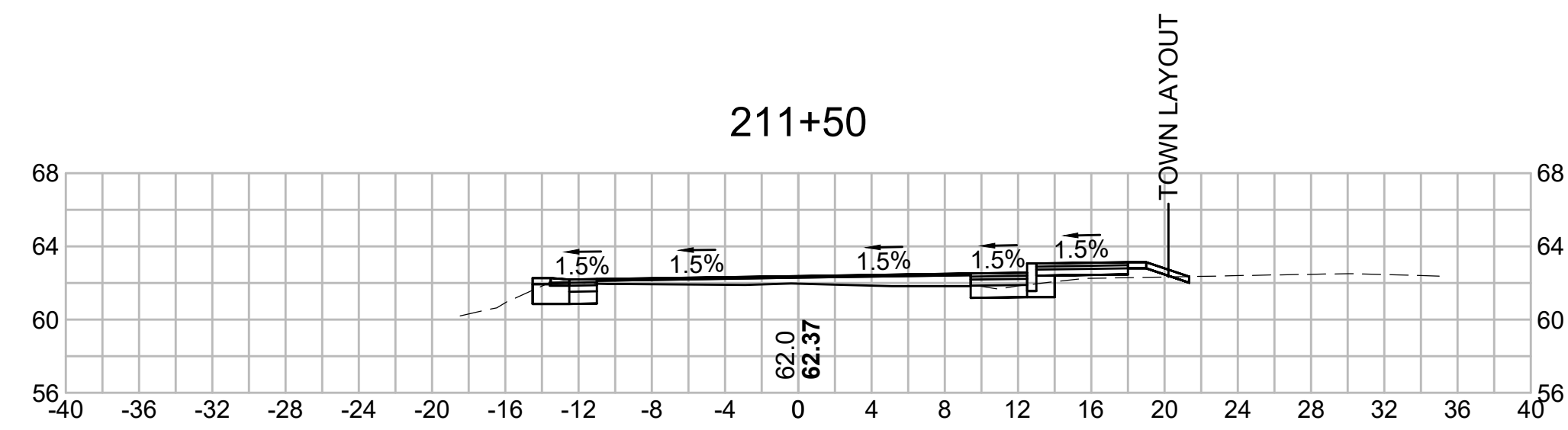
INLET PROTECTION - SILT SACK IN CATCH BASIN

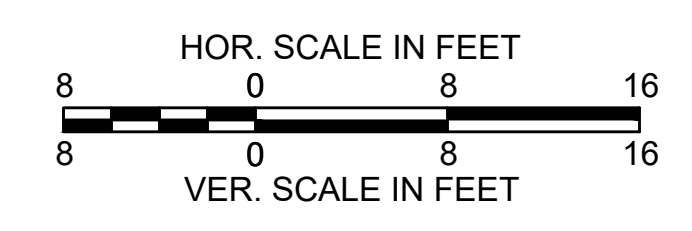
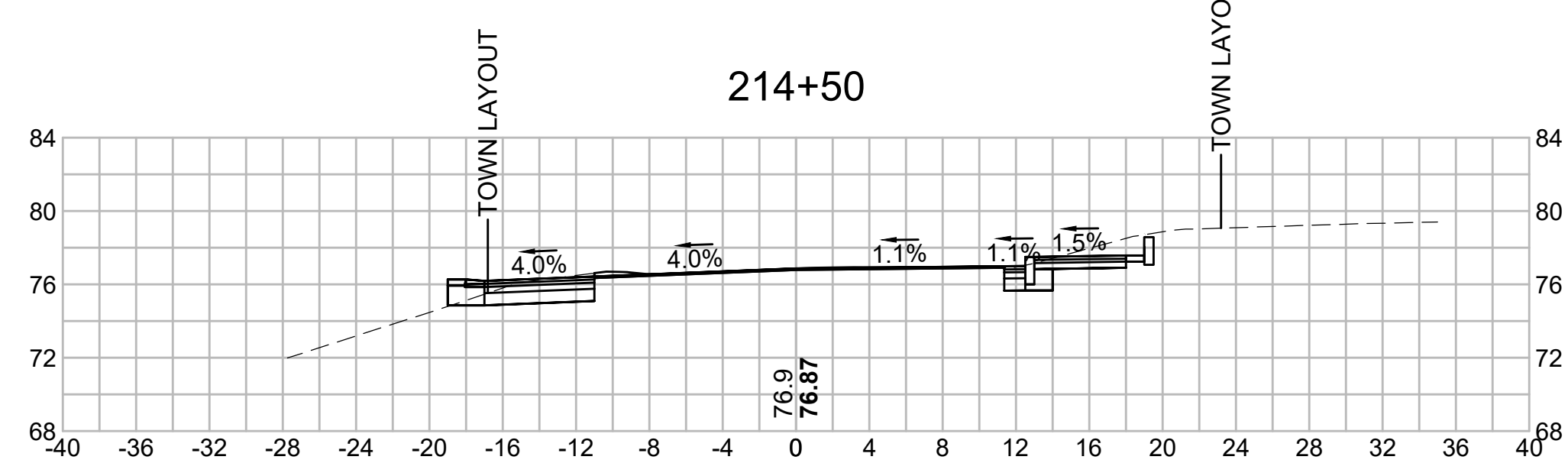
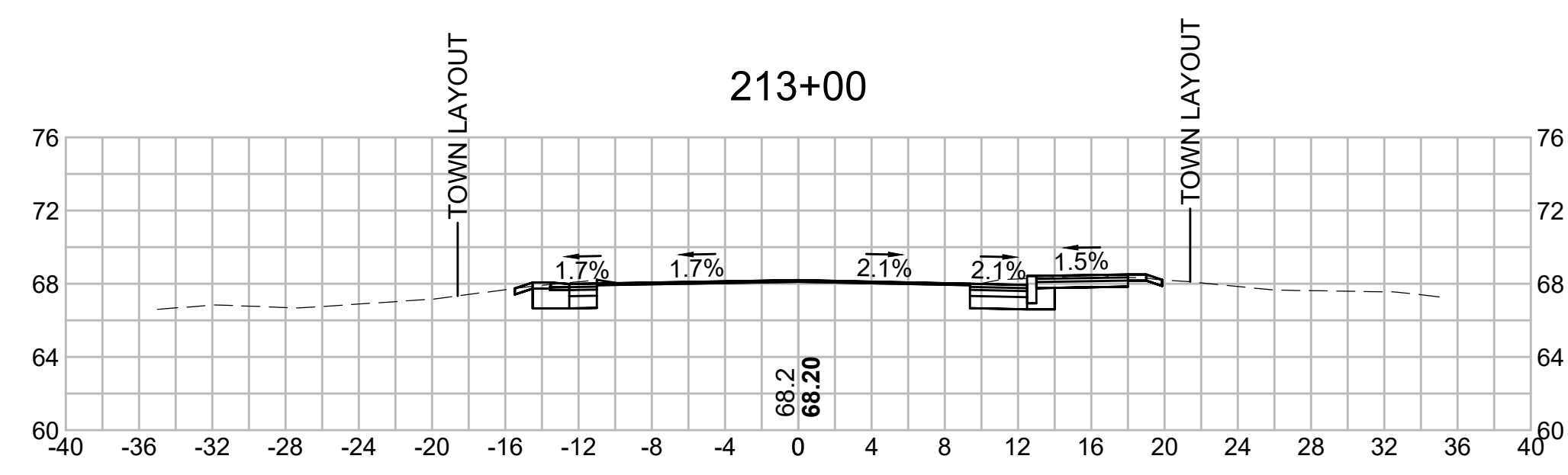
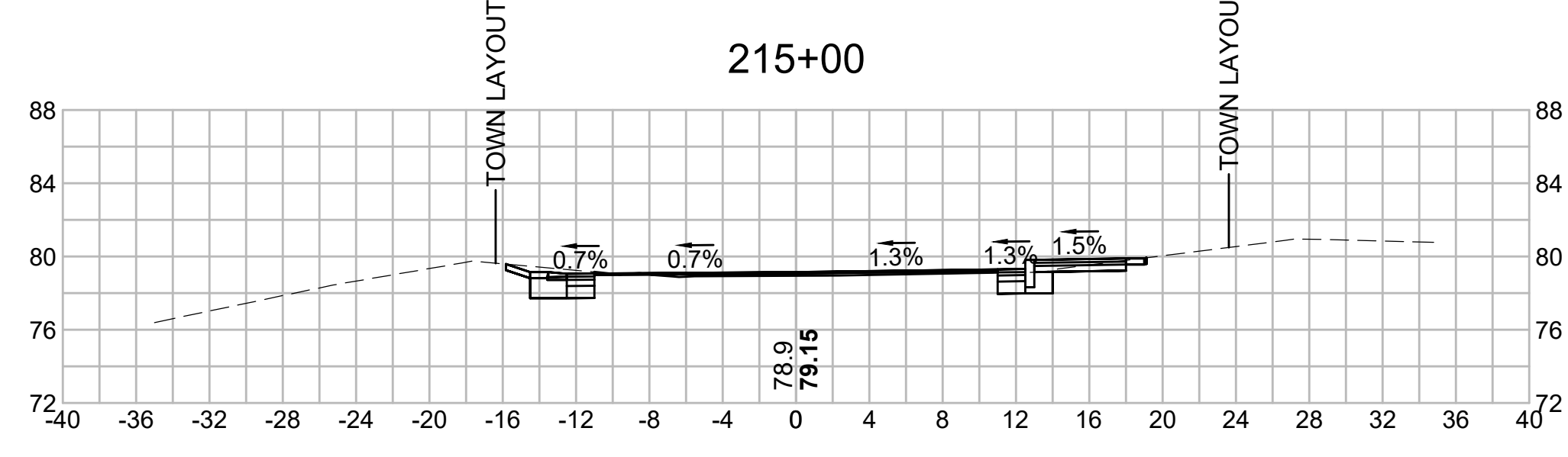
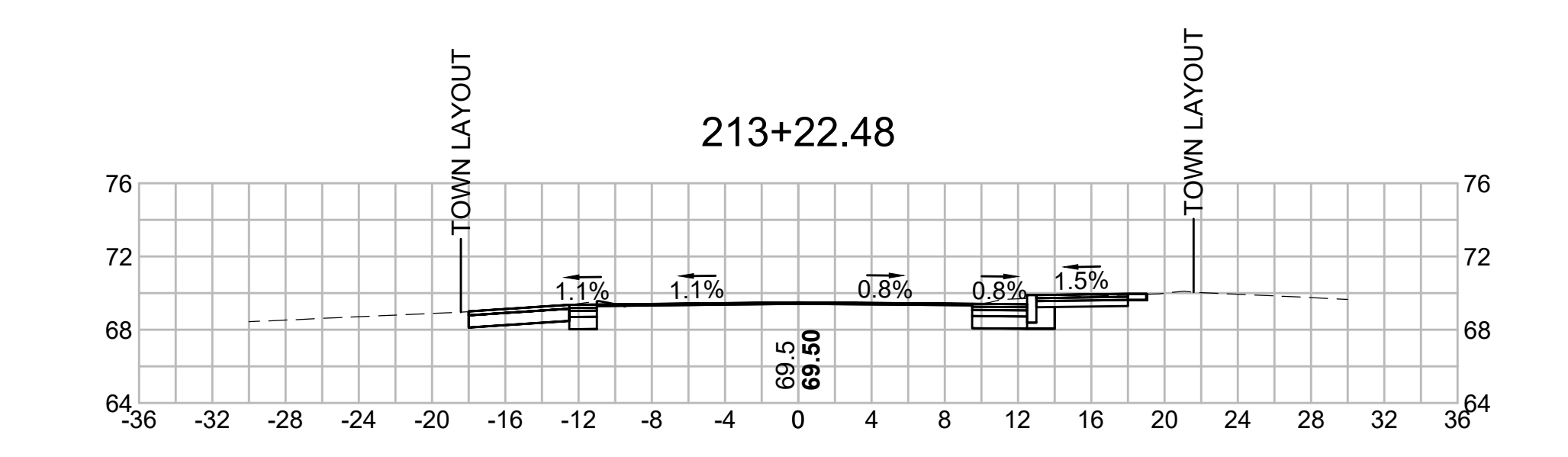
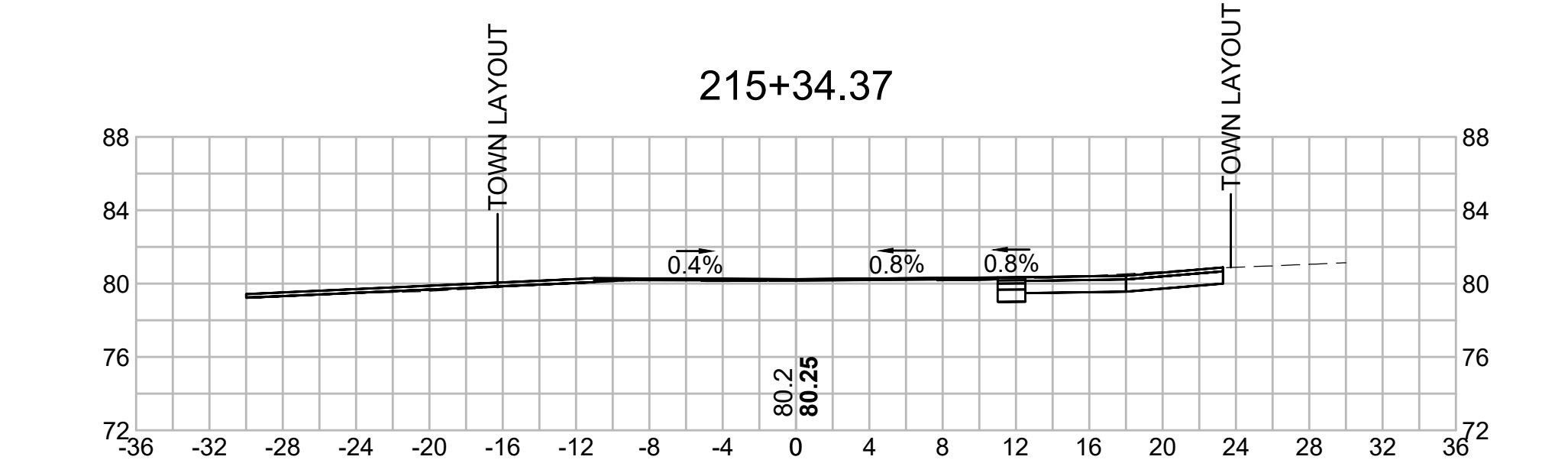
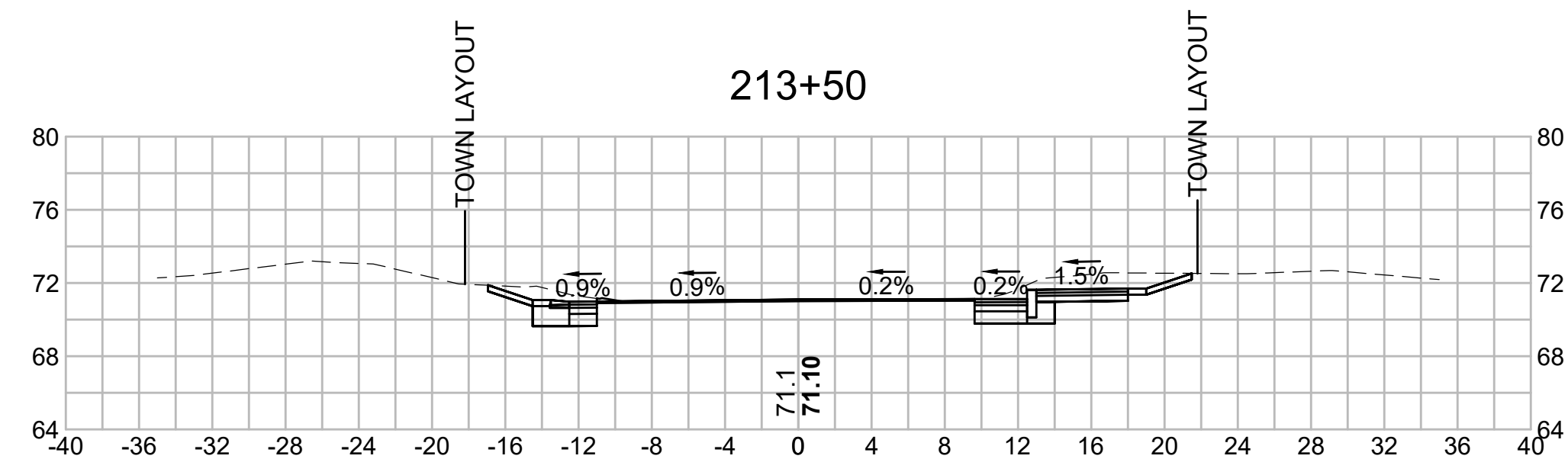
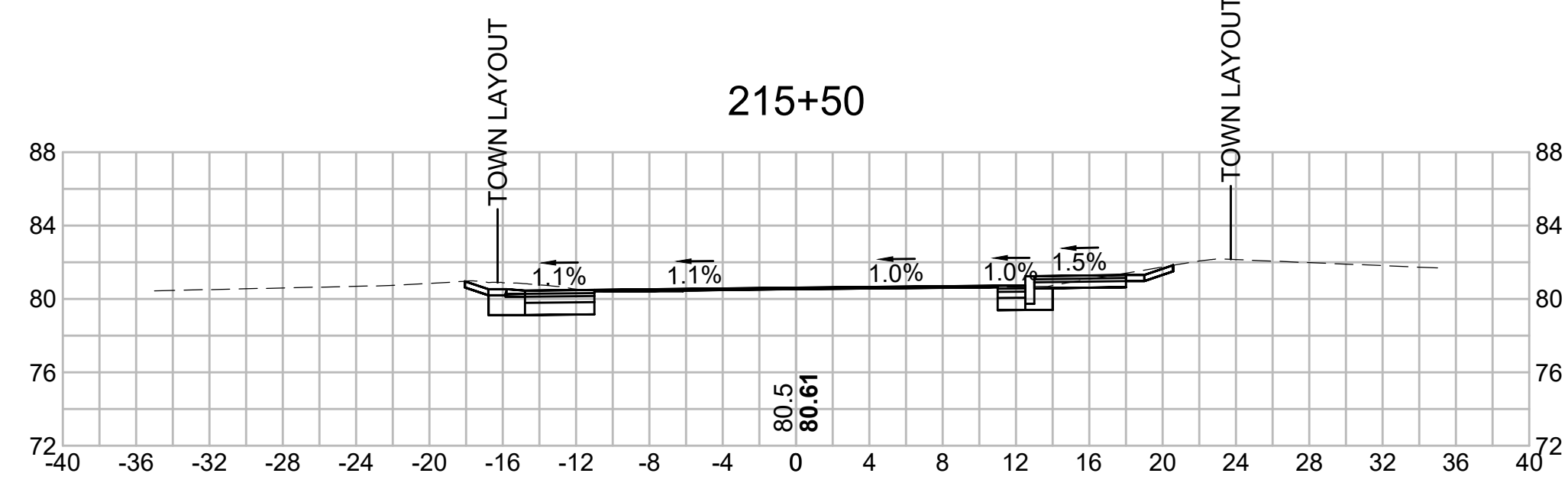
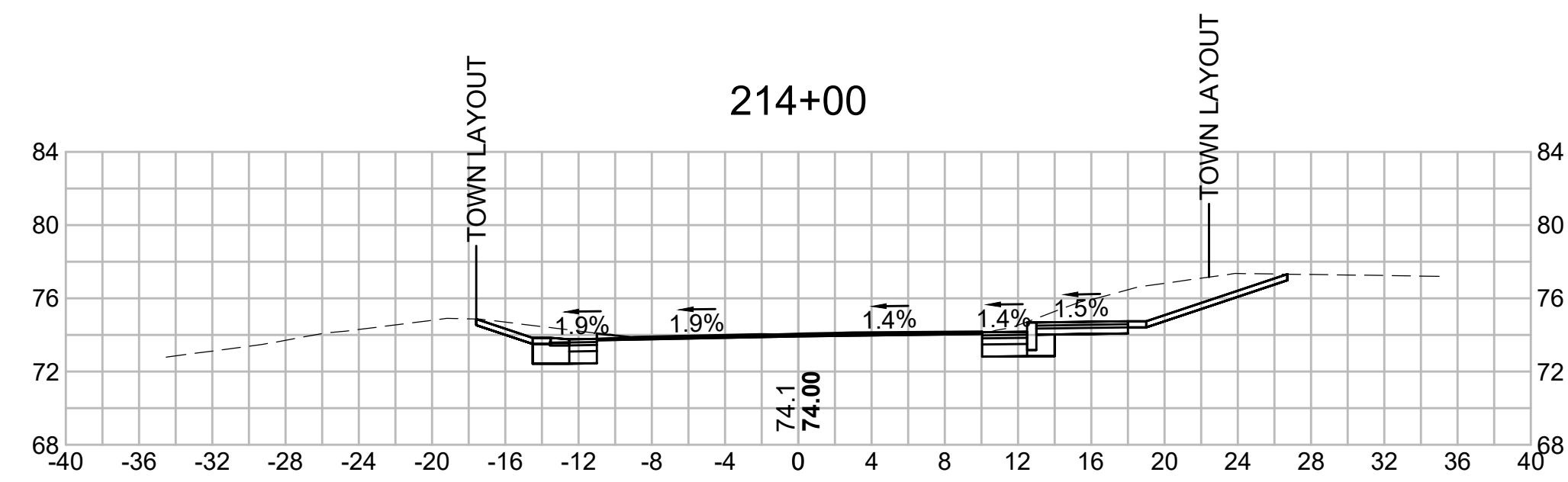
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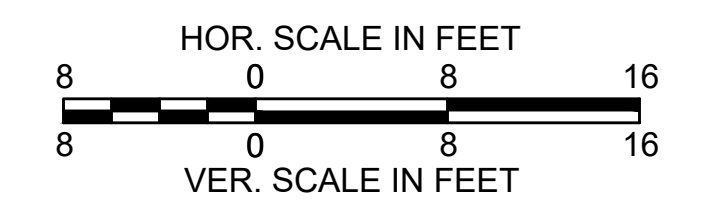
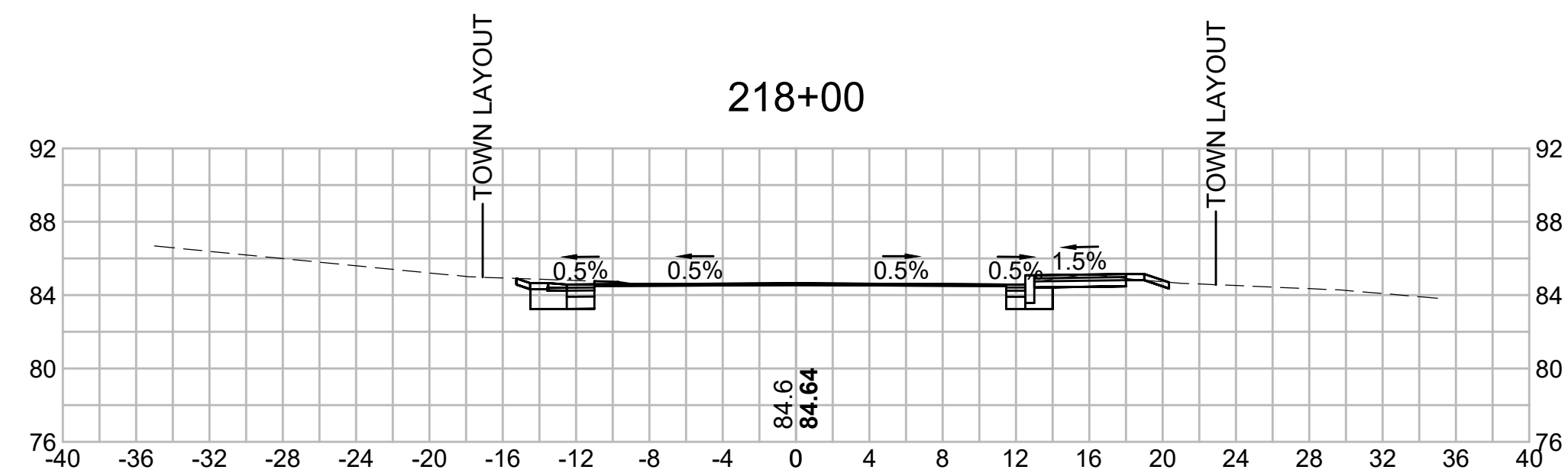
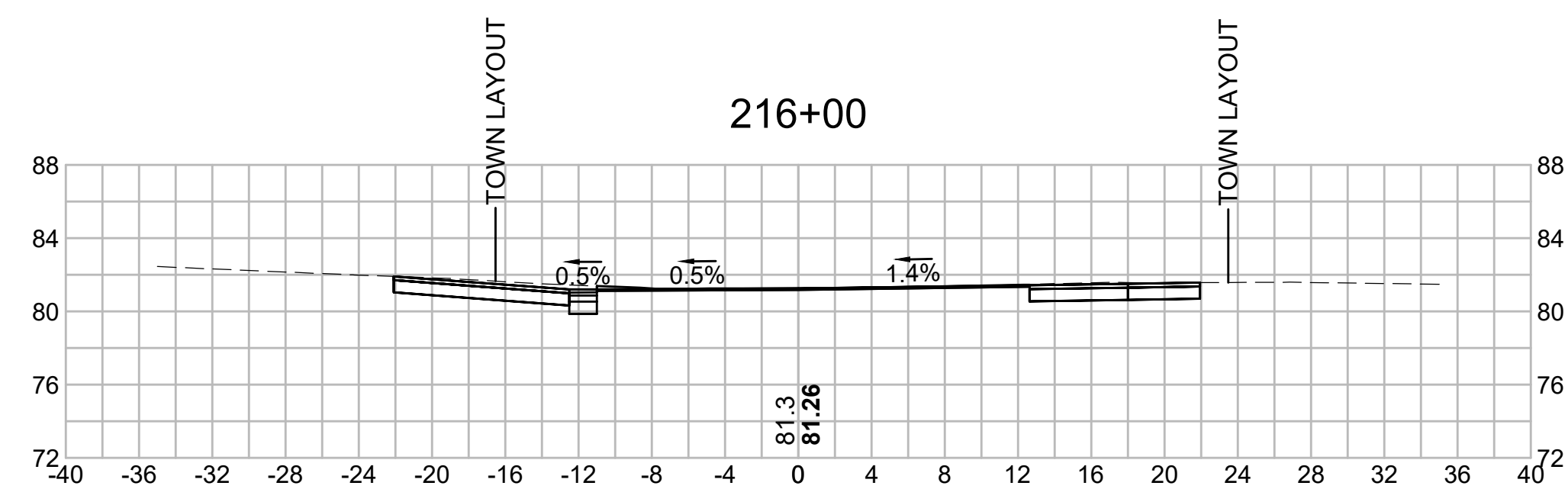
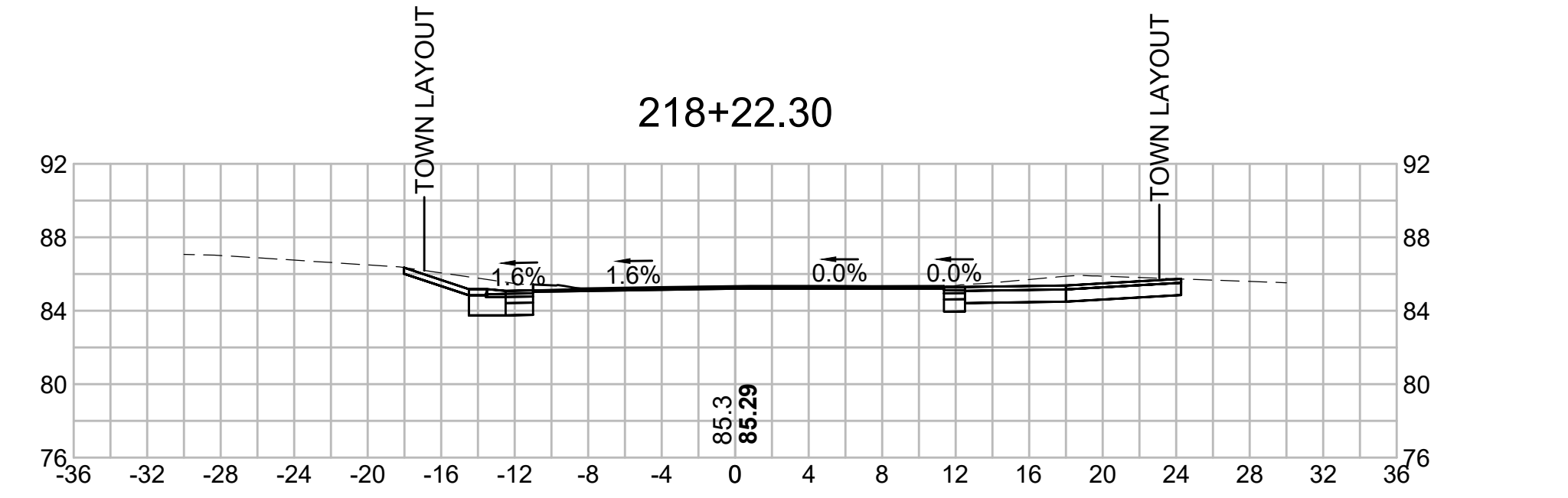
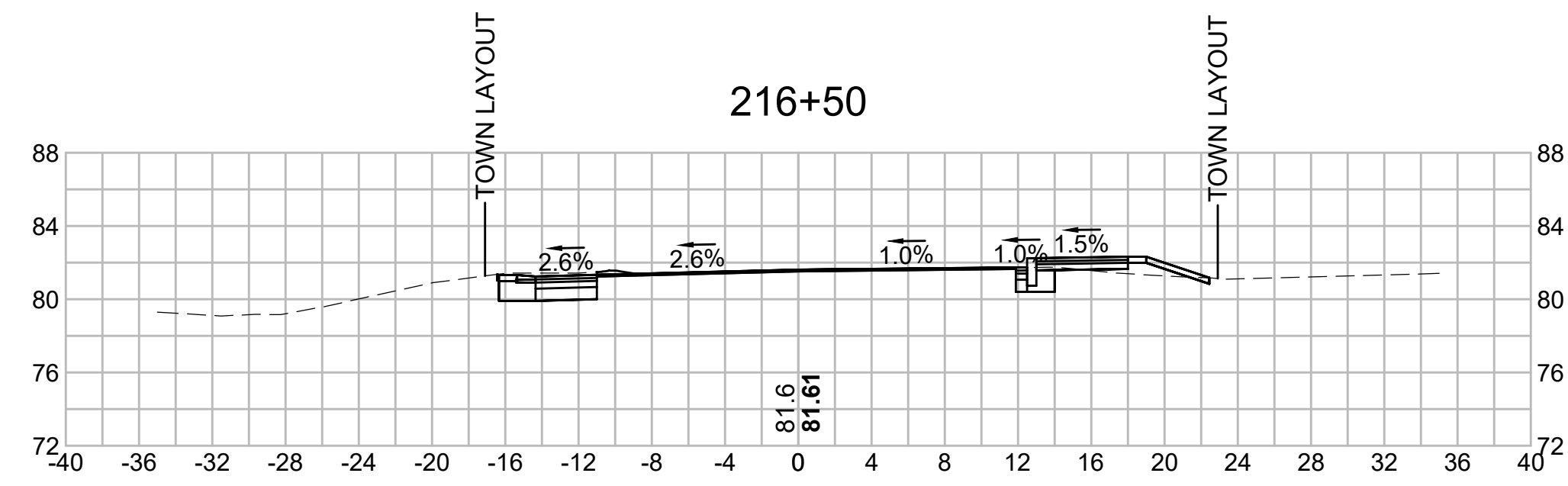
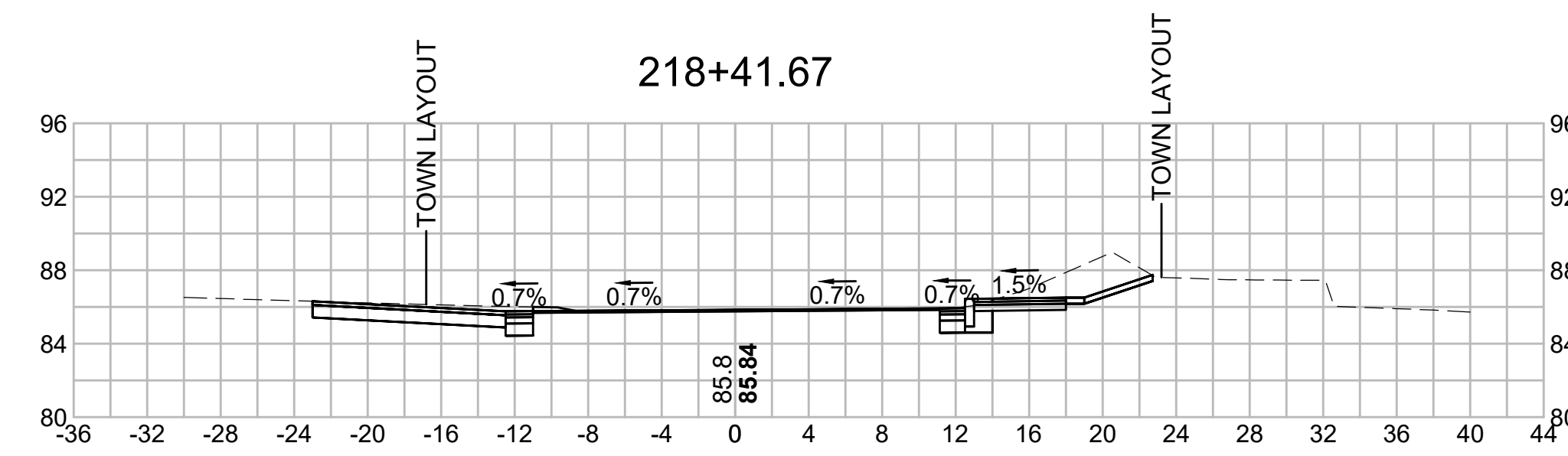
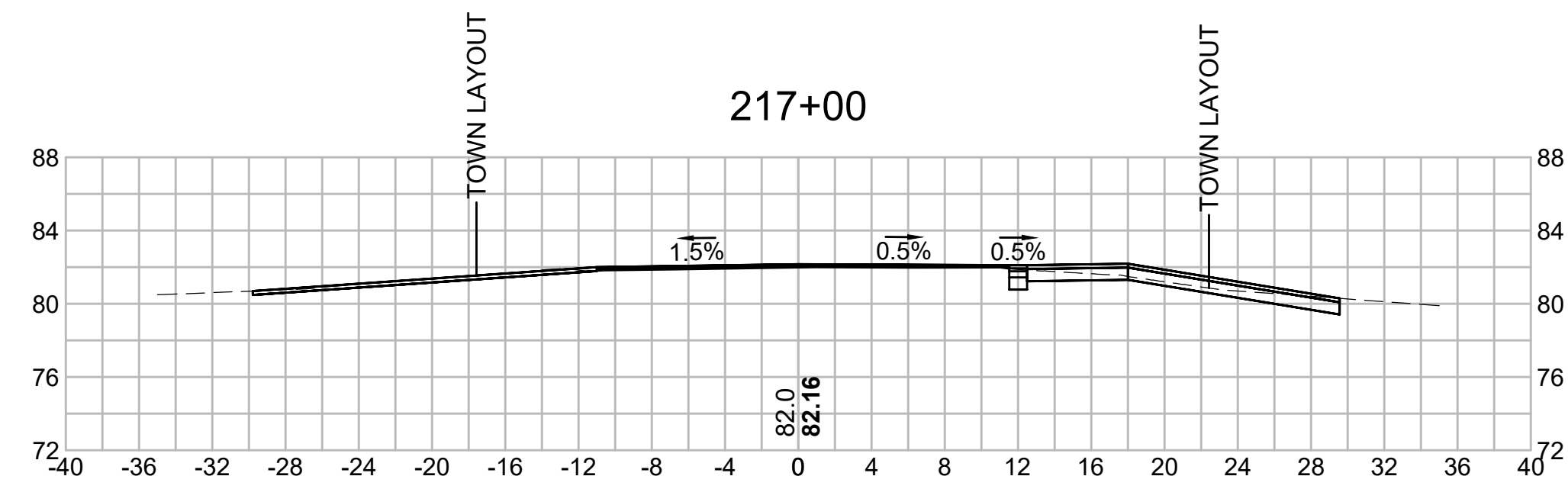
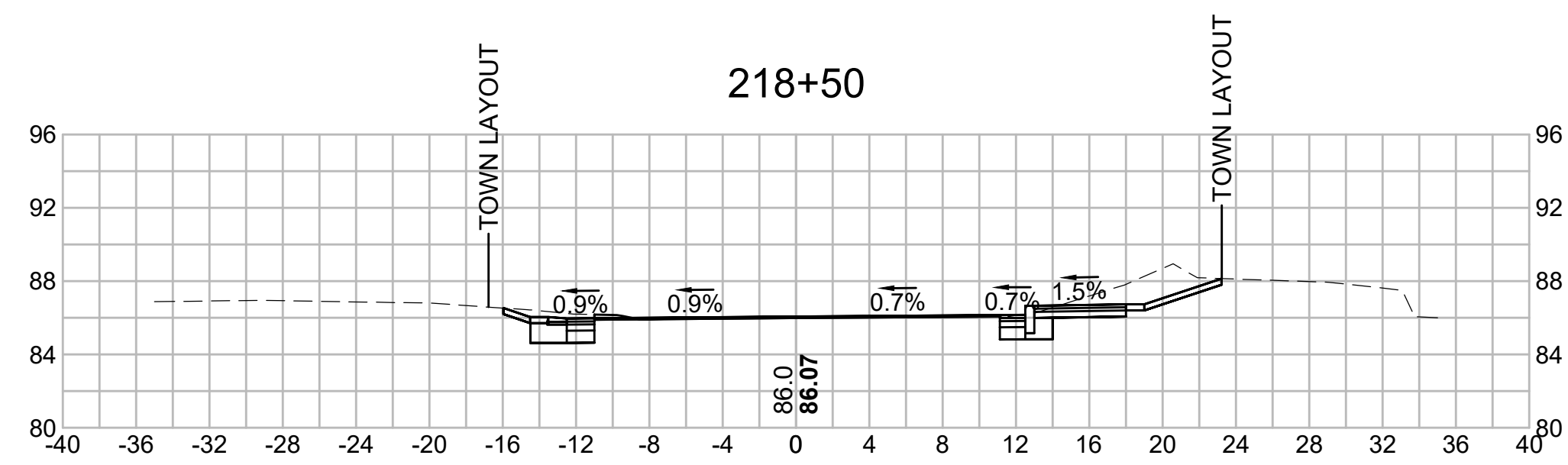
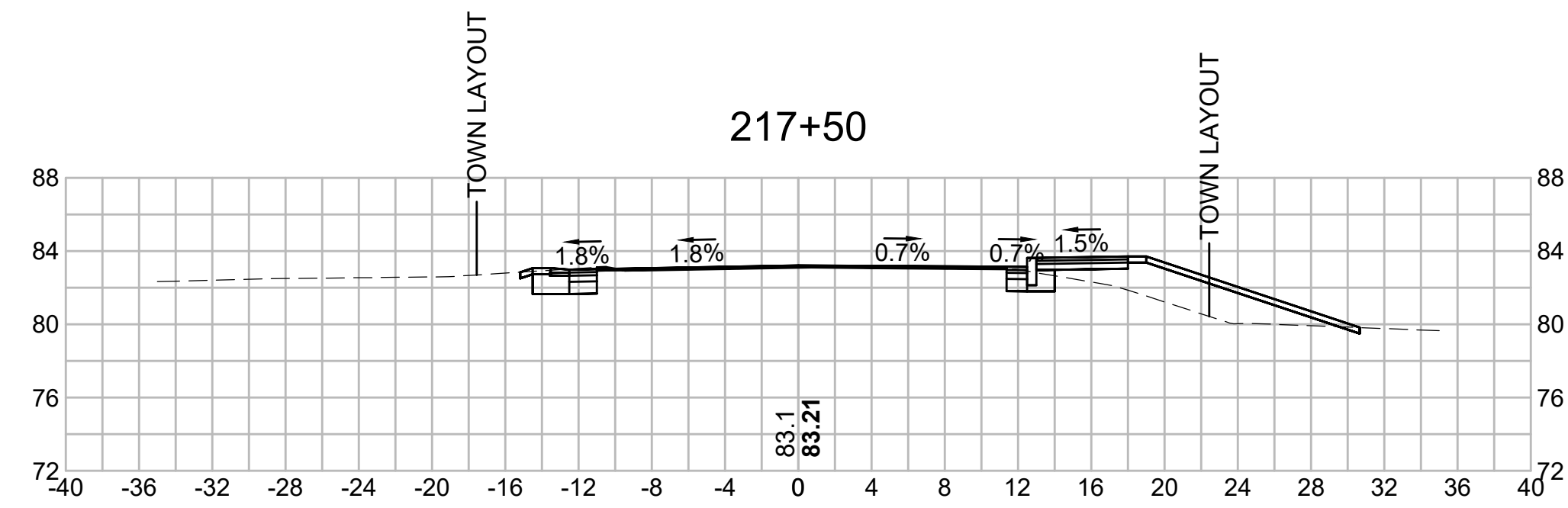


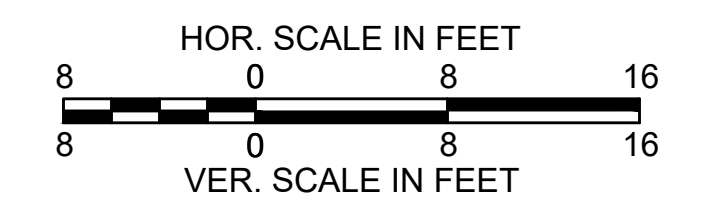
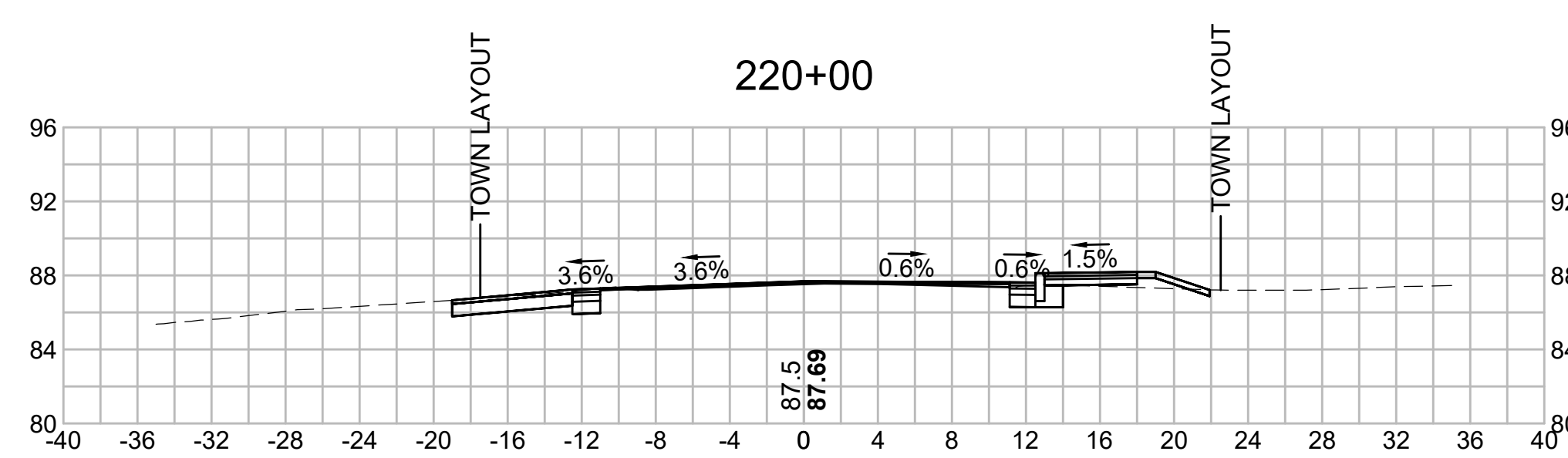
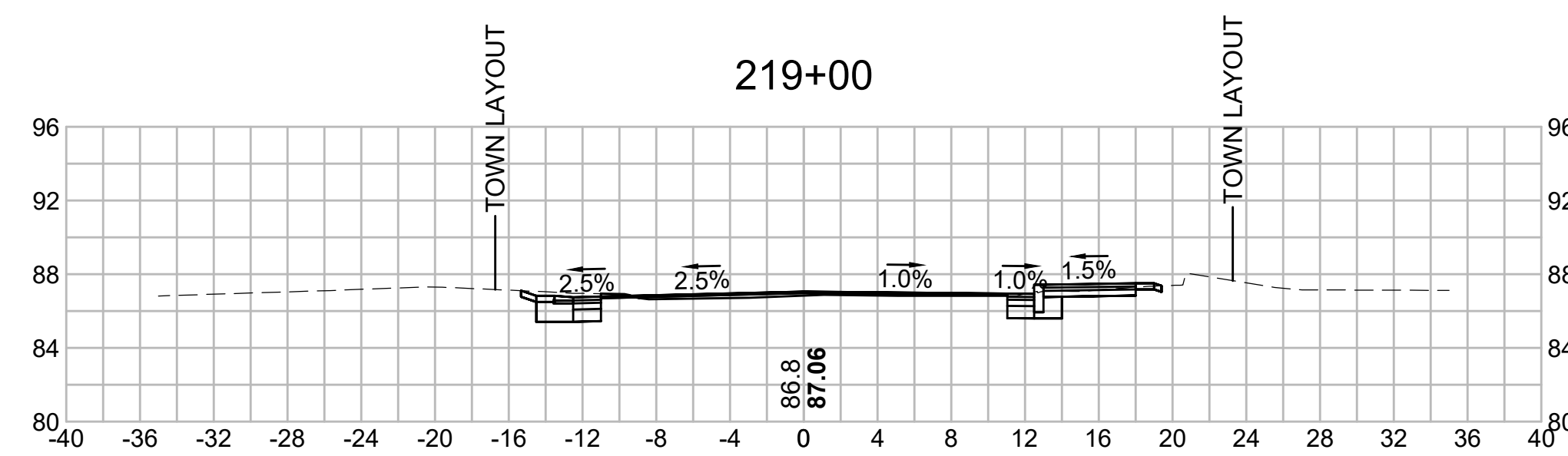
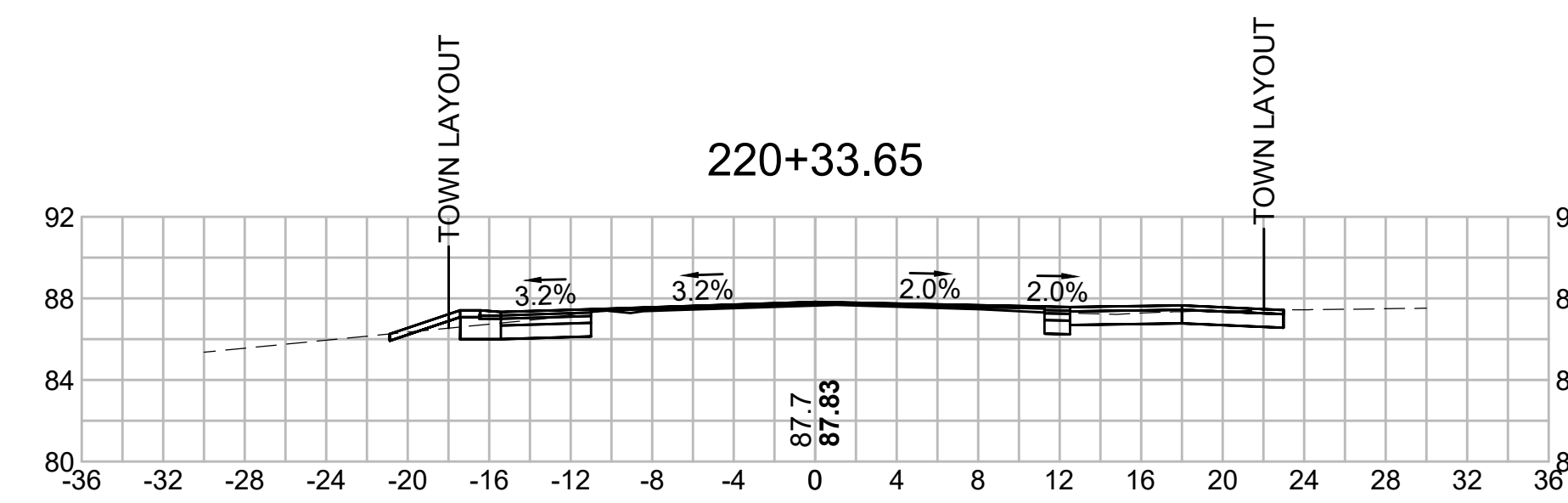
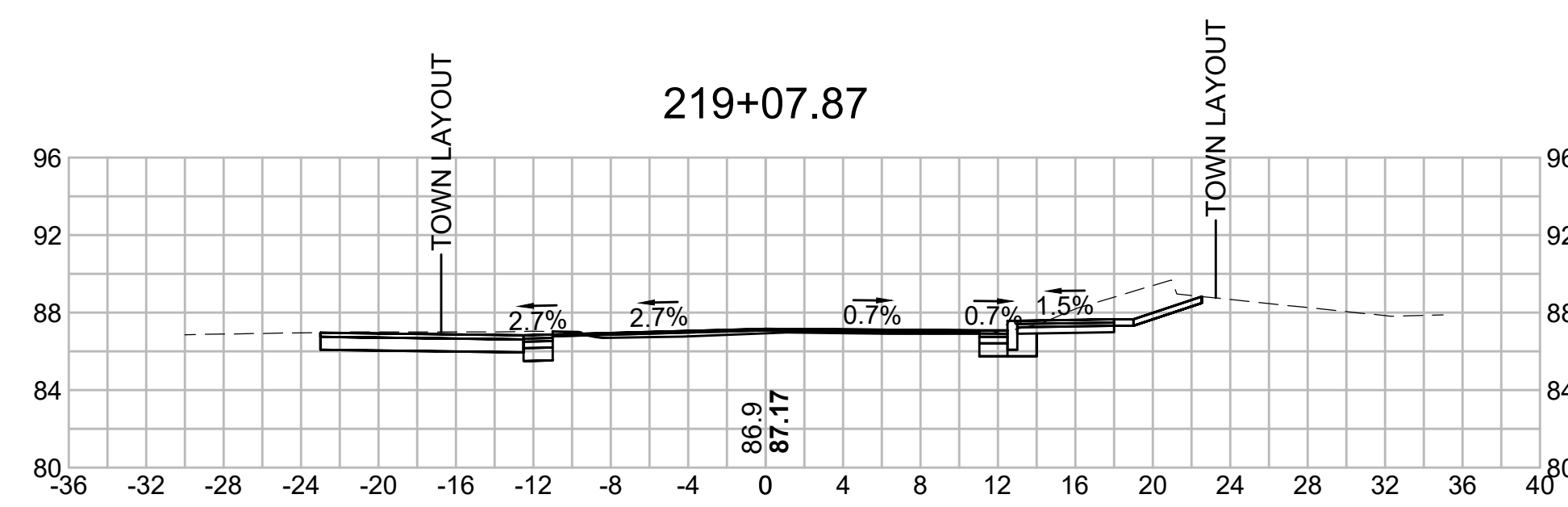
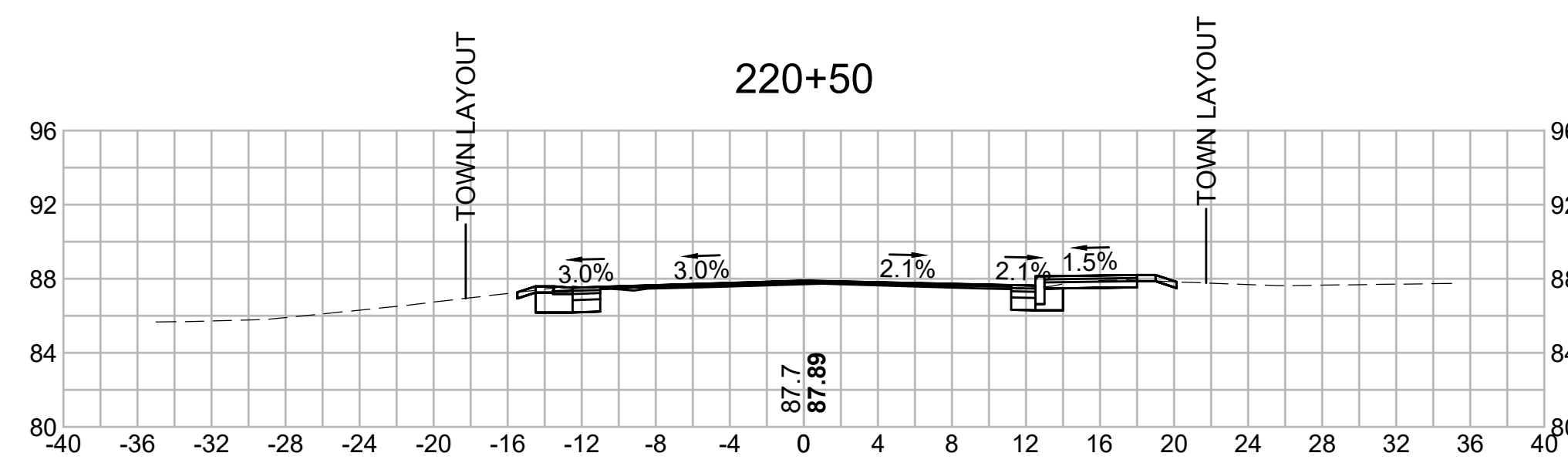
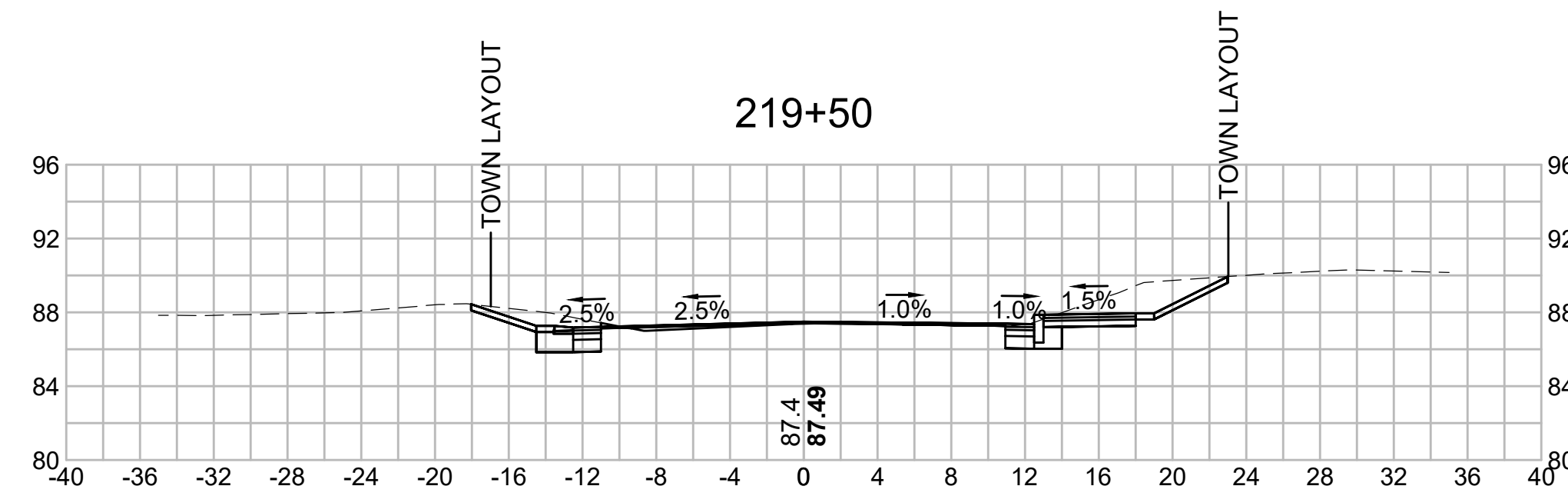
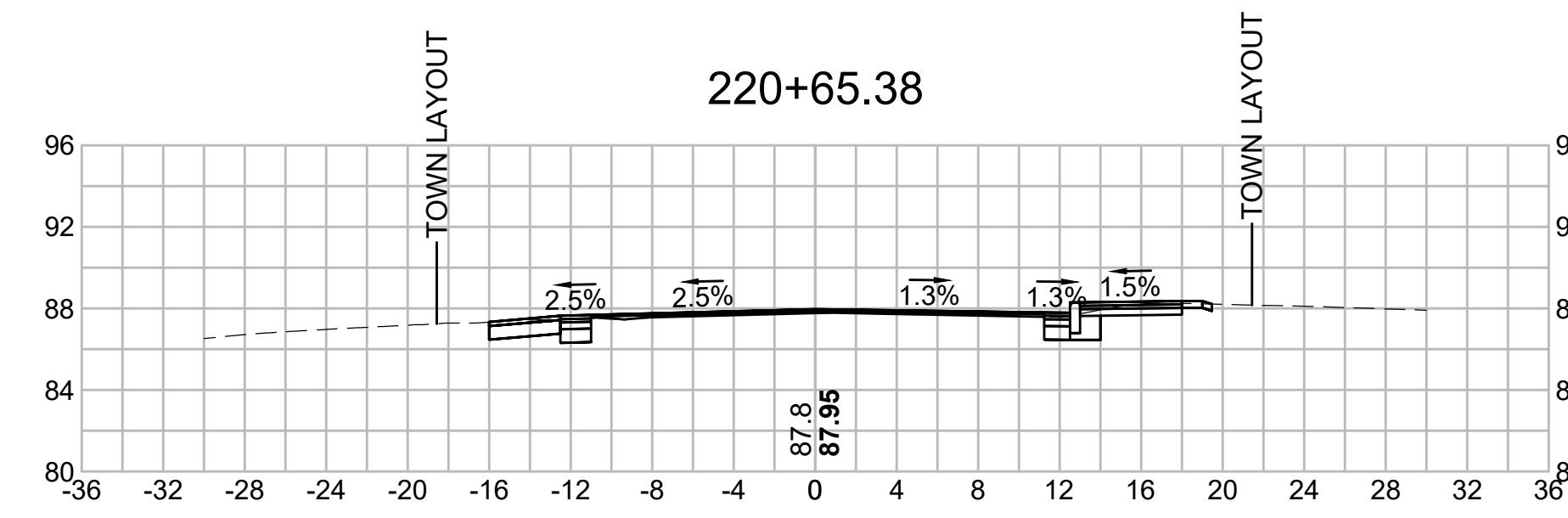
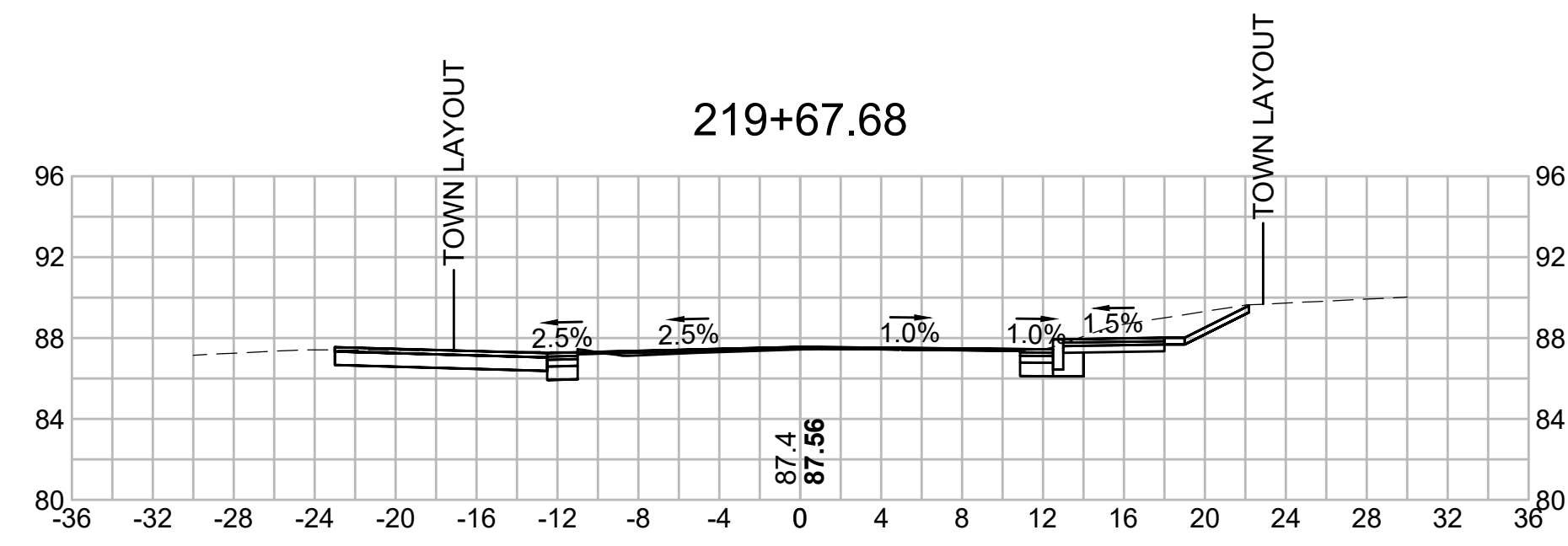


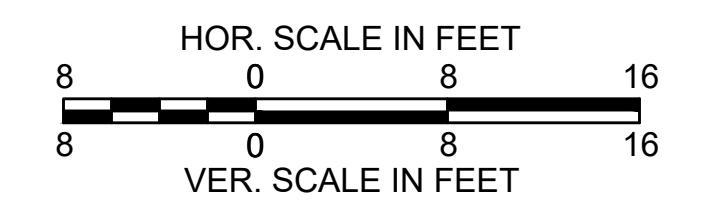
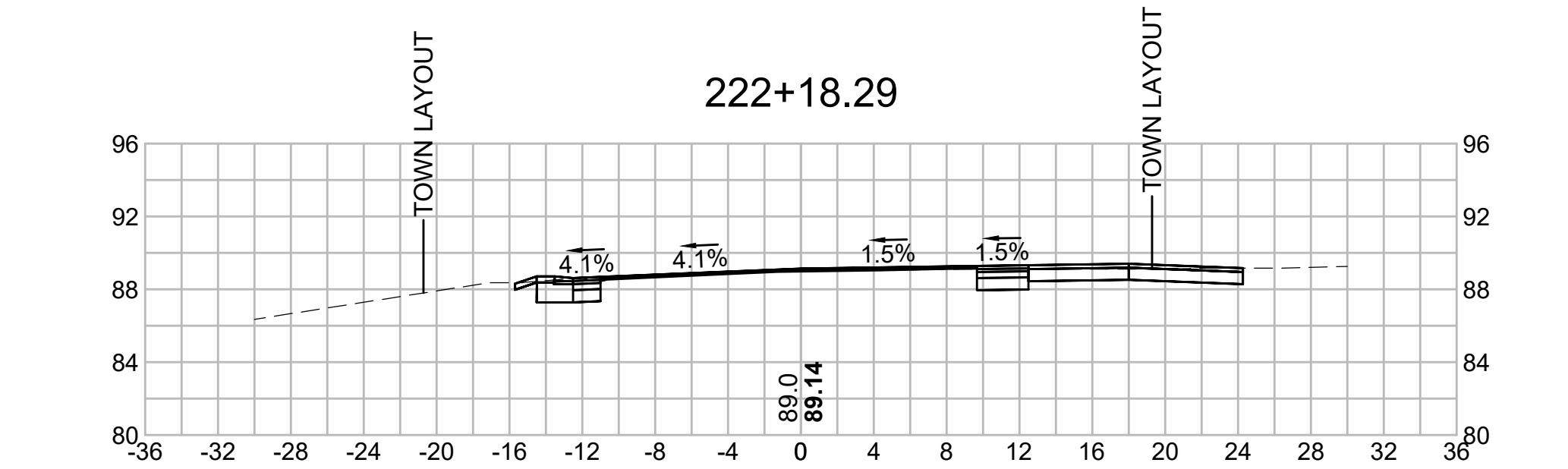
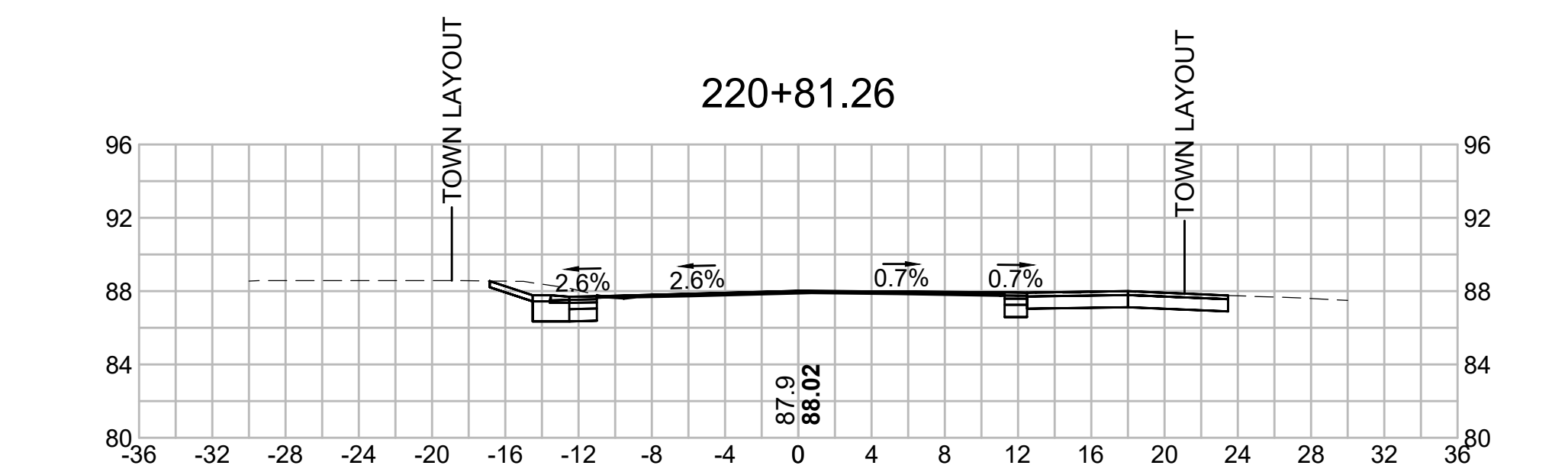
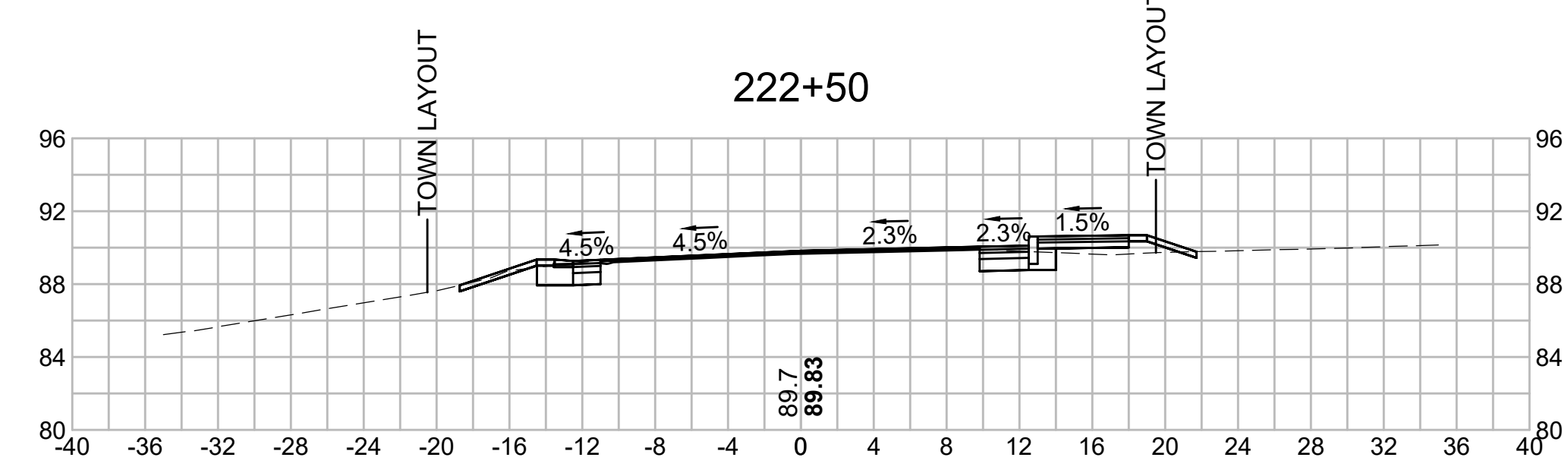
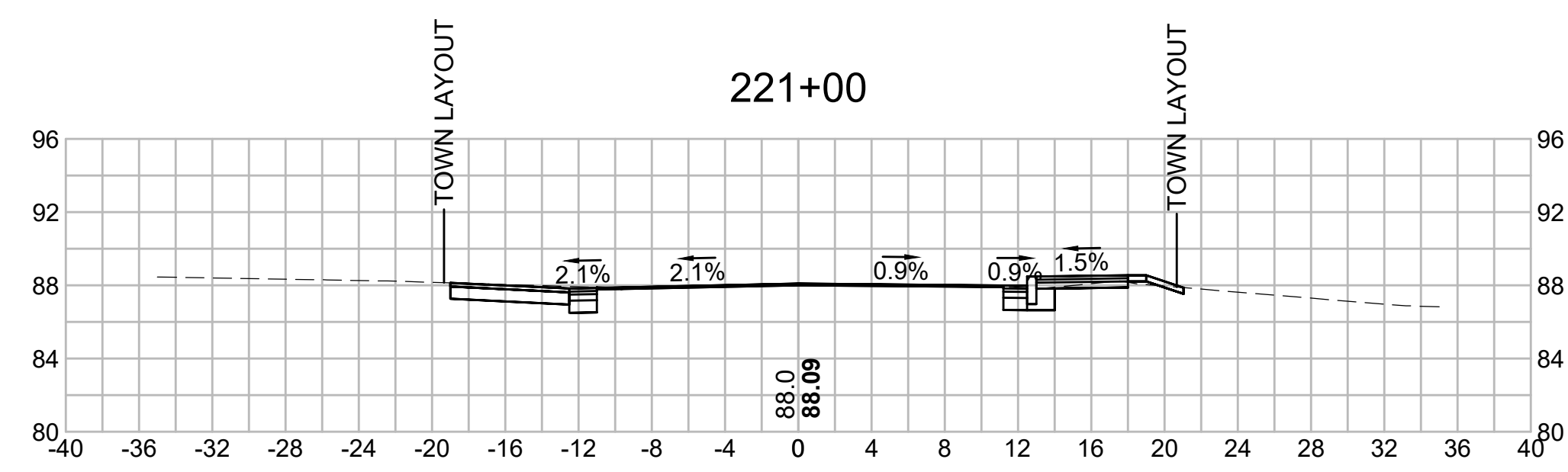
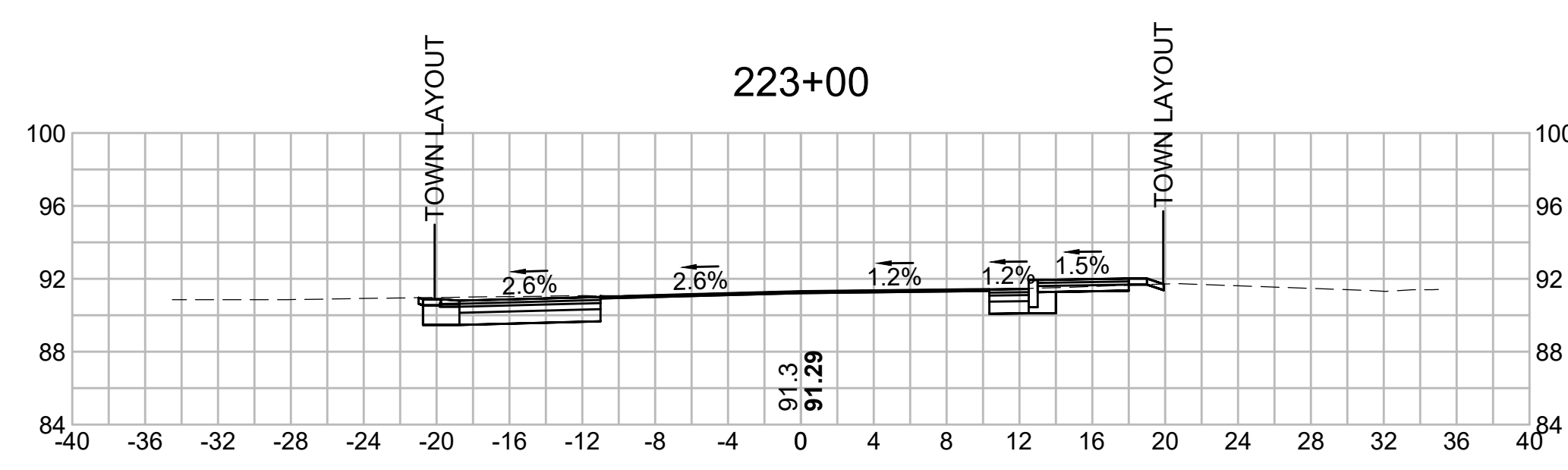
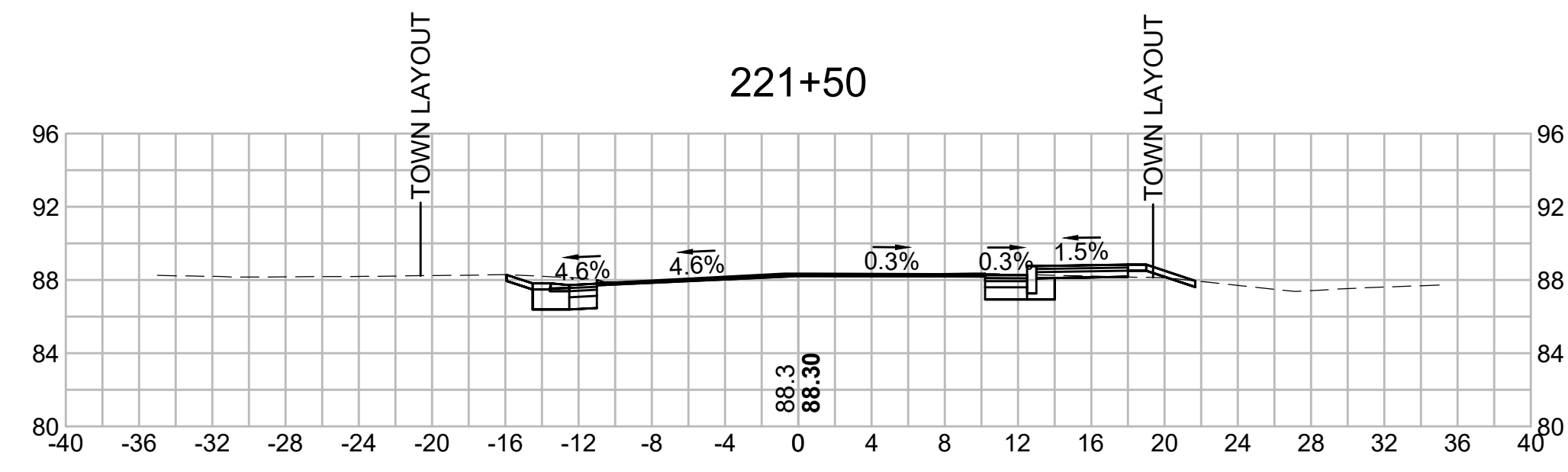
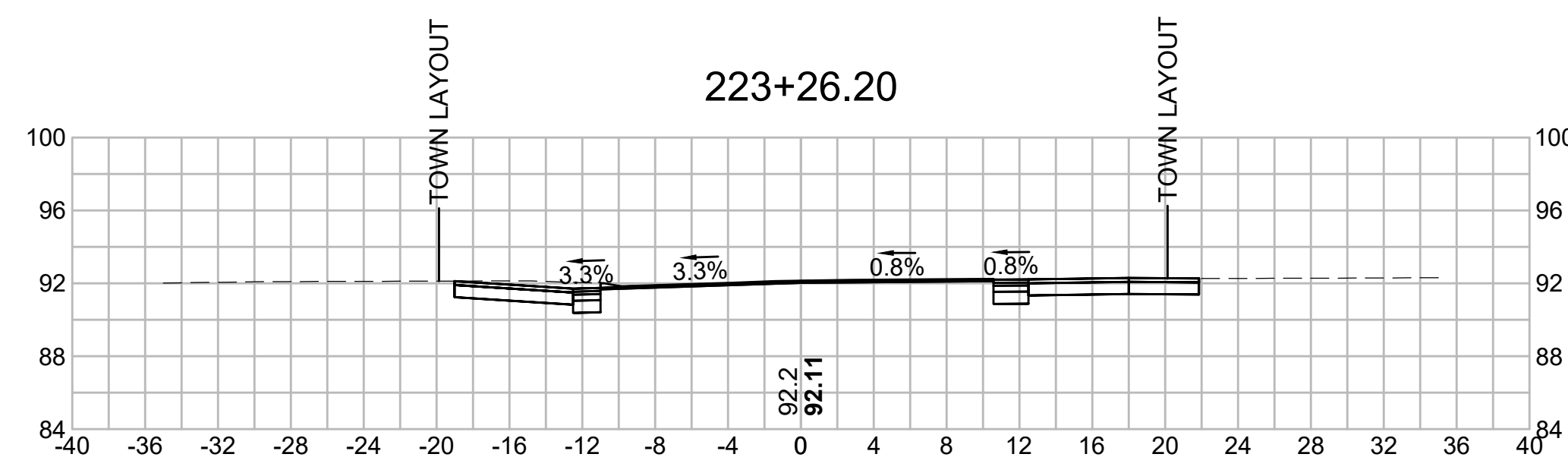
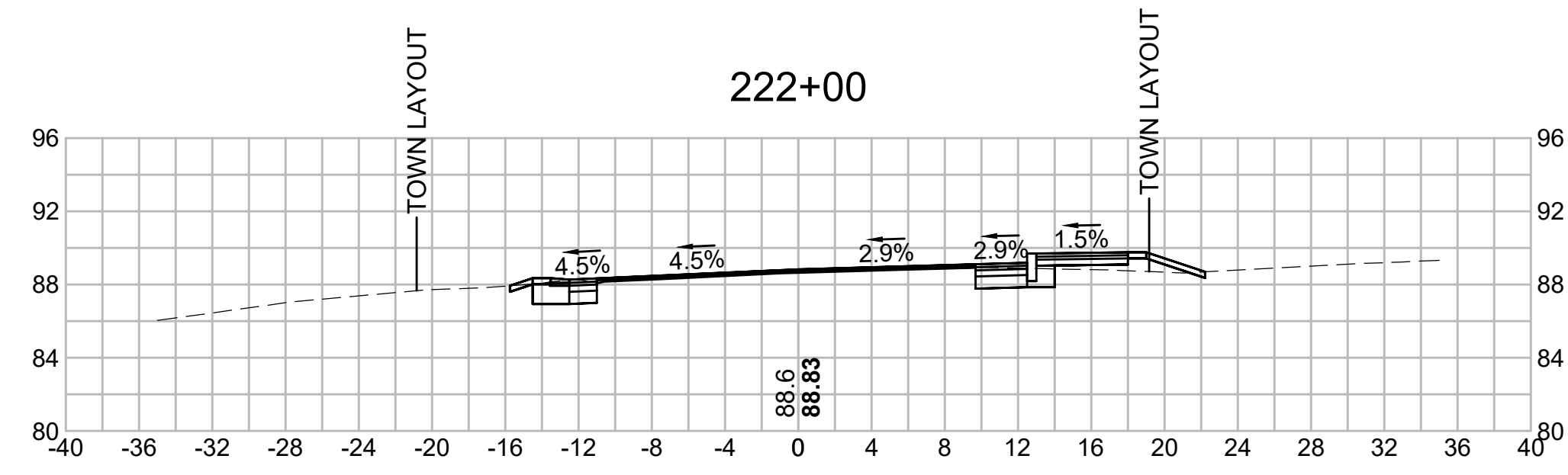


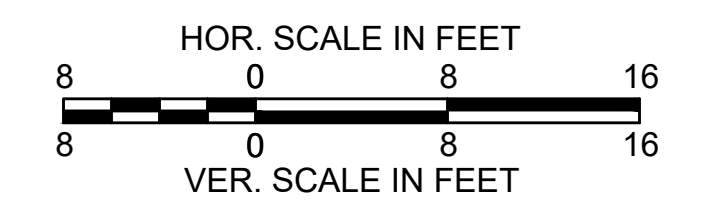
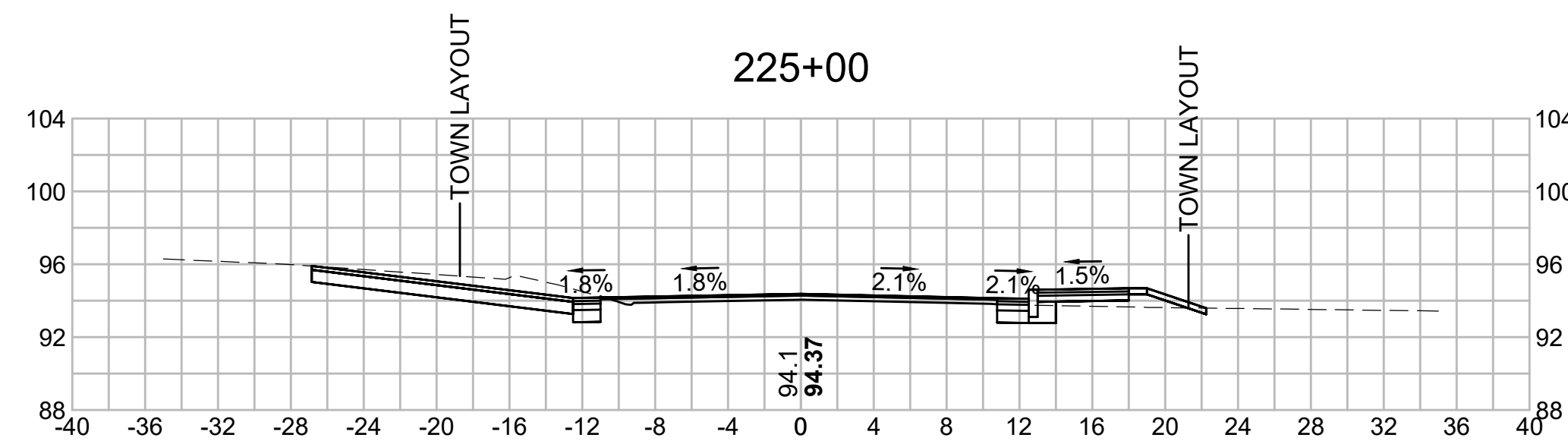
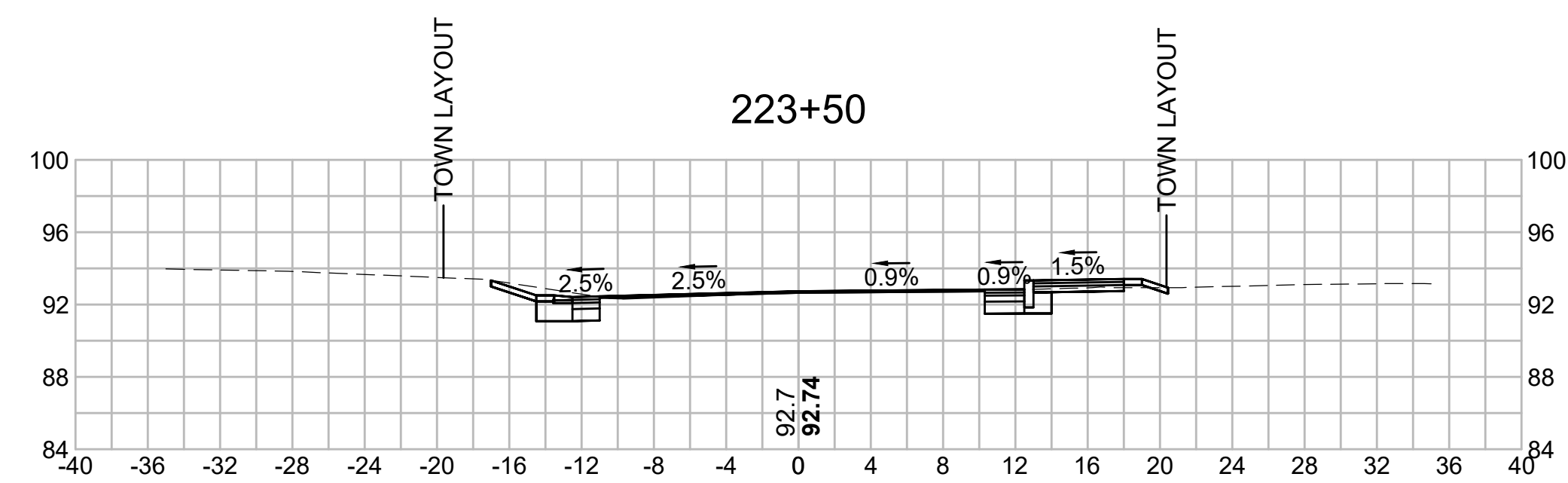
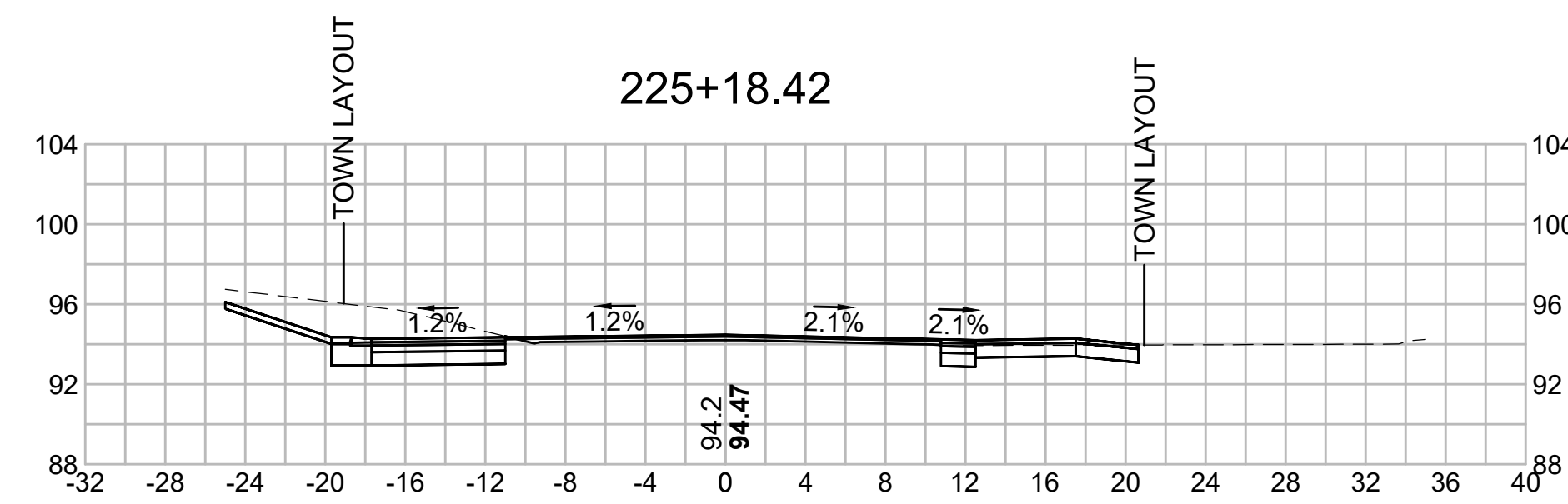
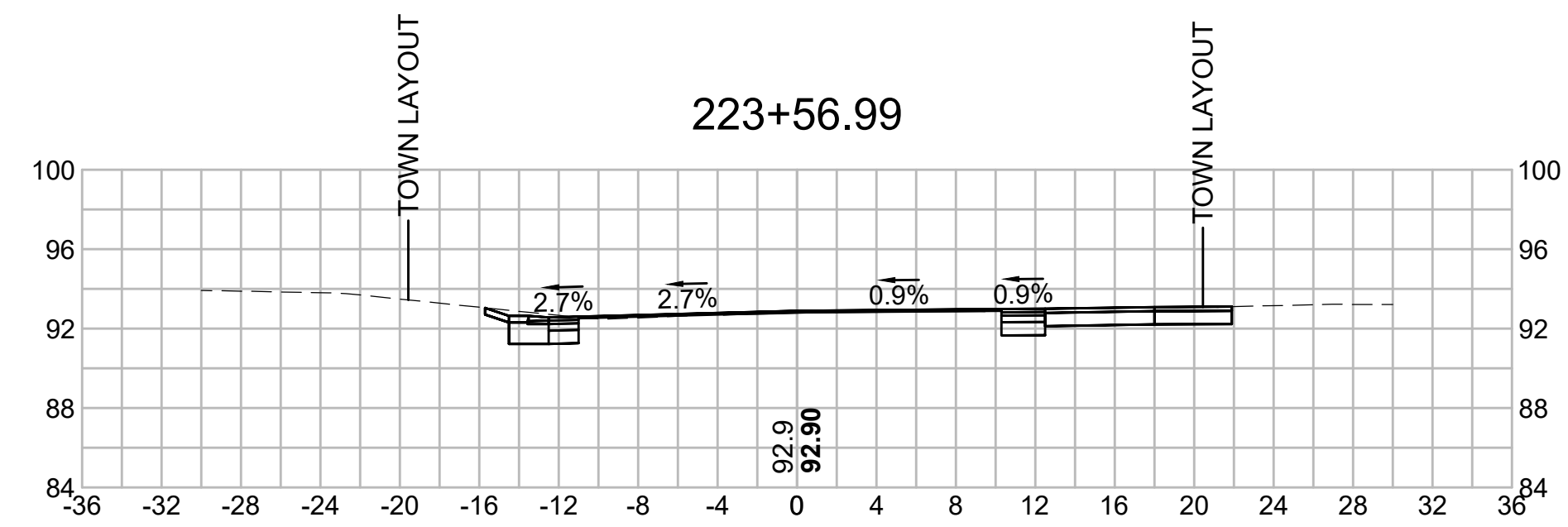
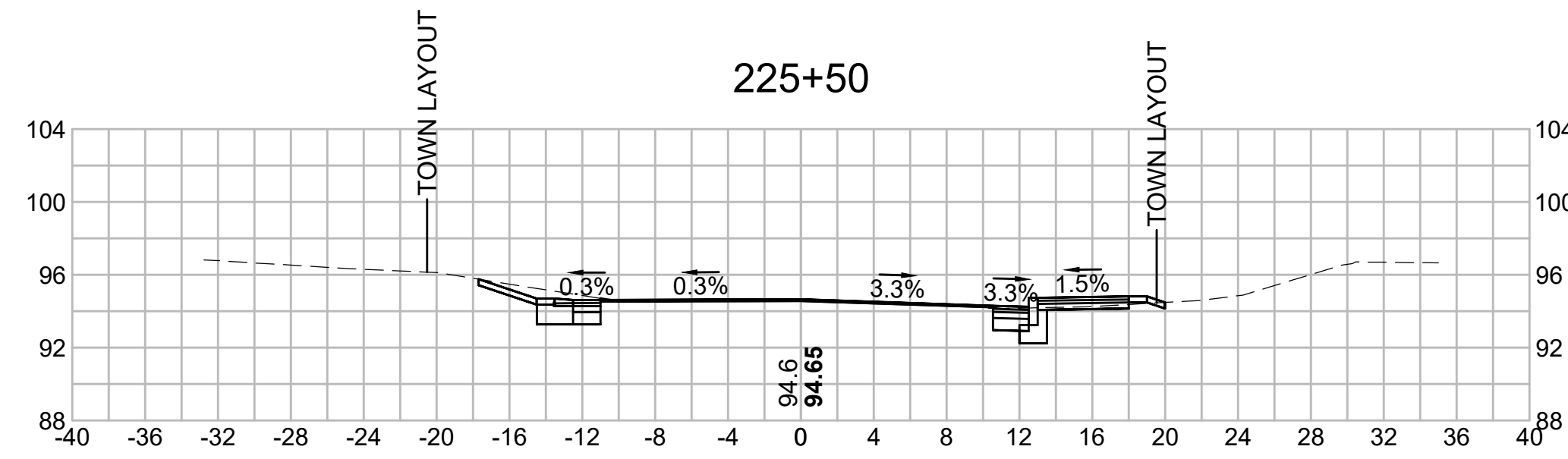
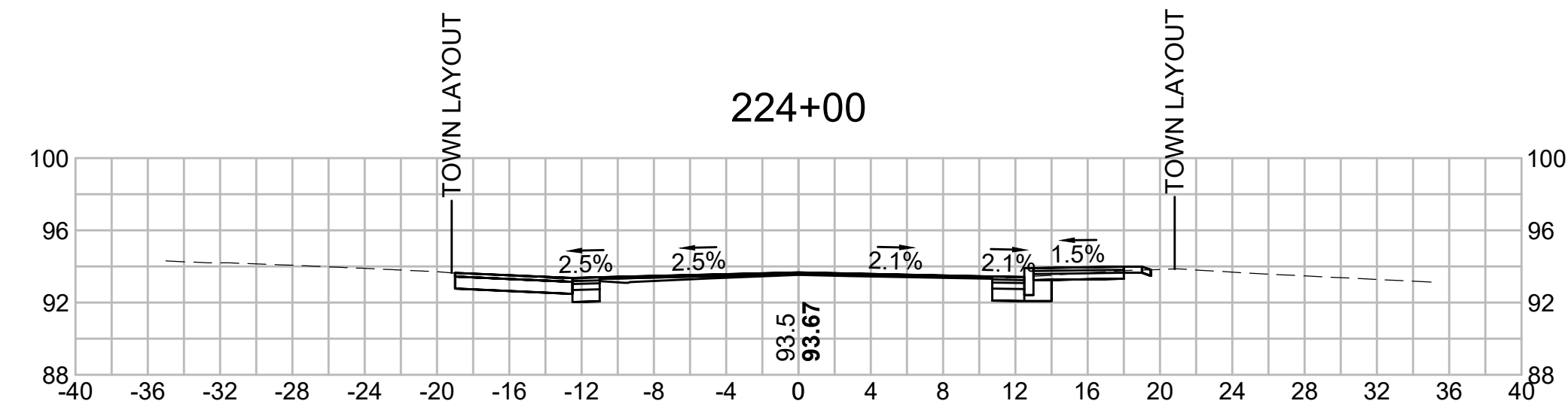
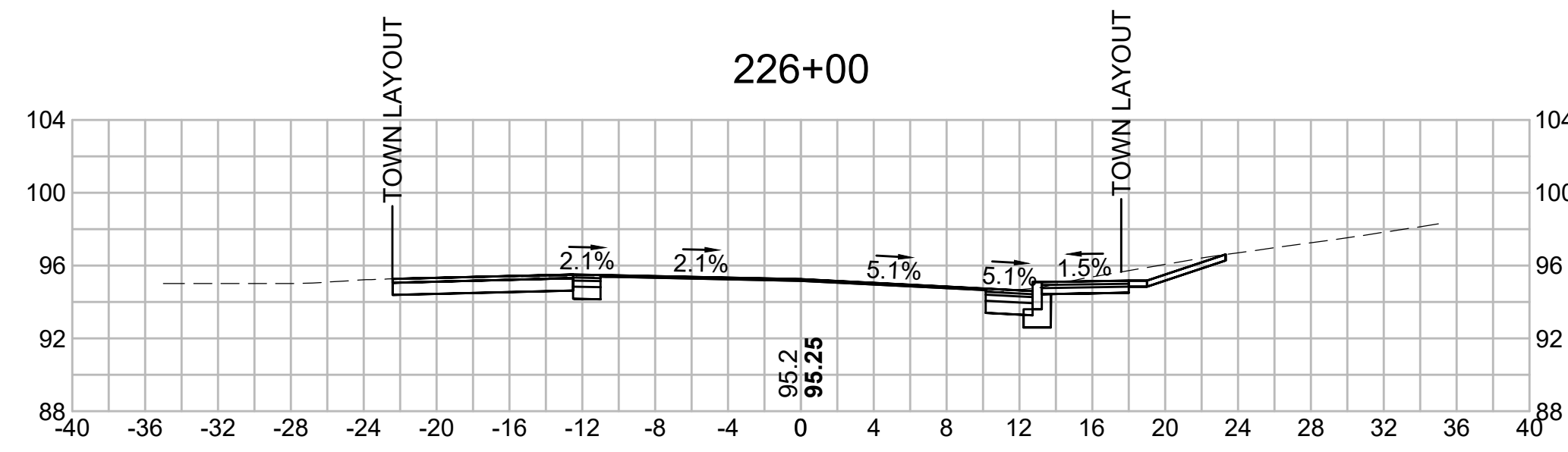
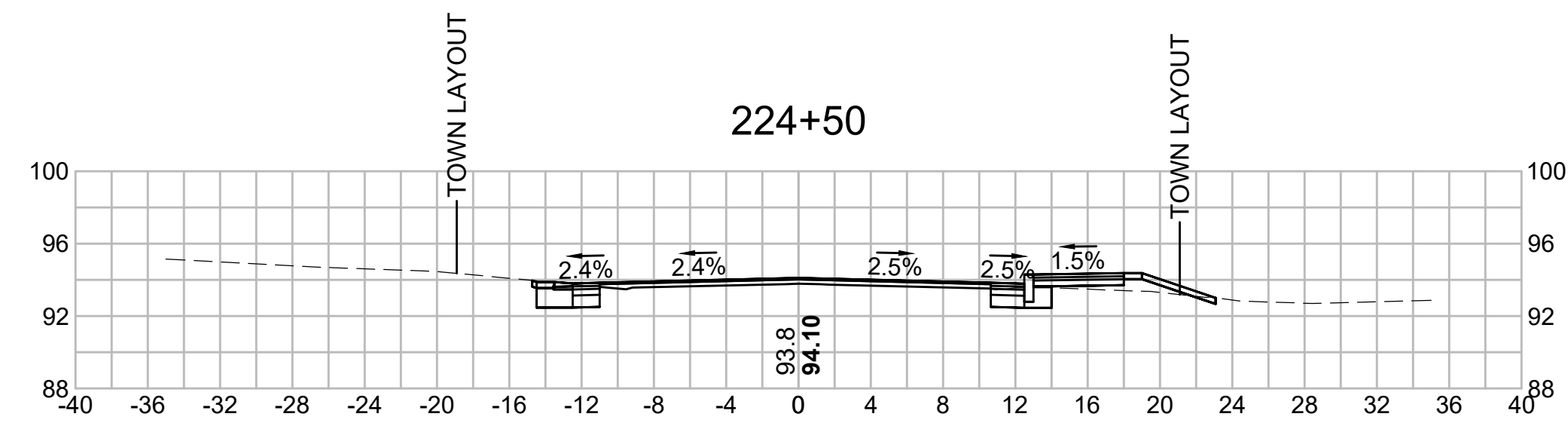


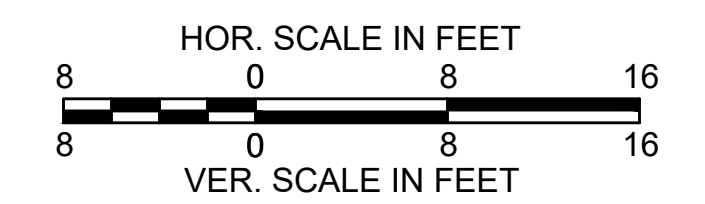
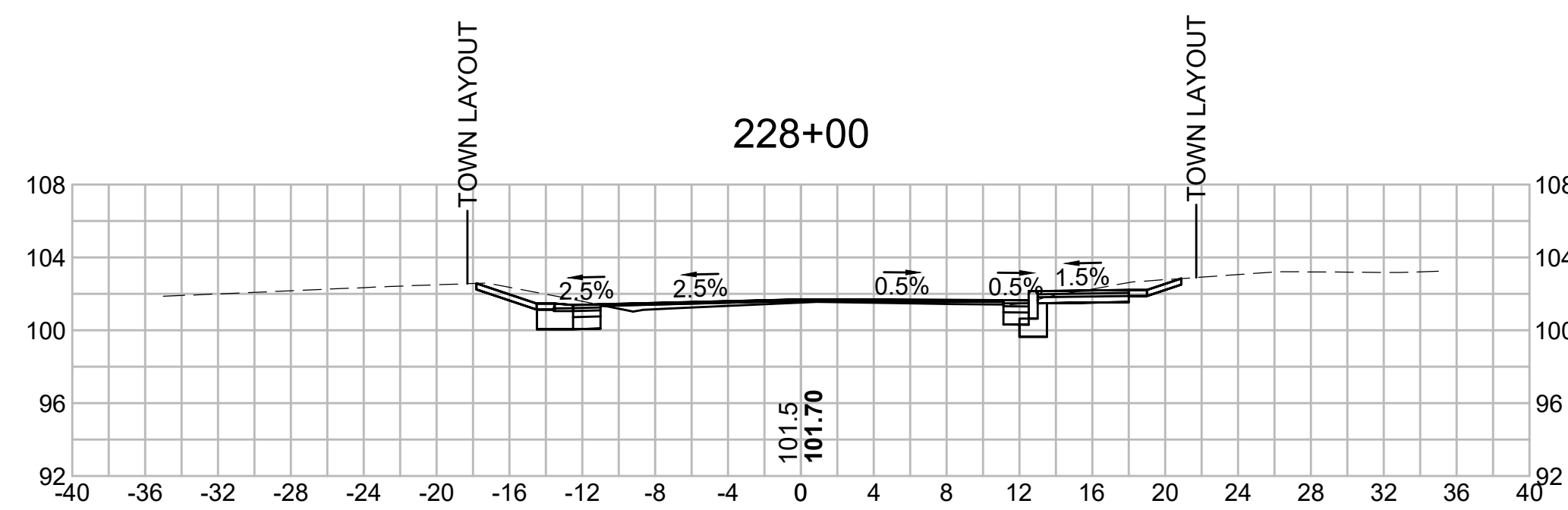
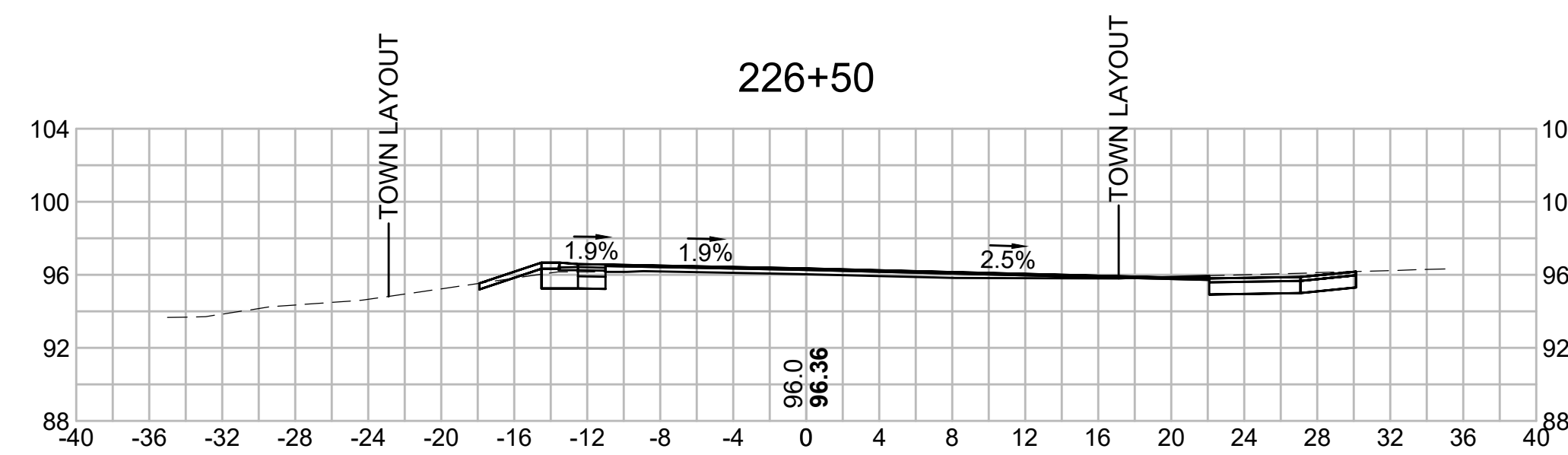
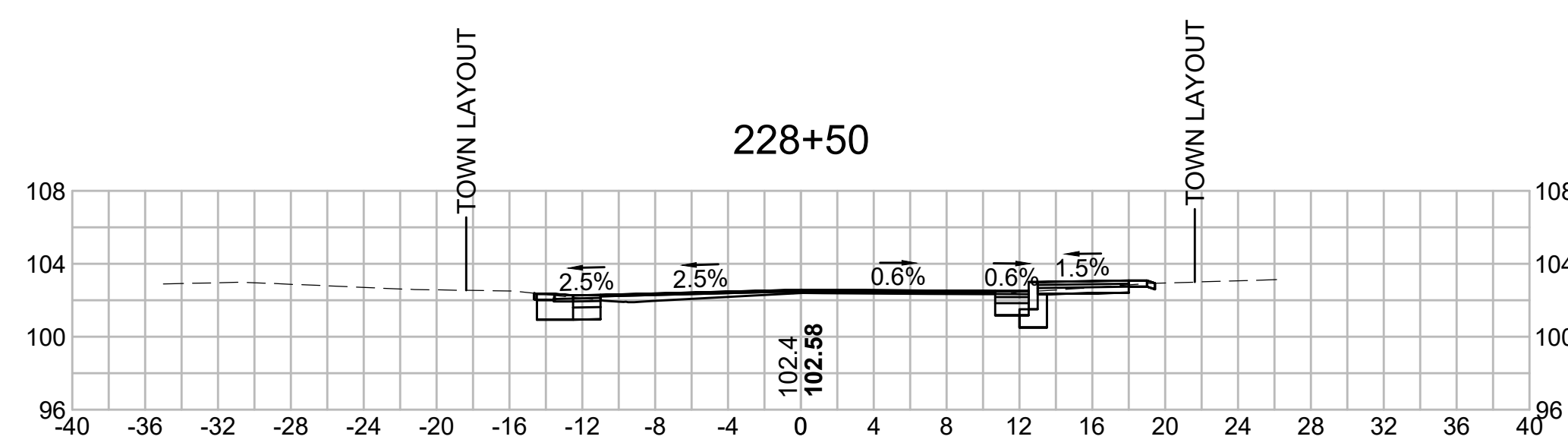
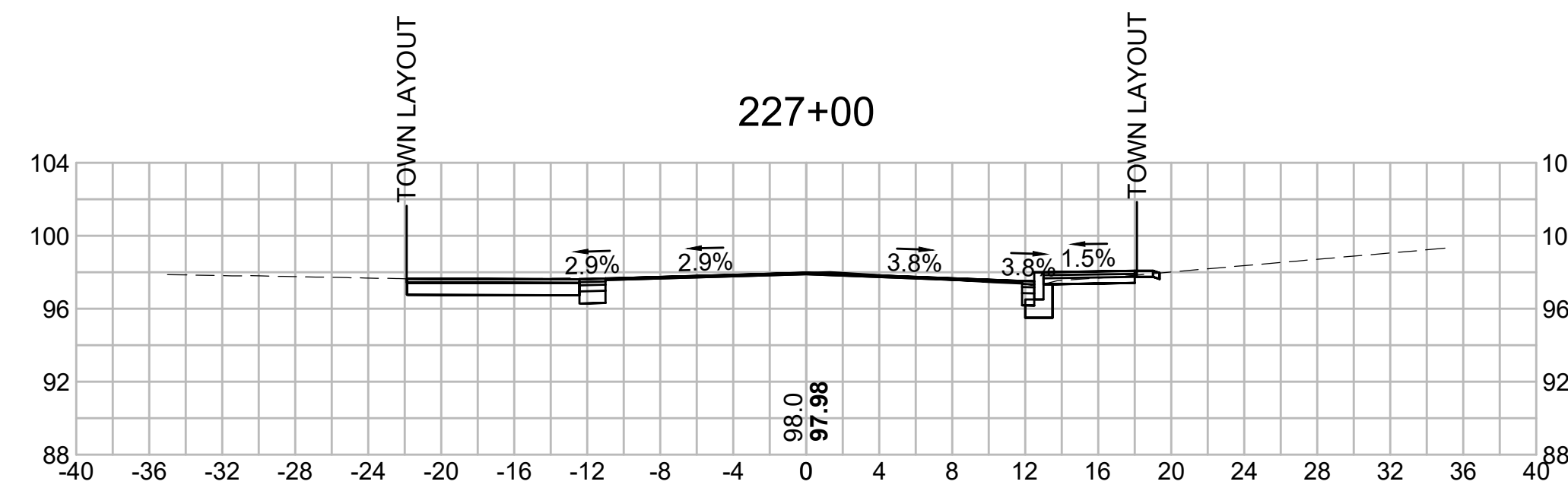
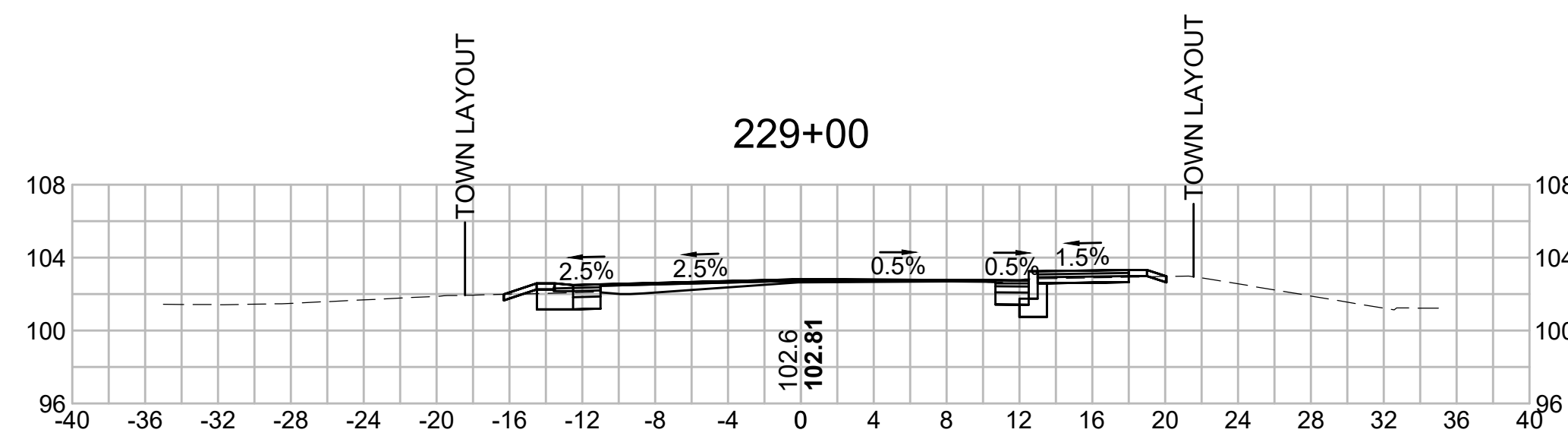
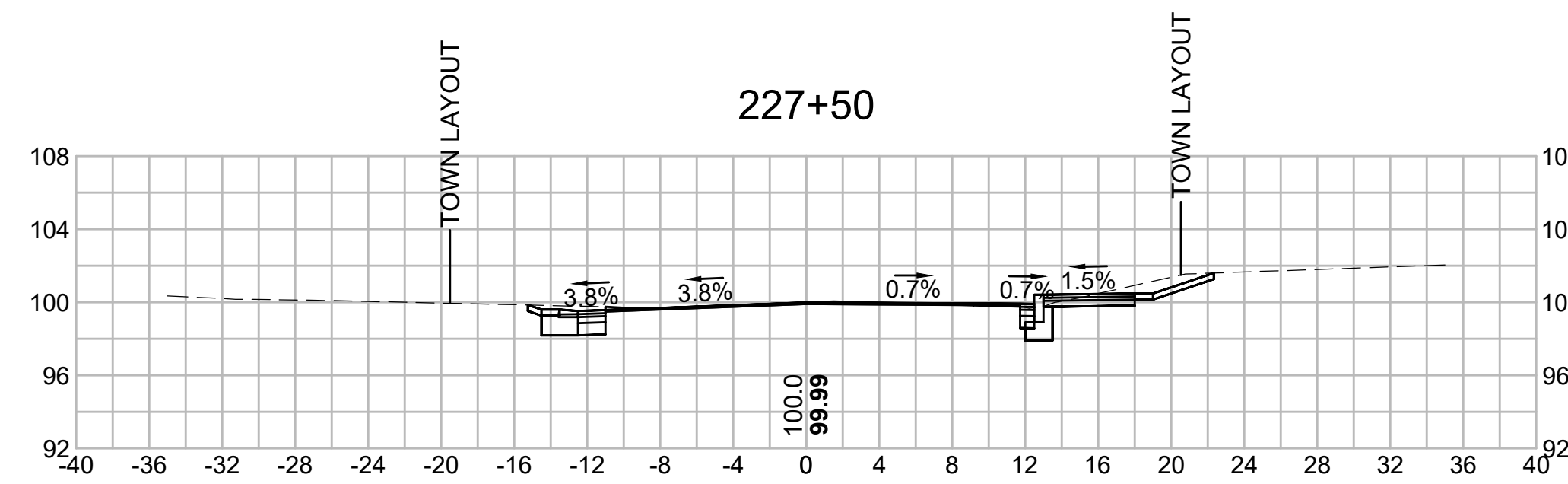
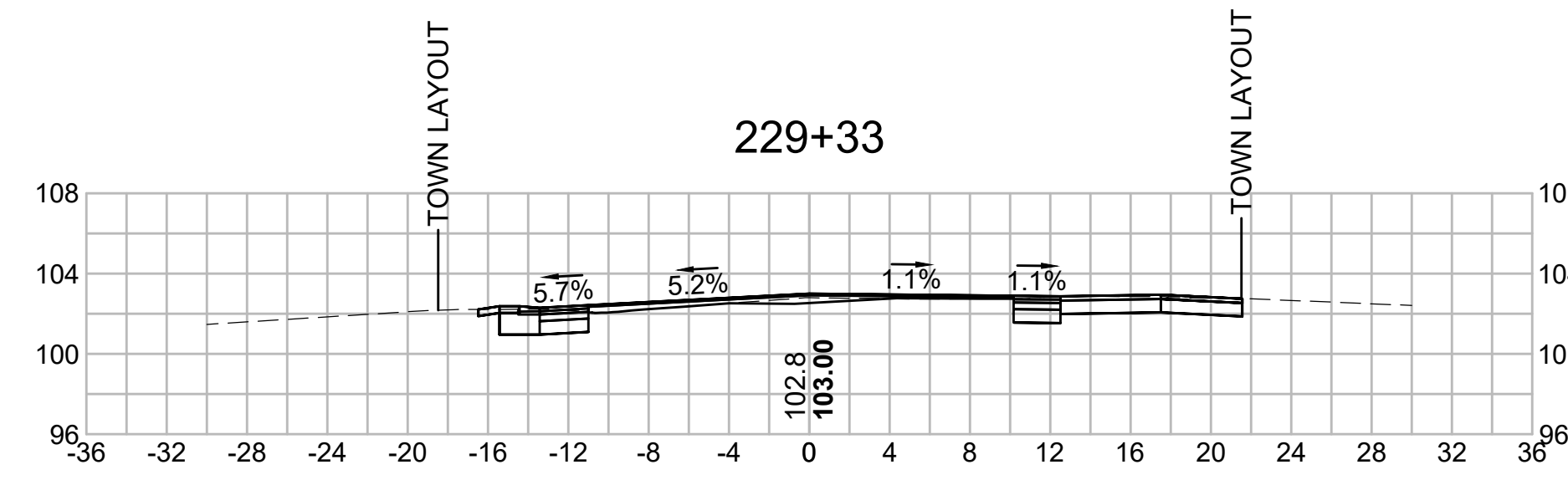
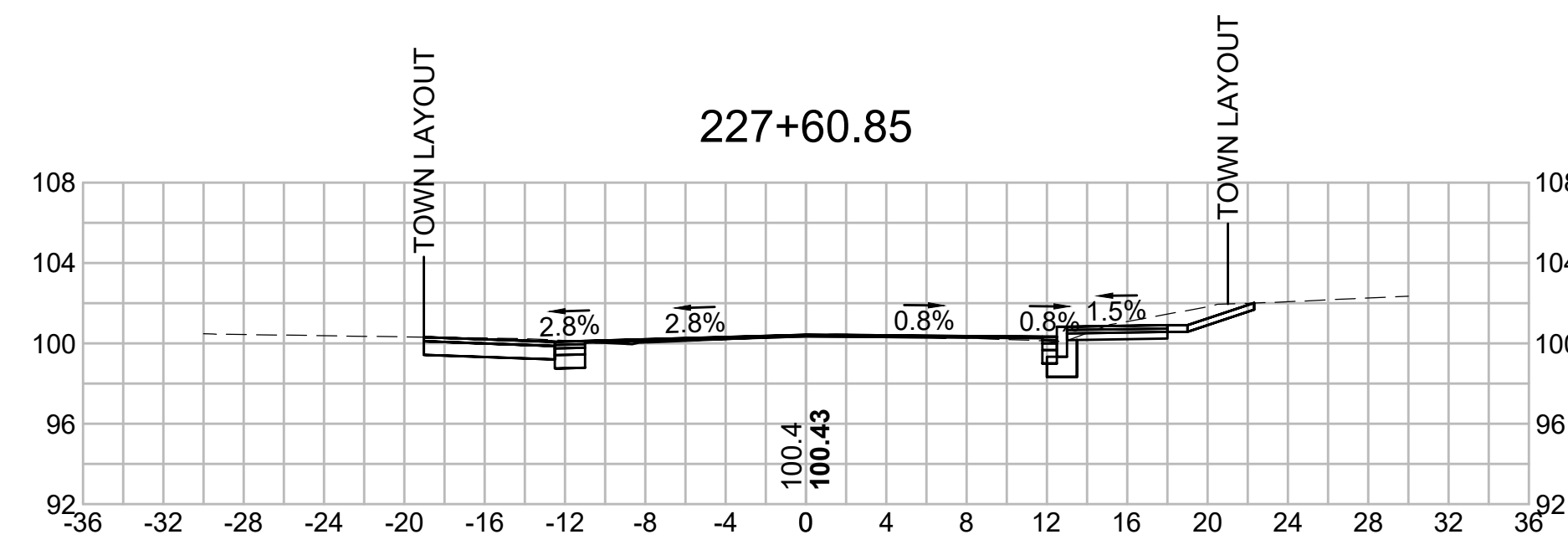


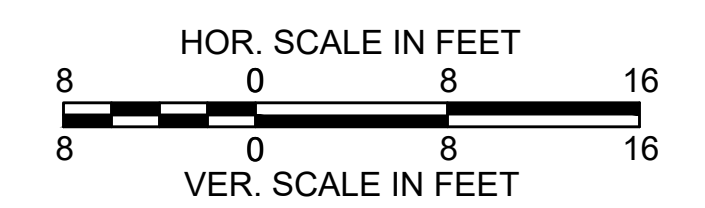
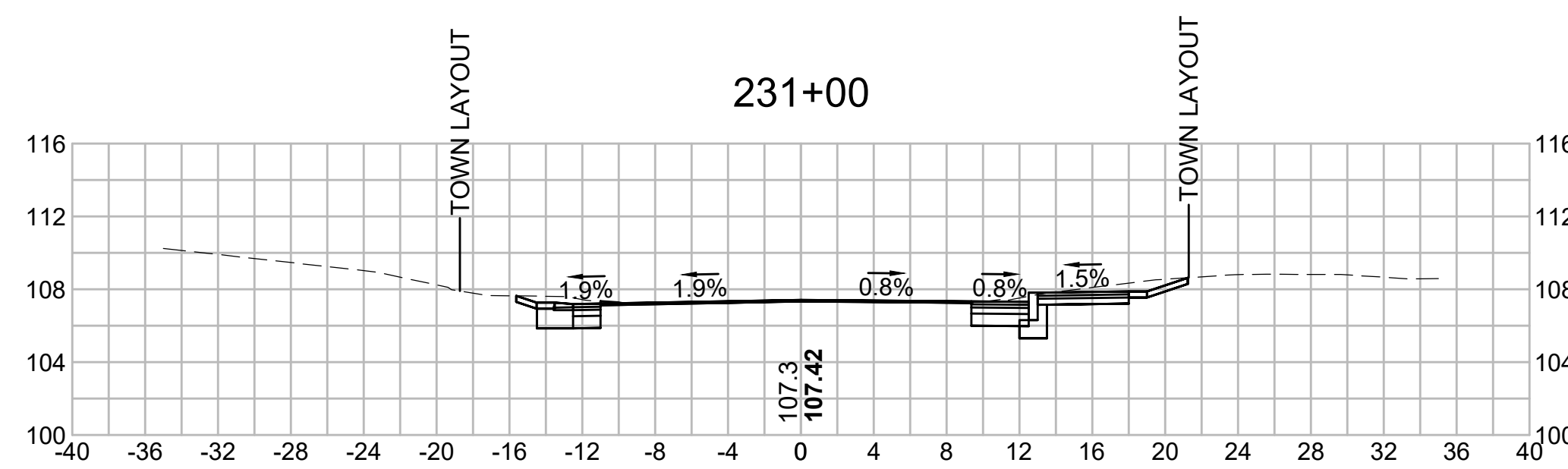
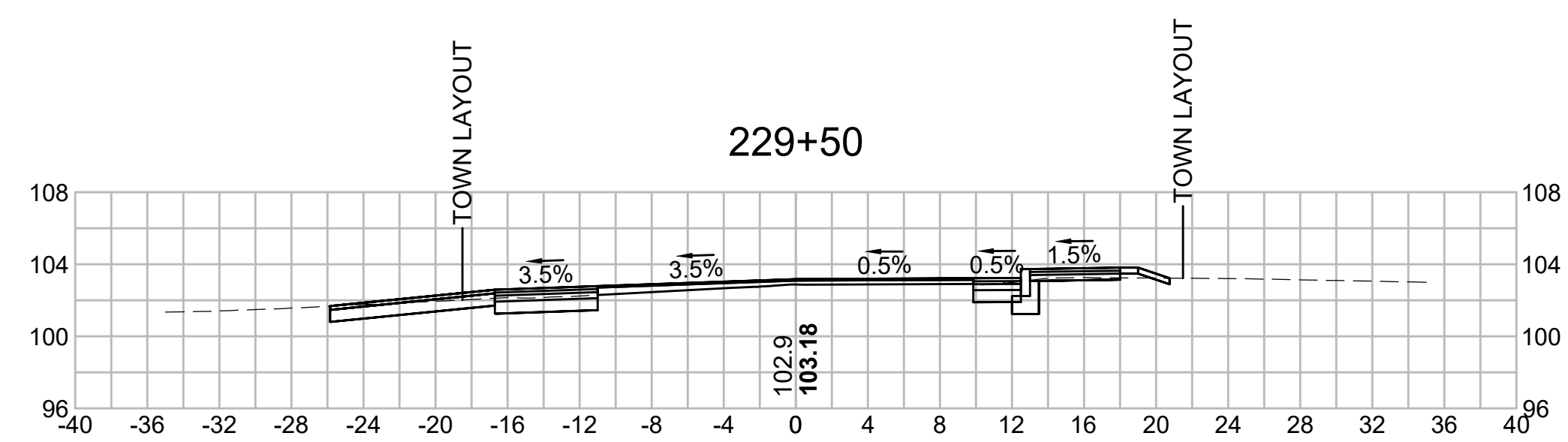
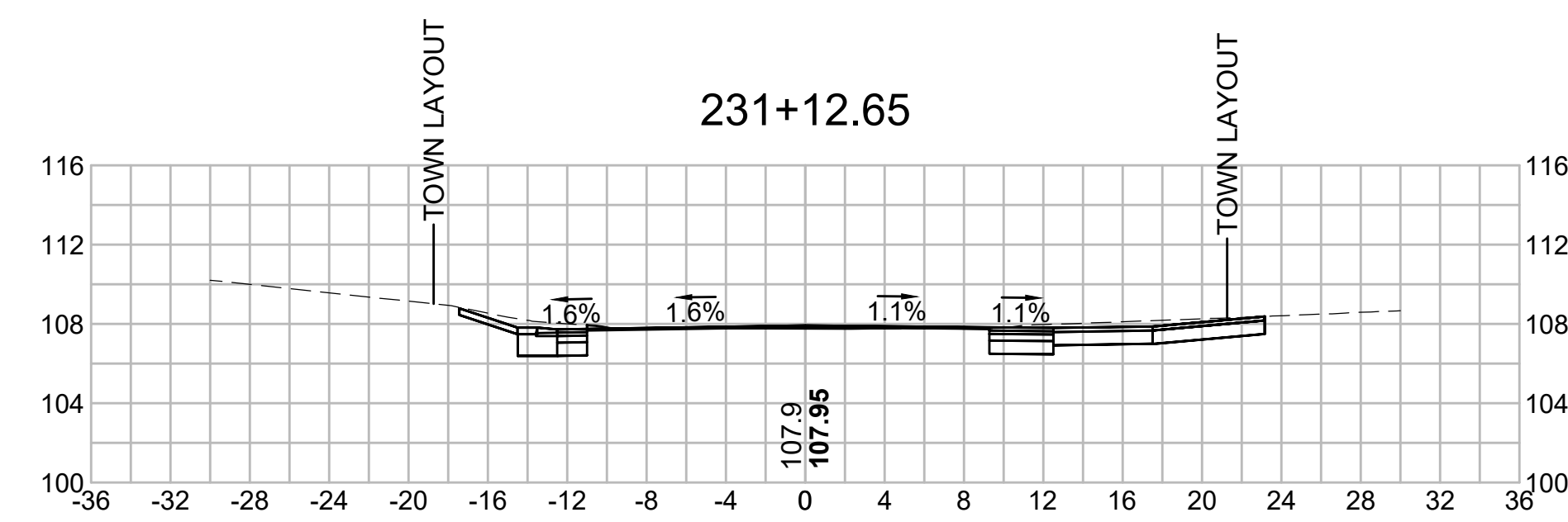
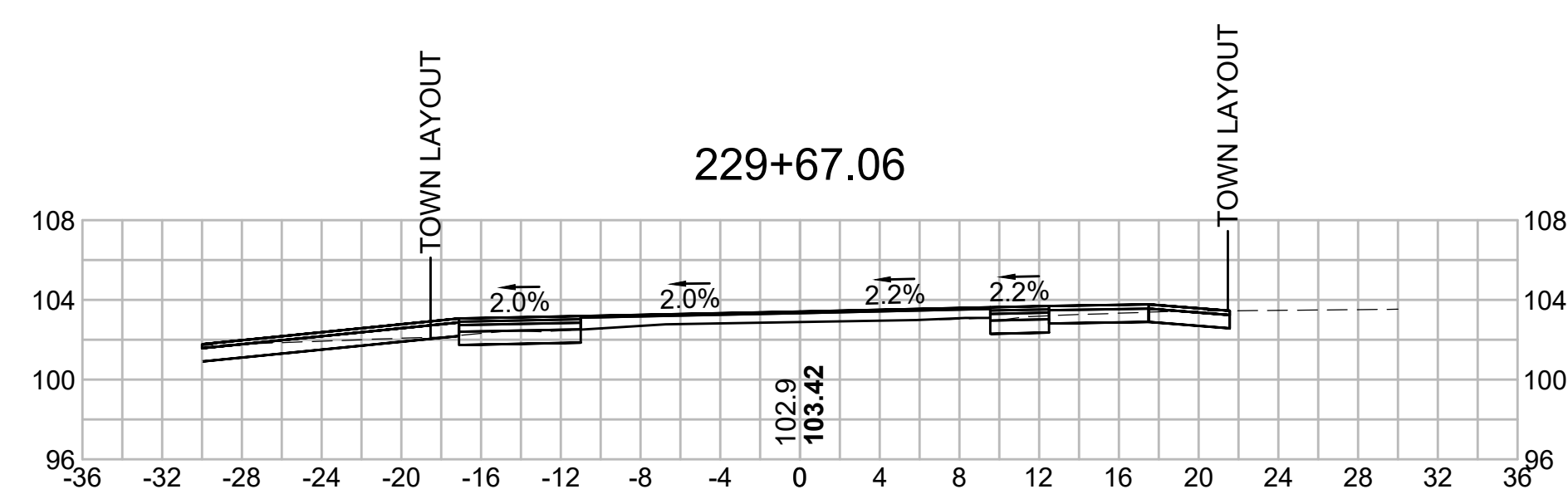
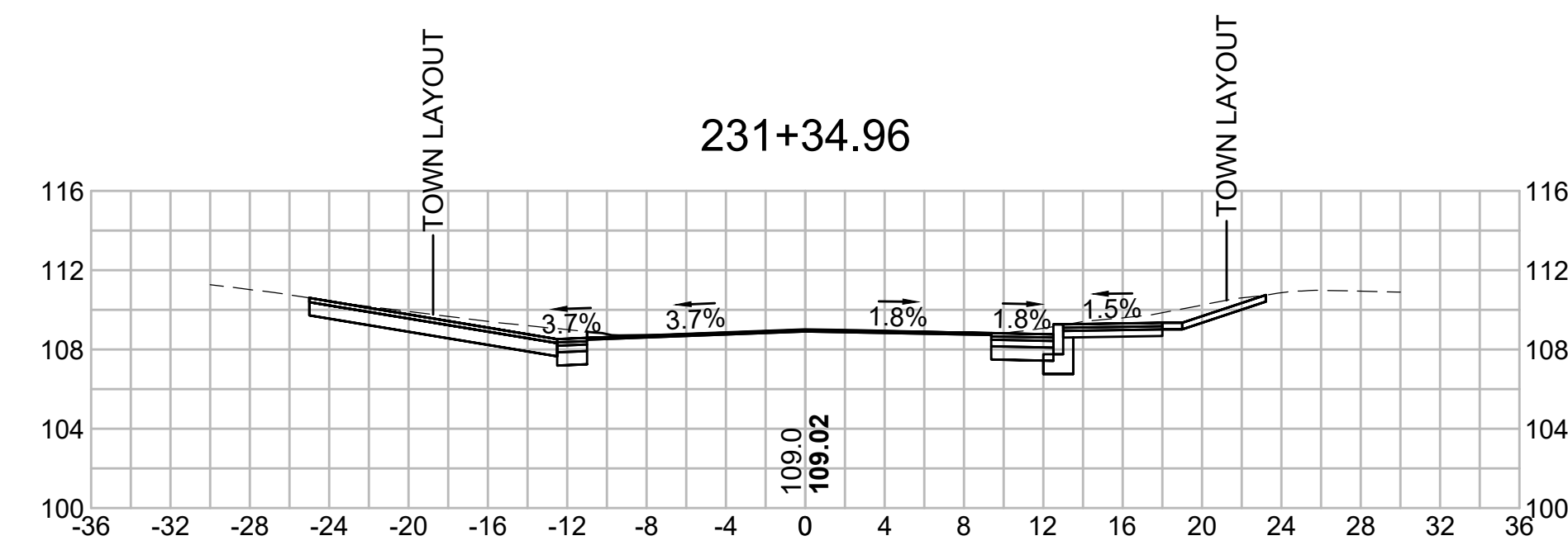
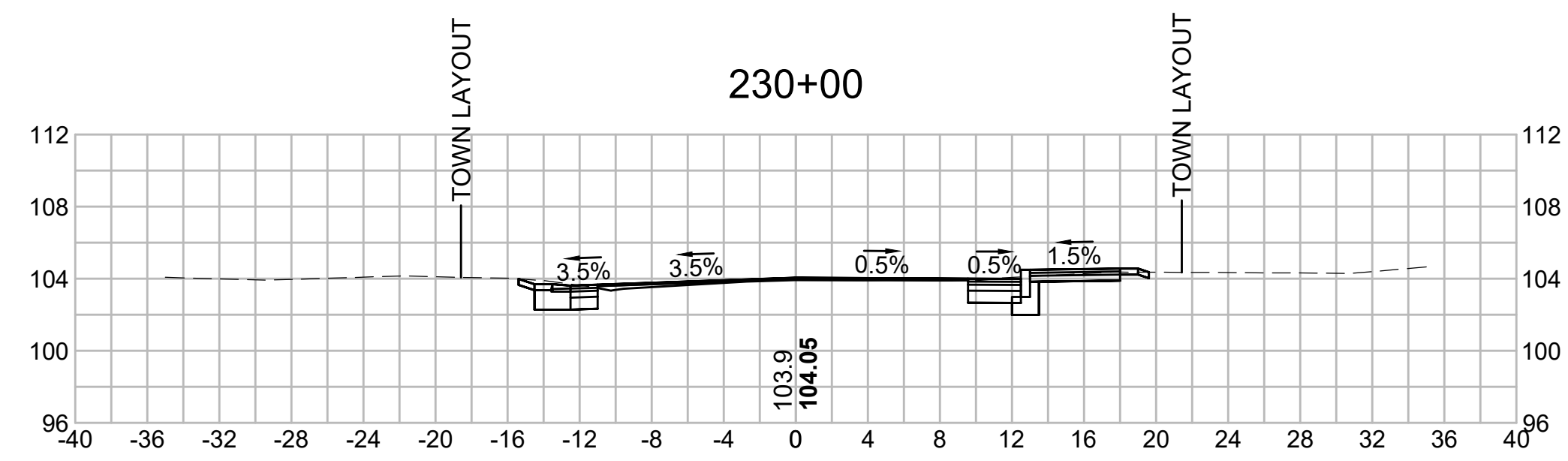
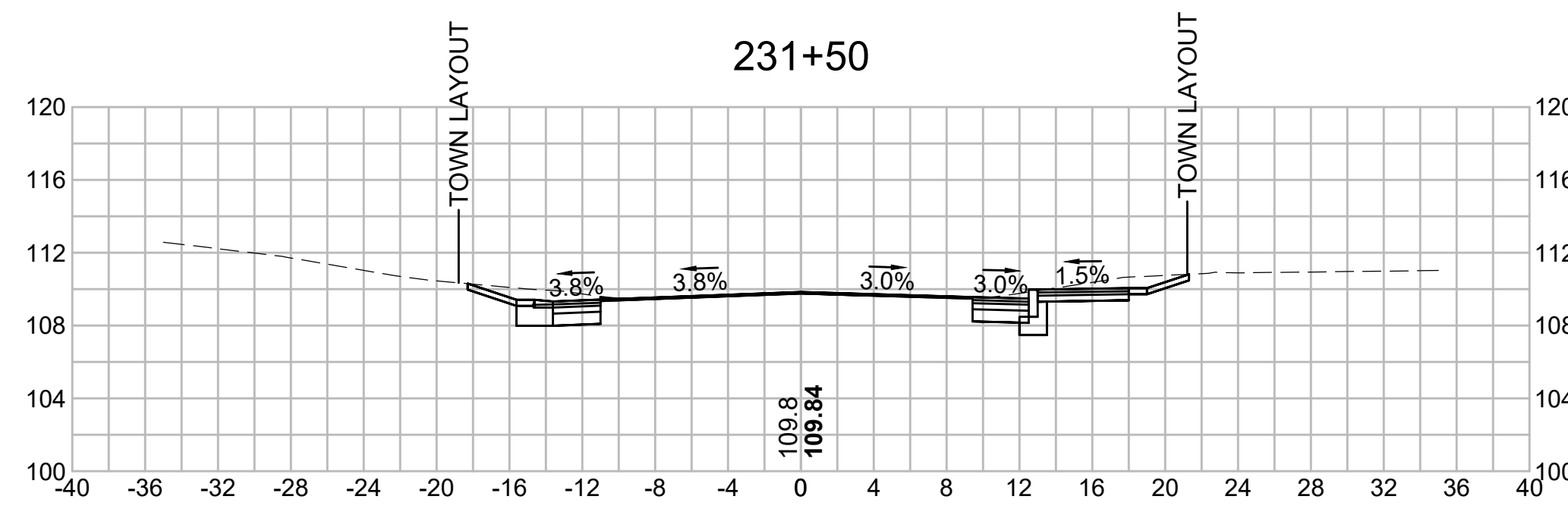
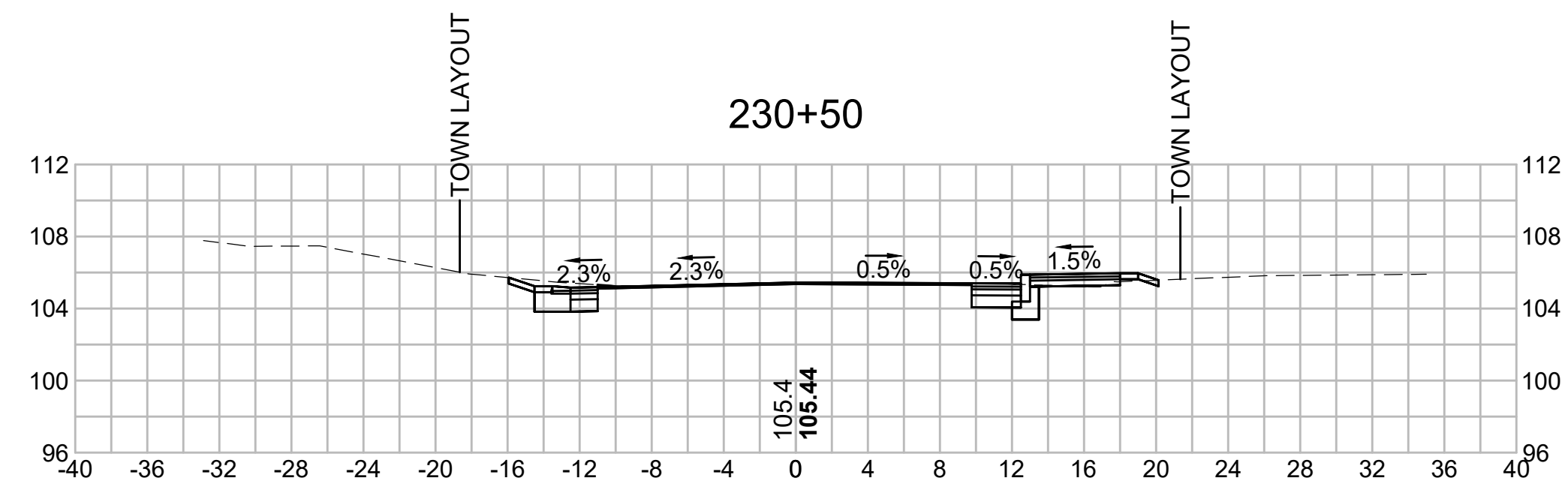


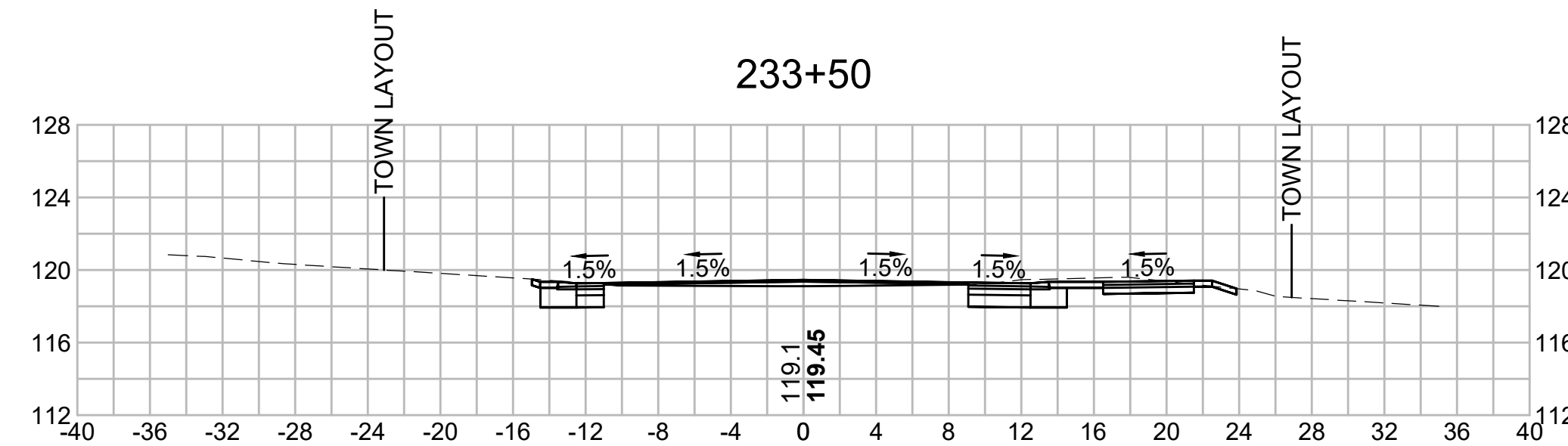
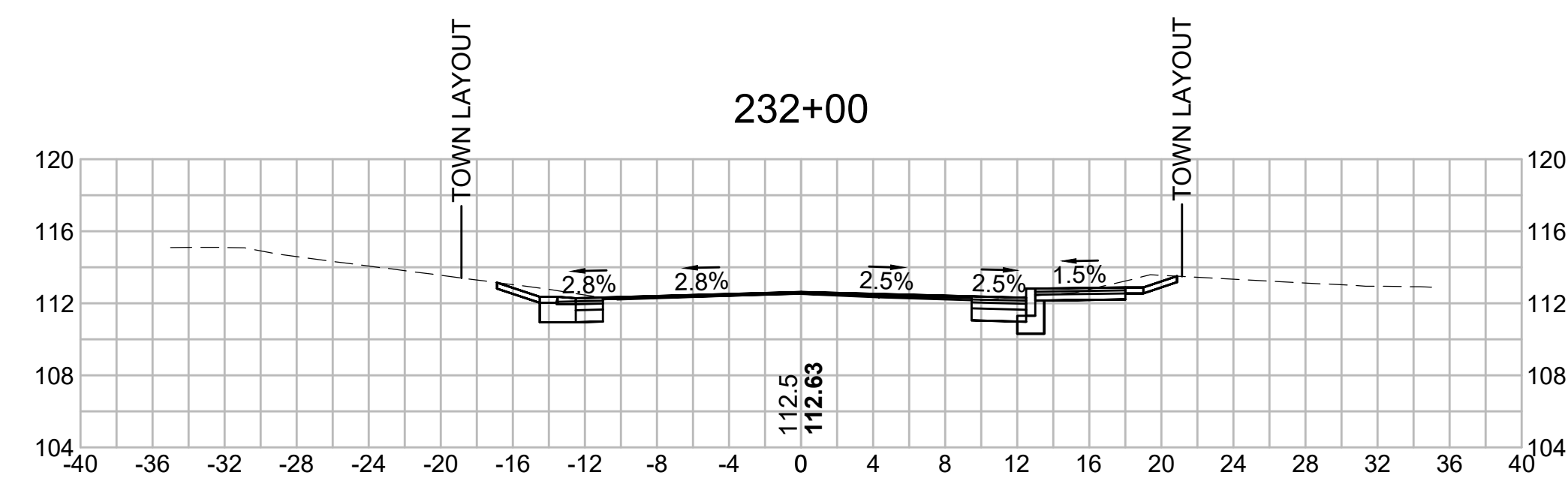
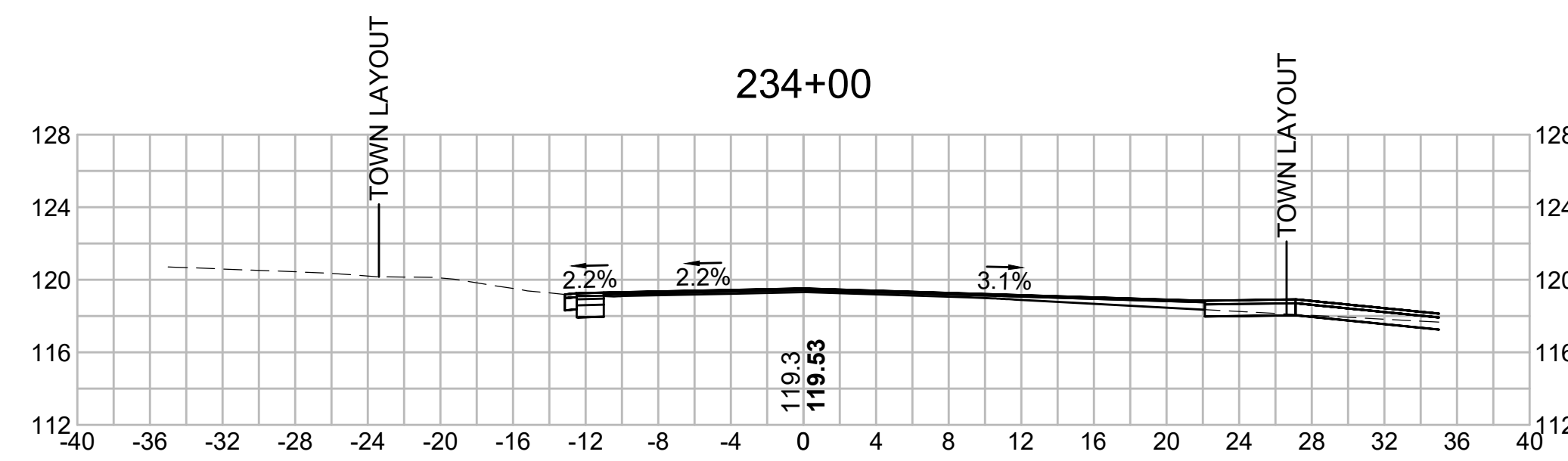
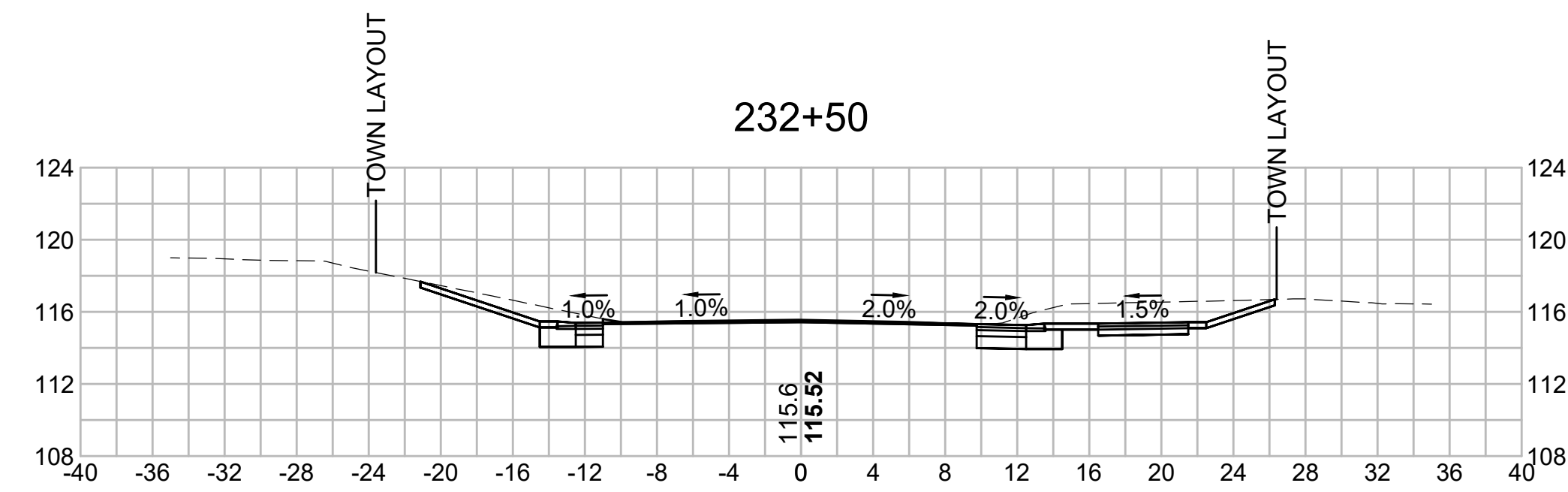
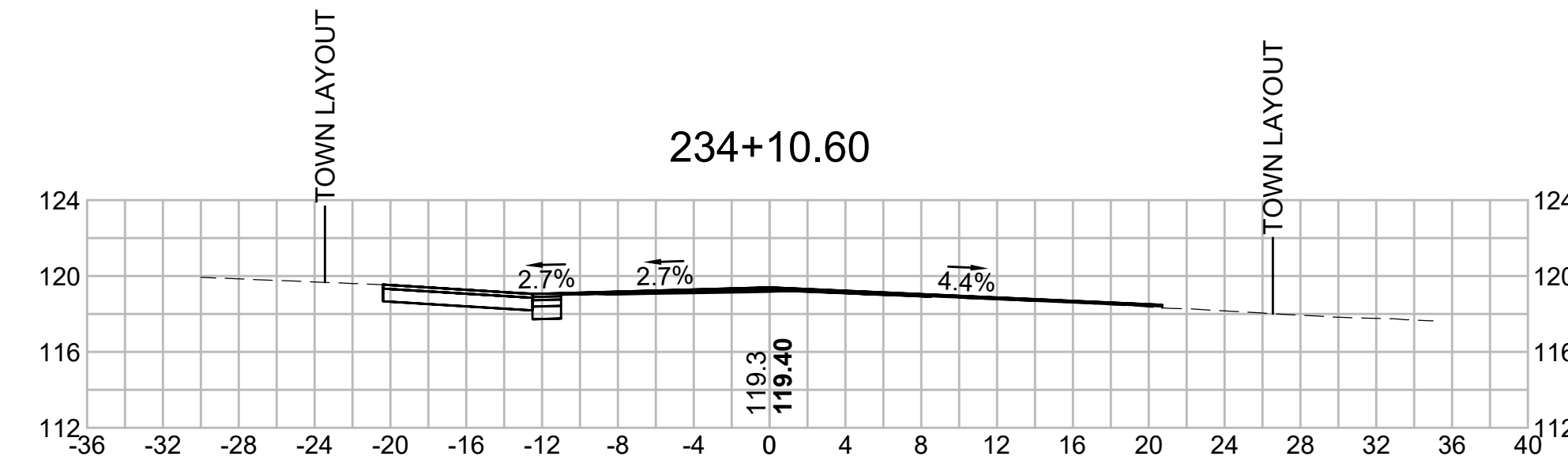
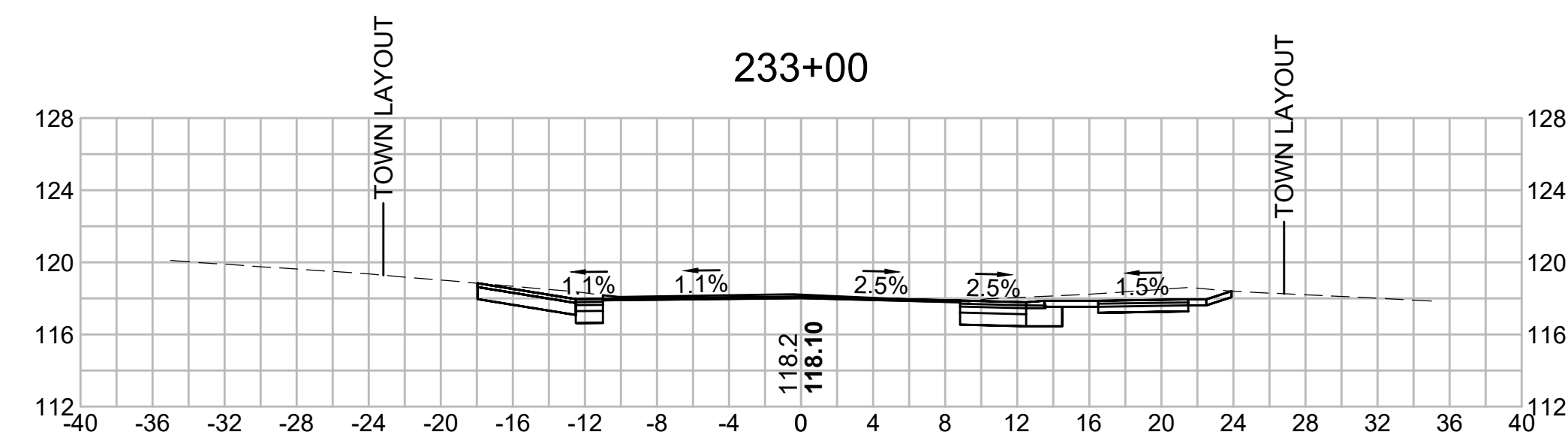
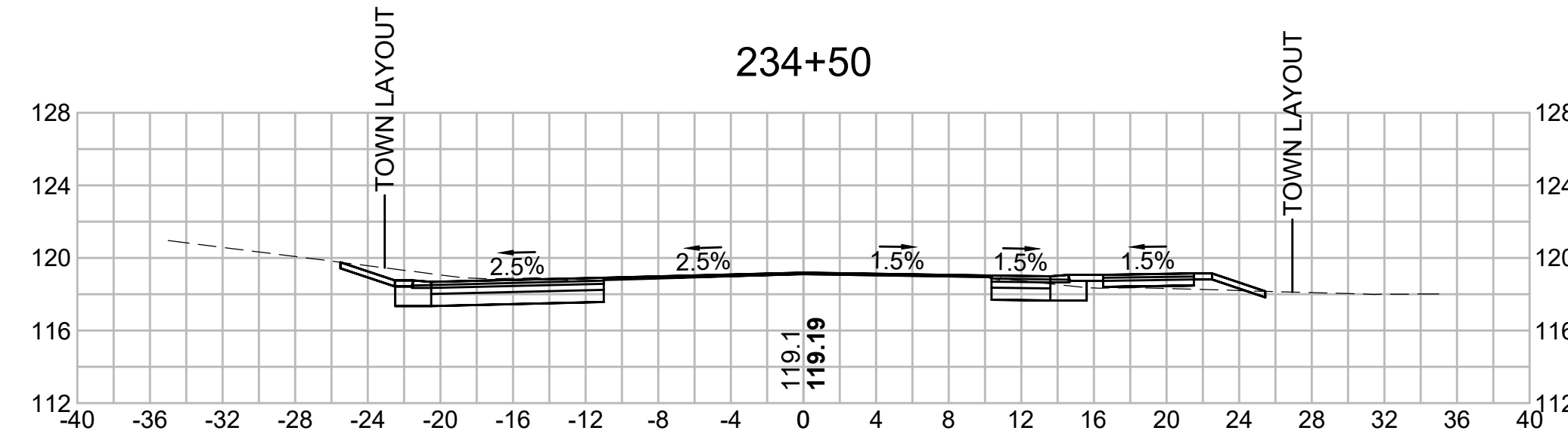
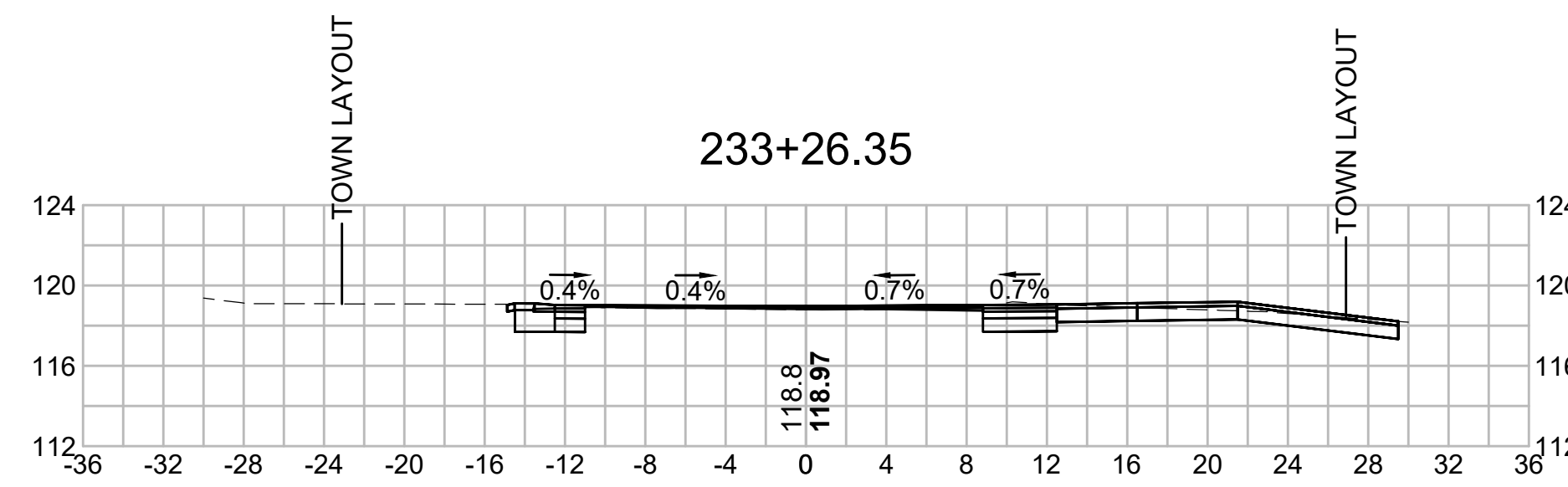


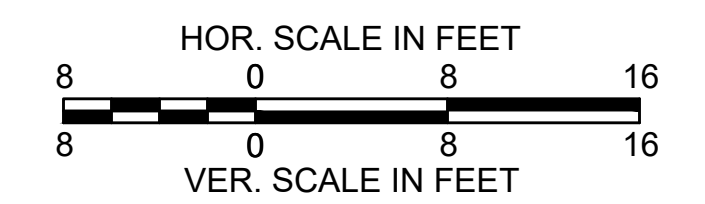
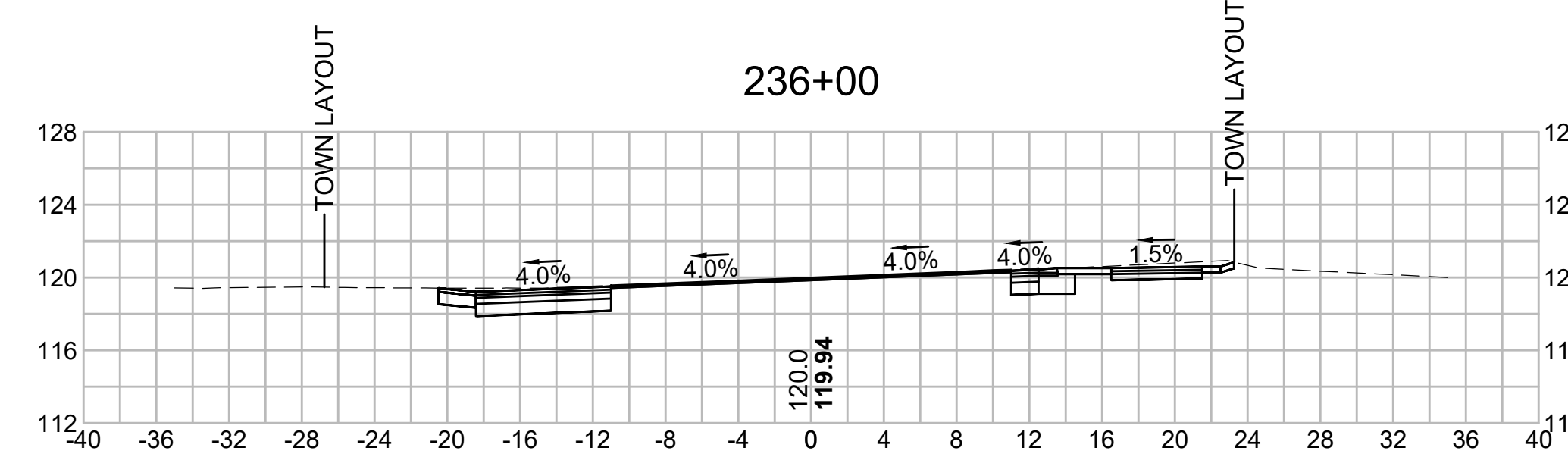
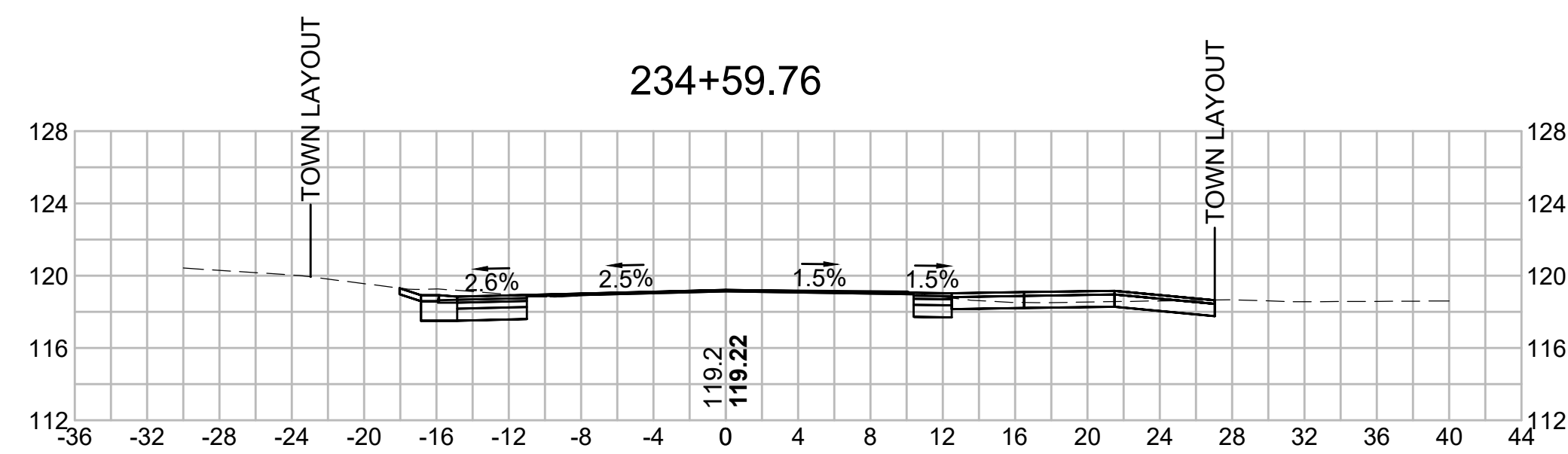
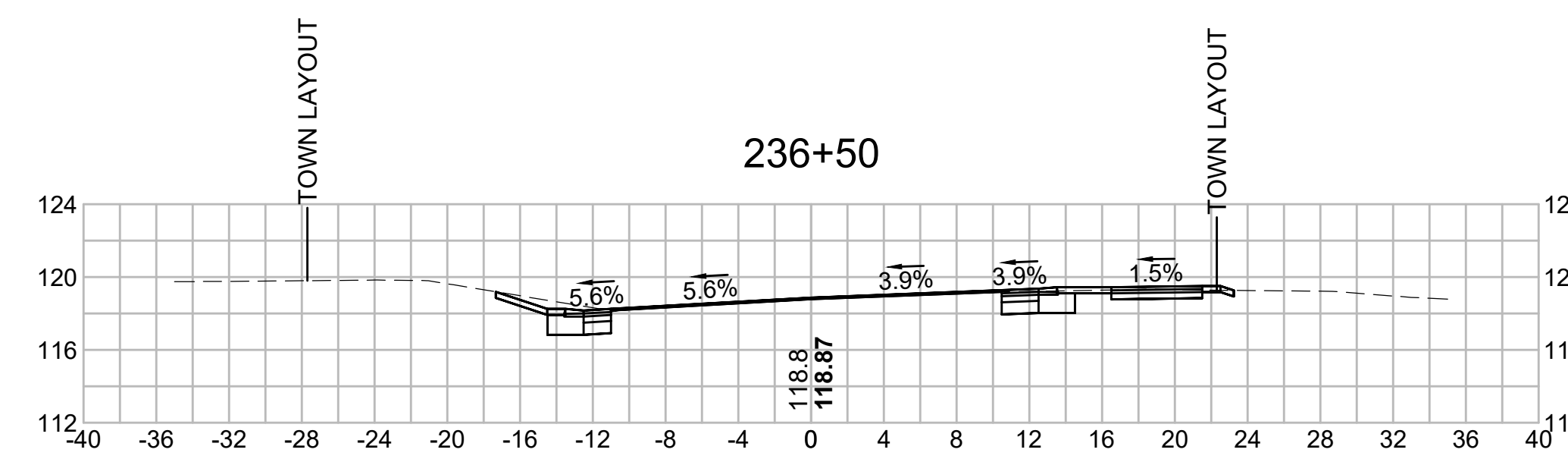
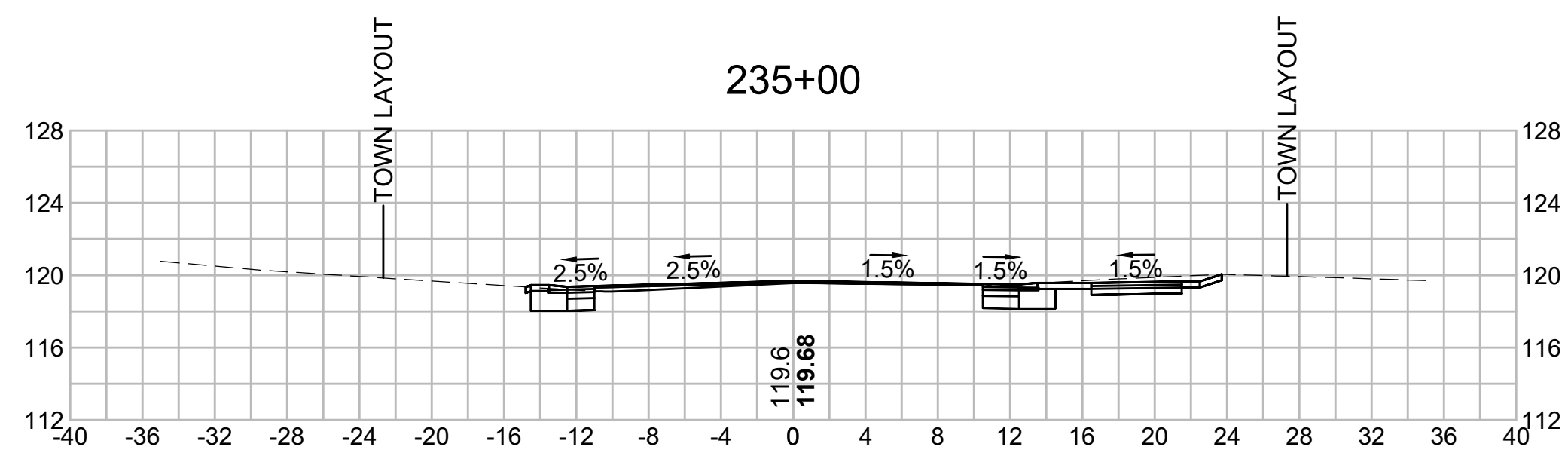
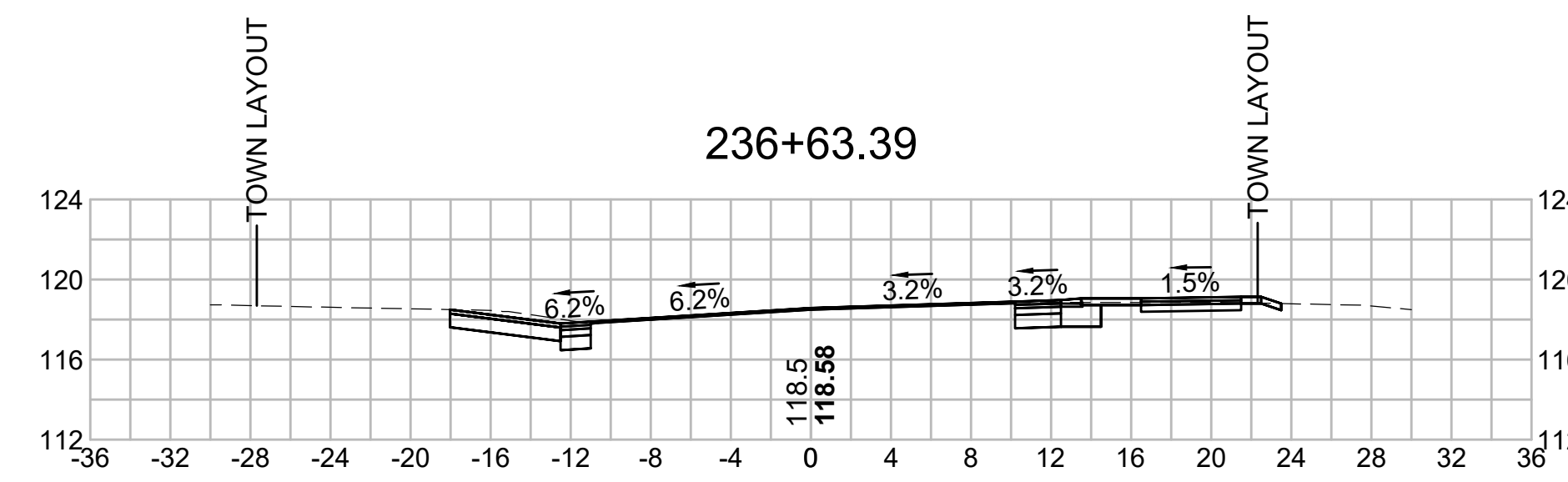
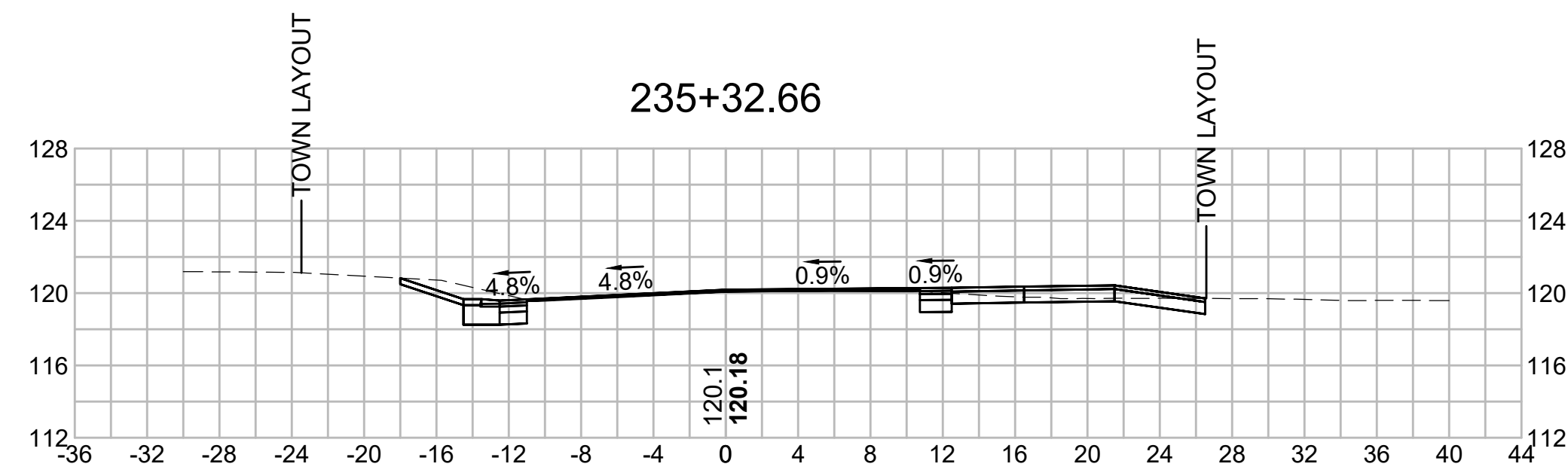
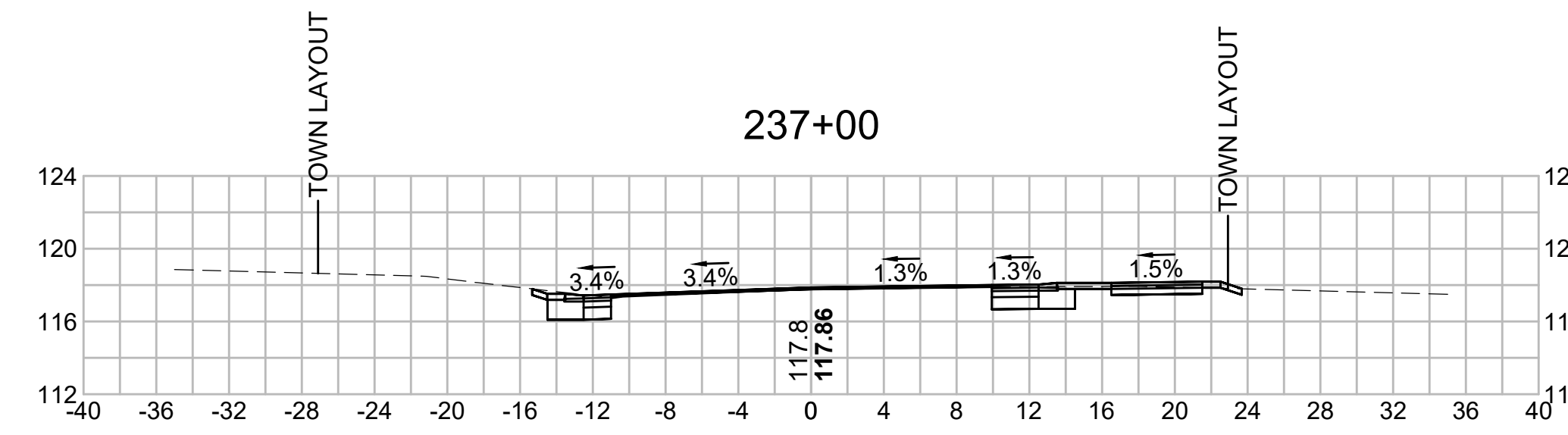
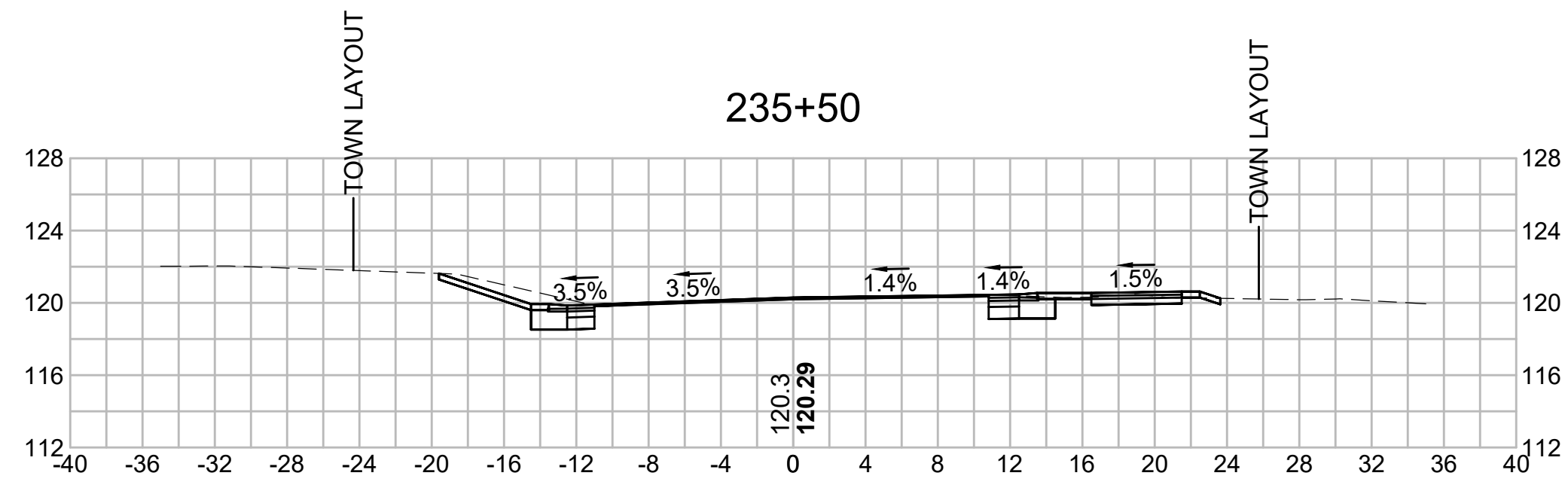


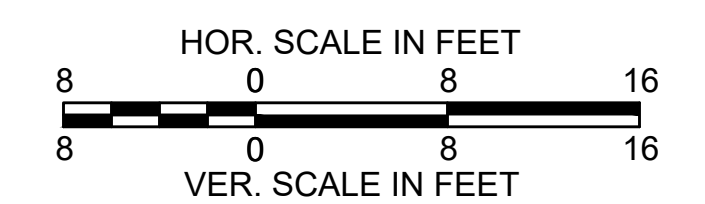
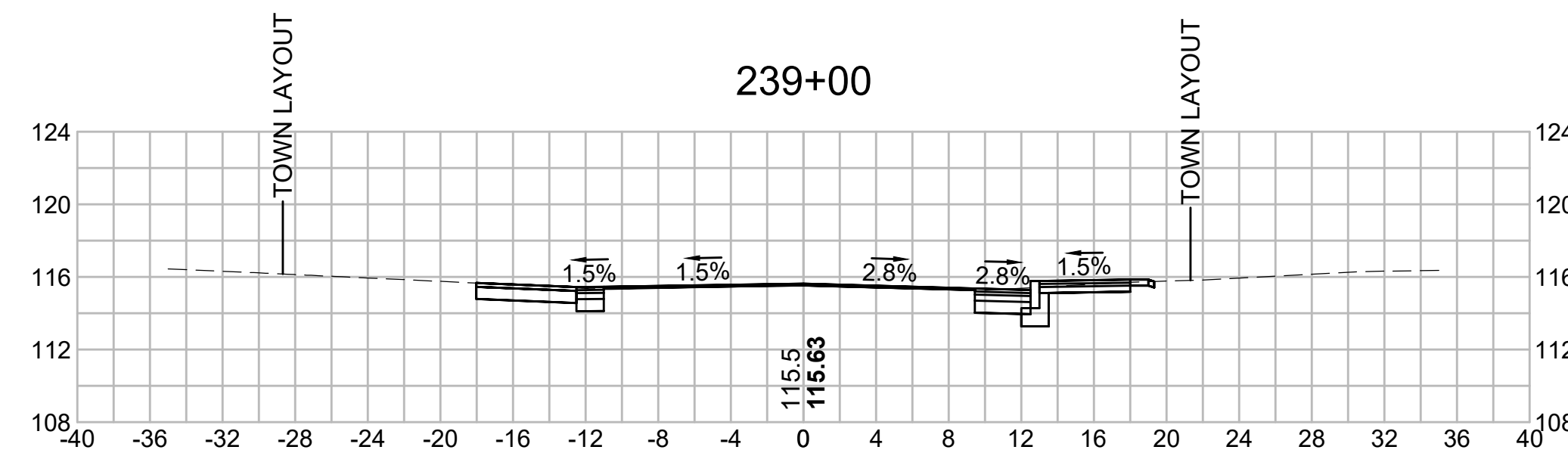
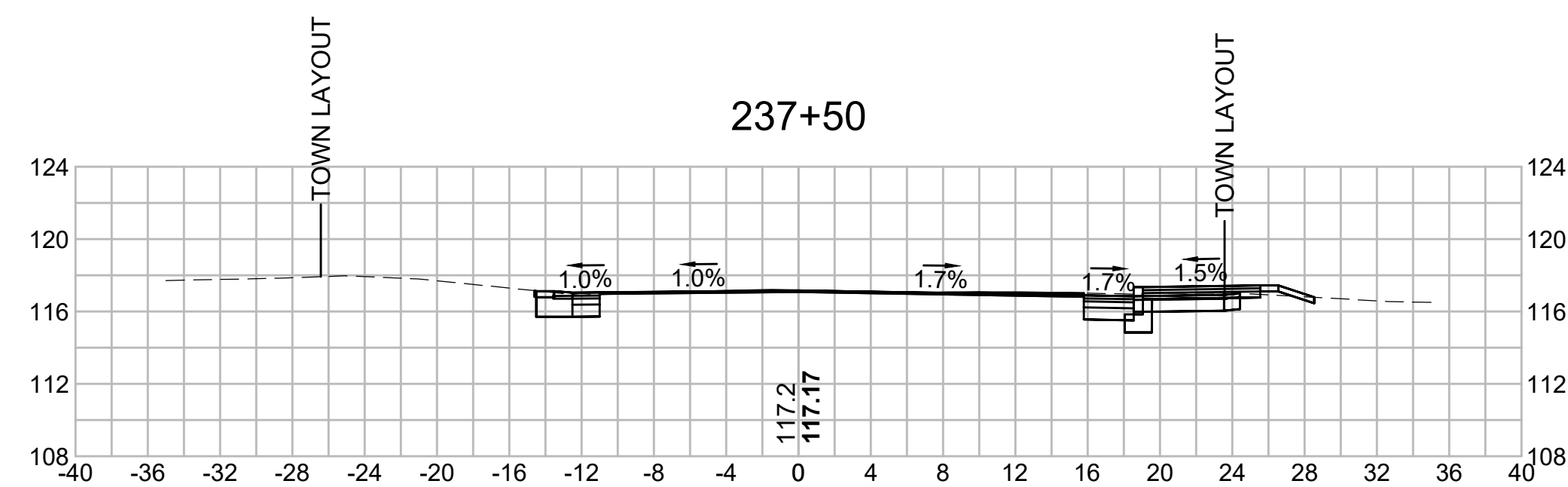
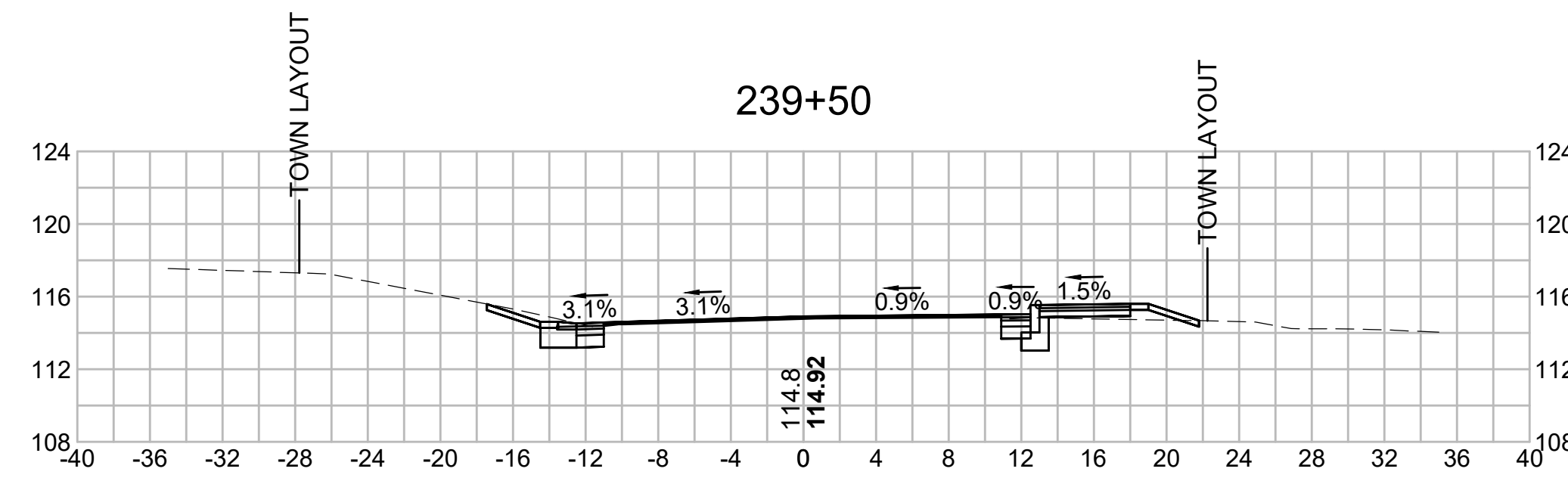
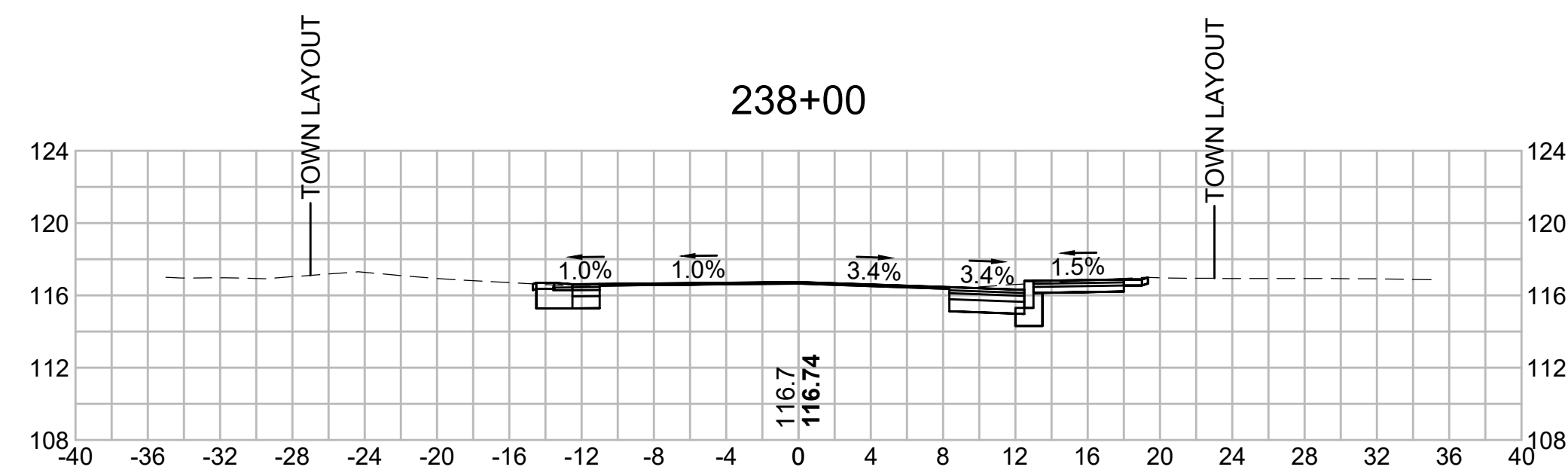
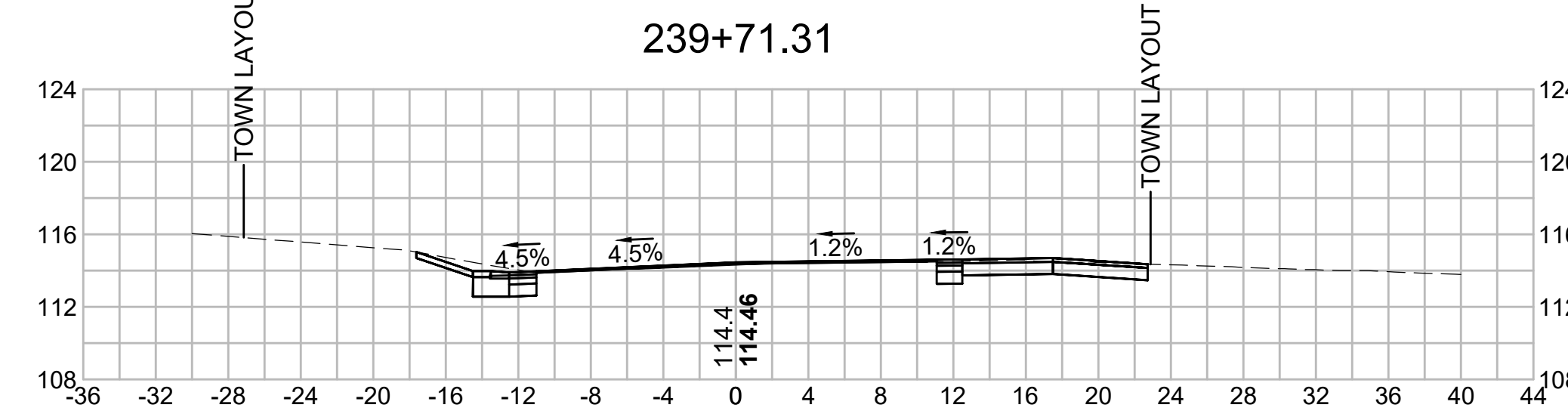
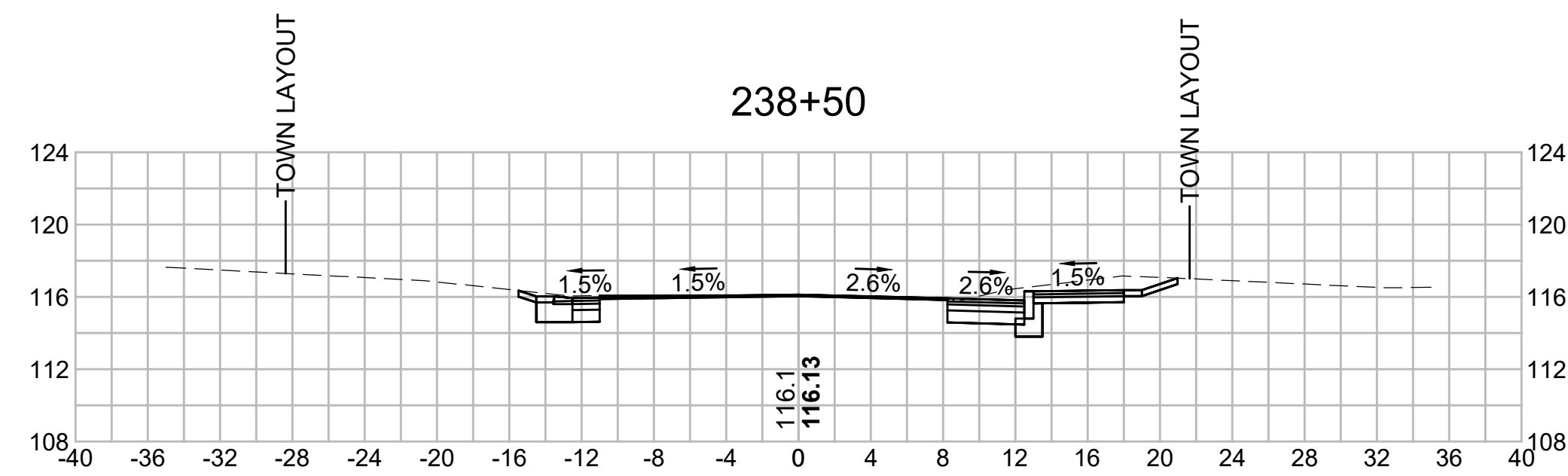
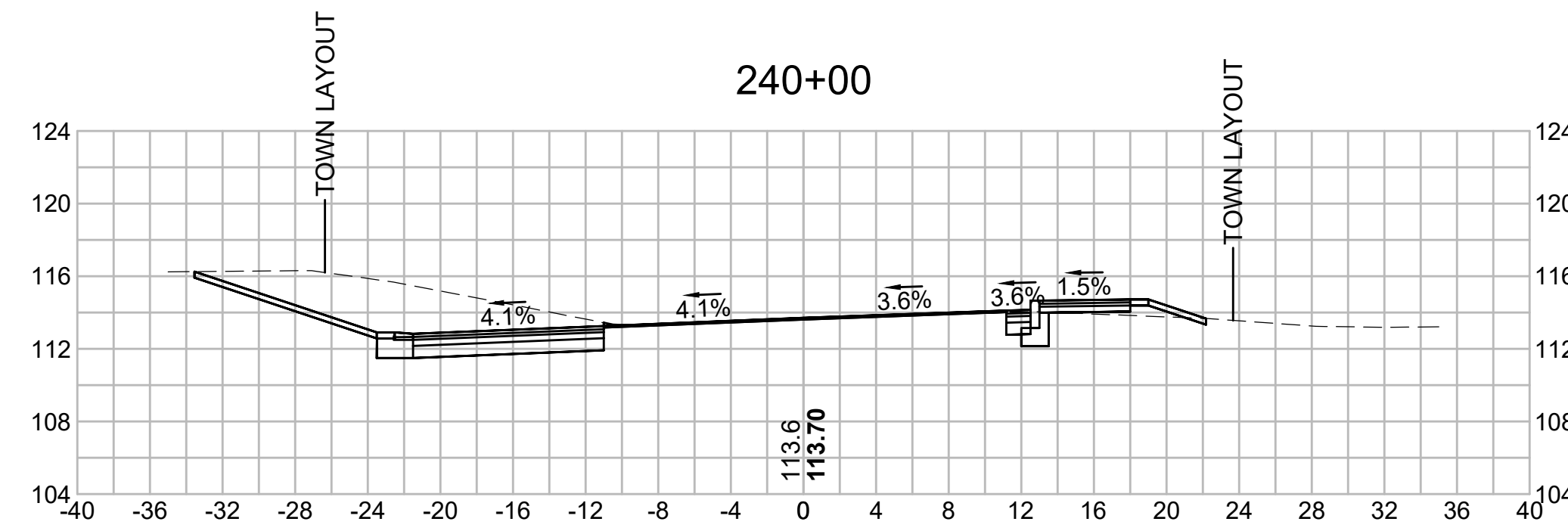
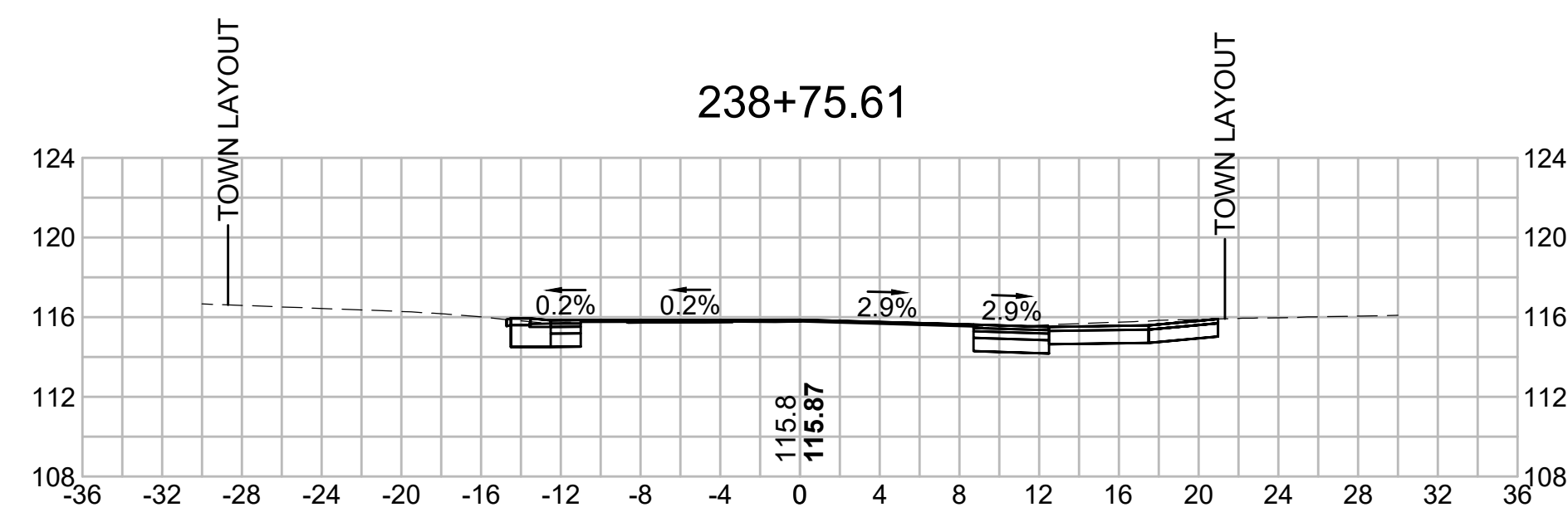


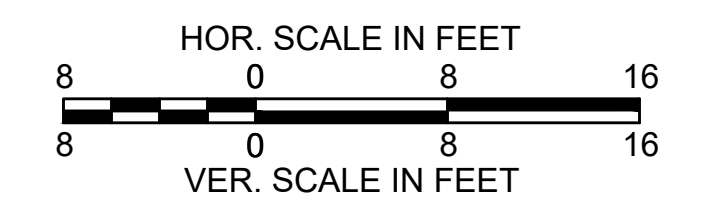
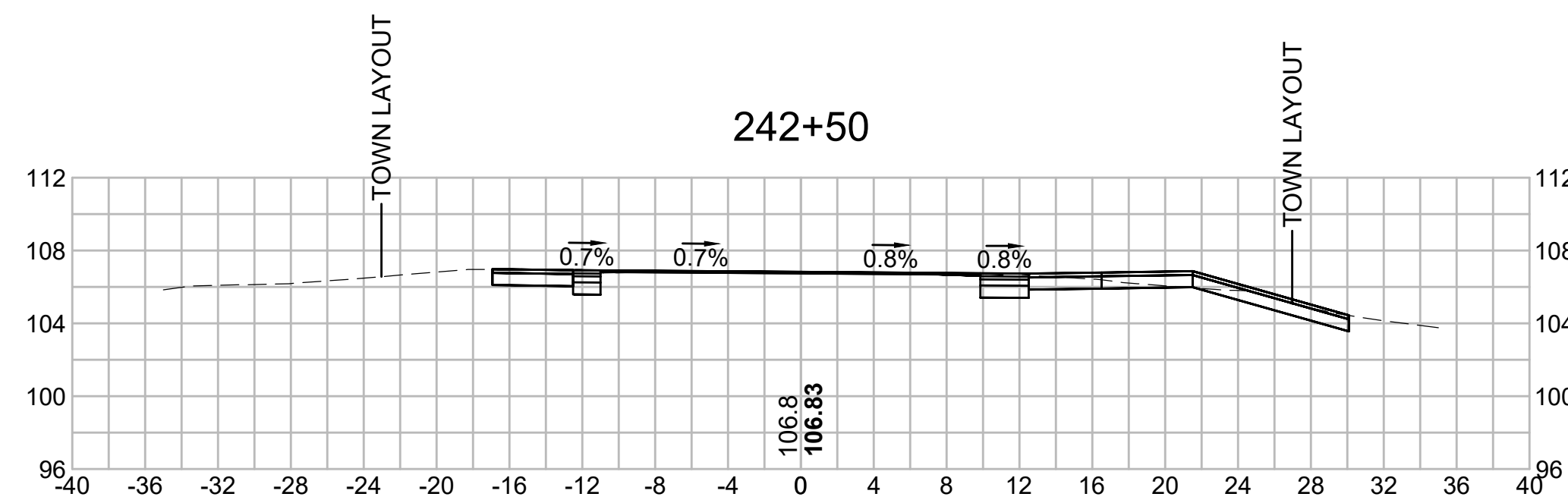
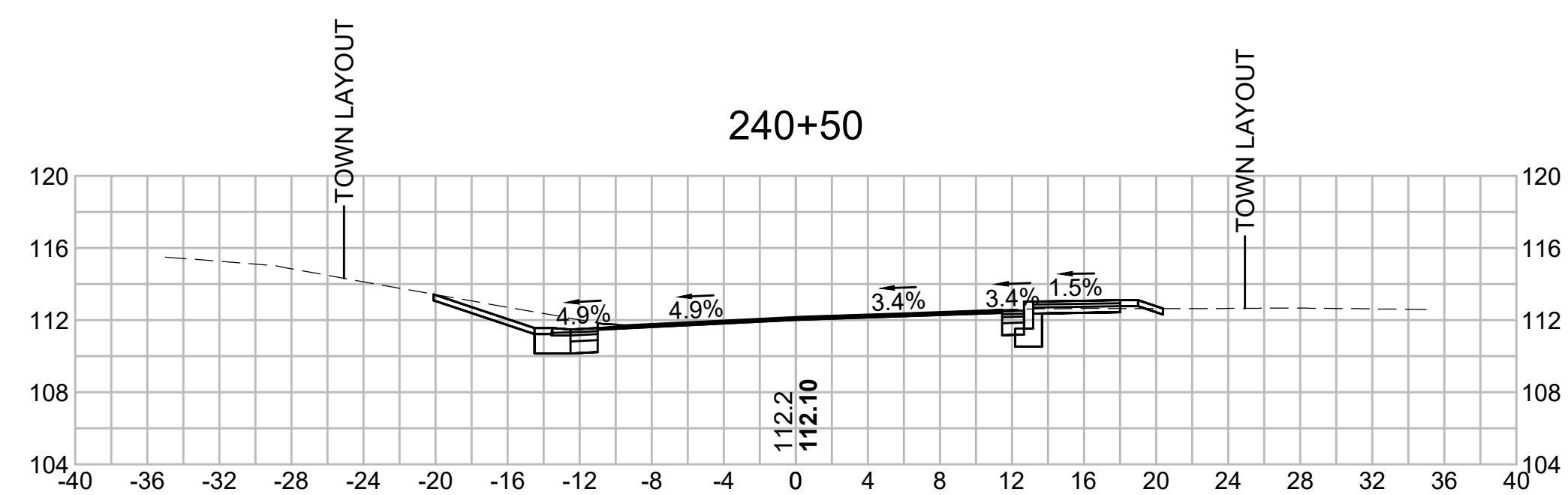
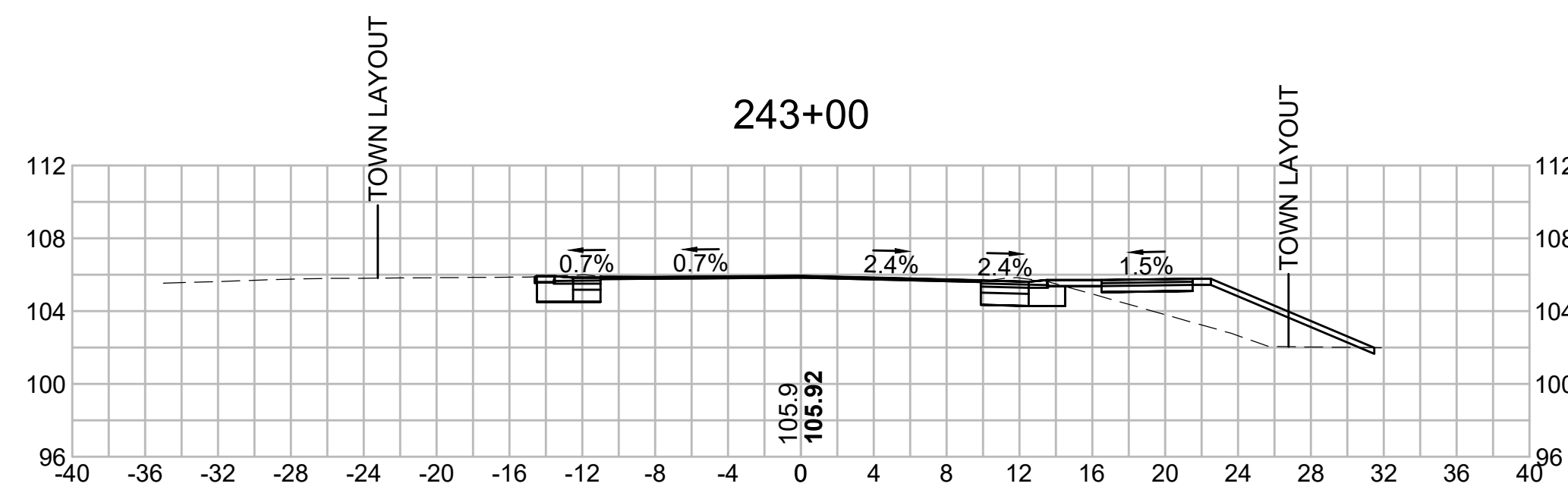
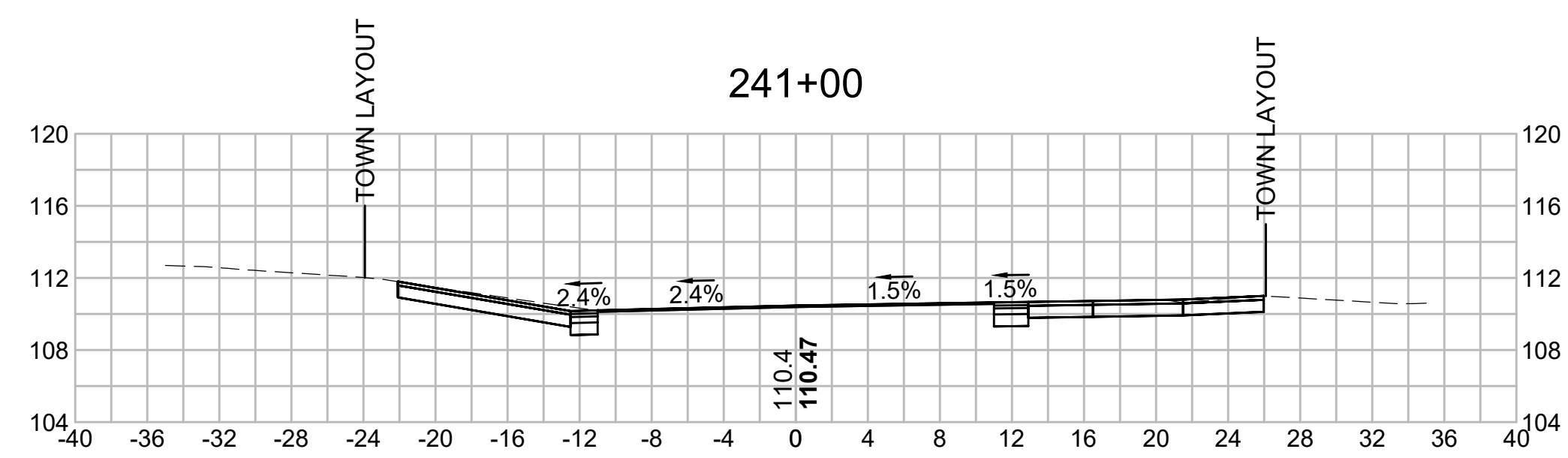
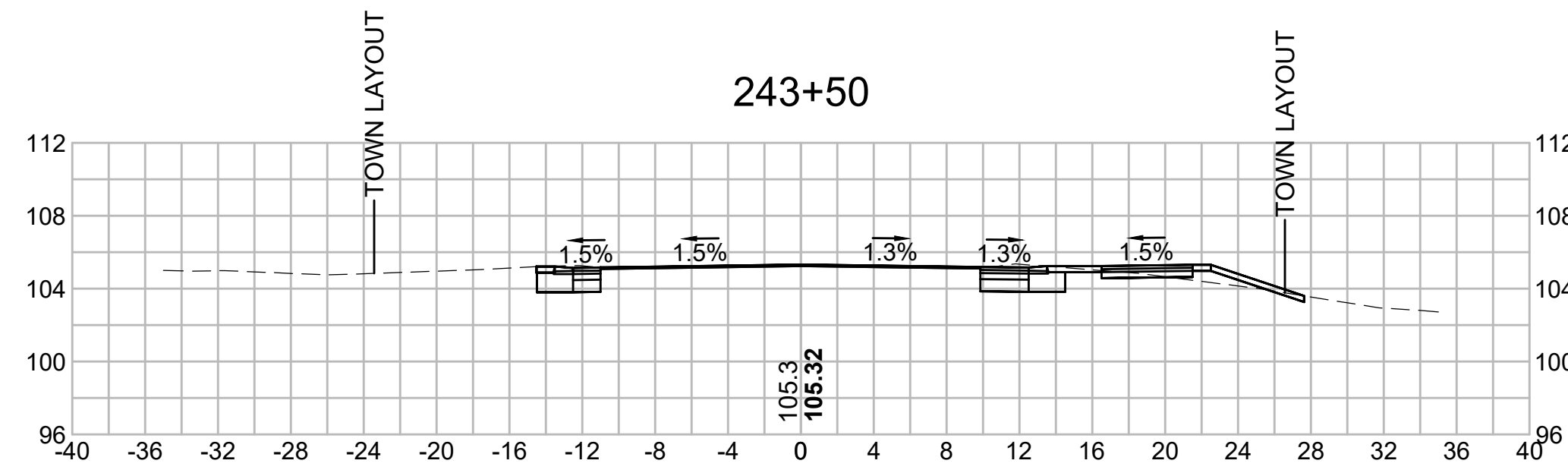
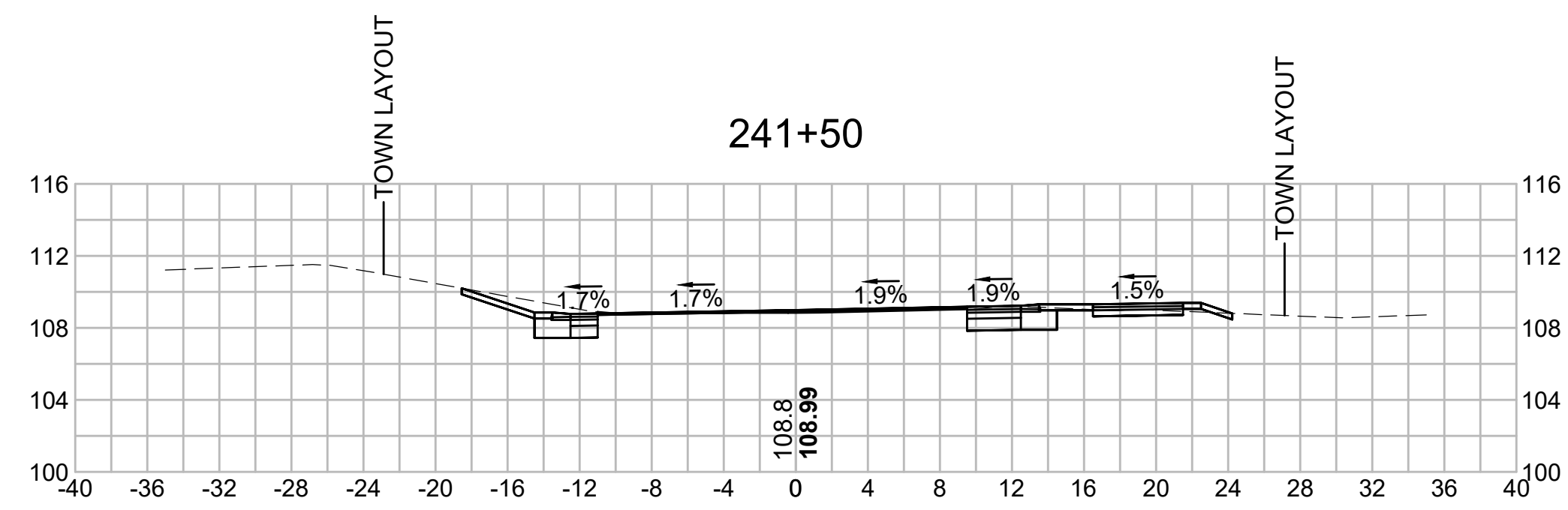
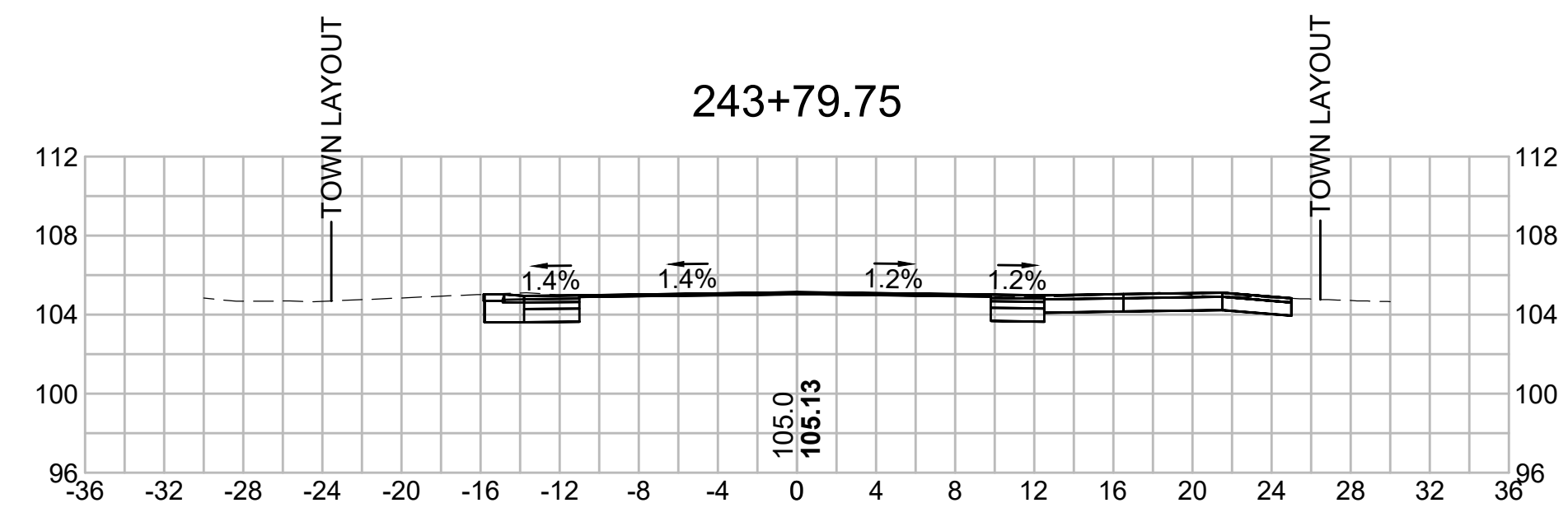
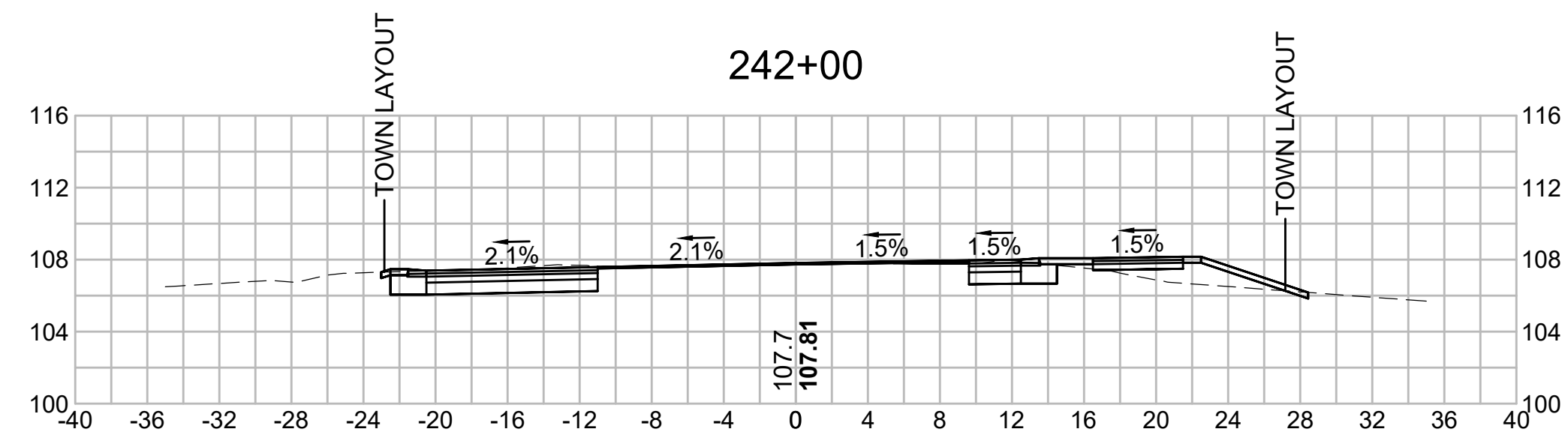


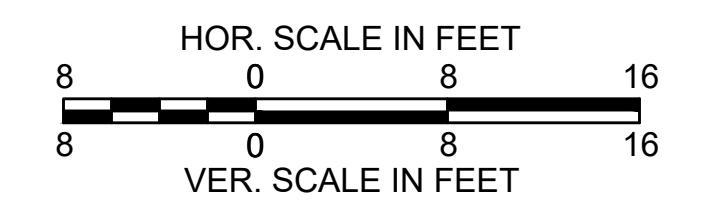
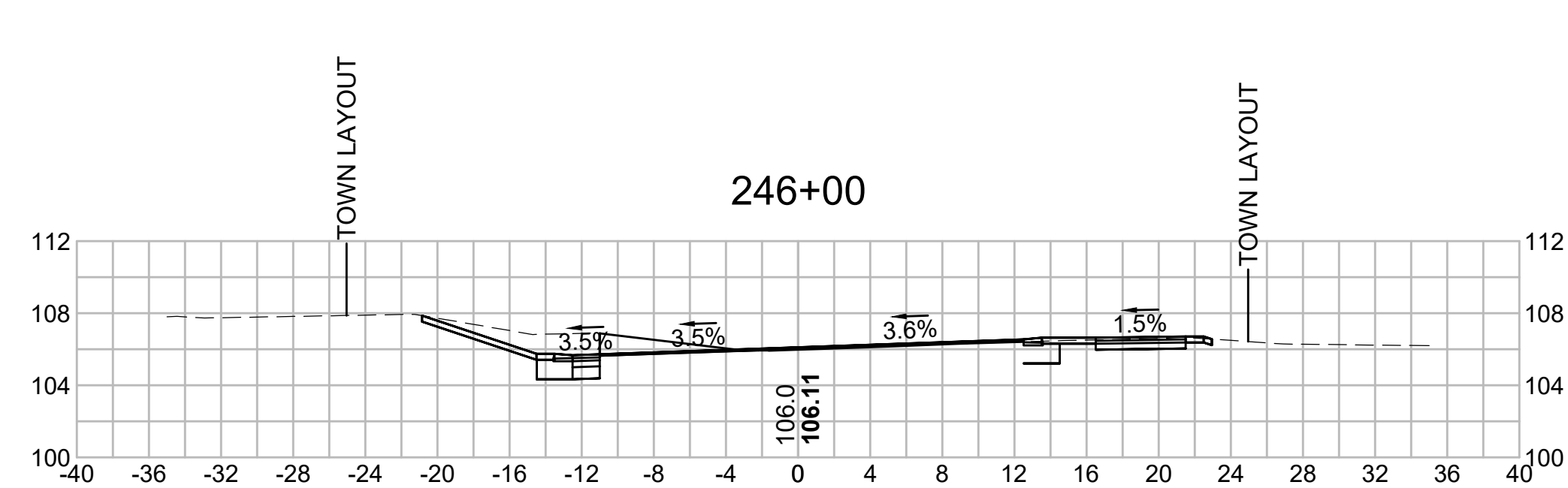
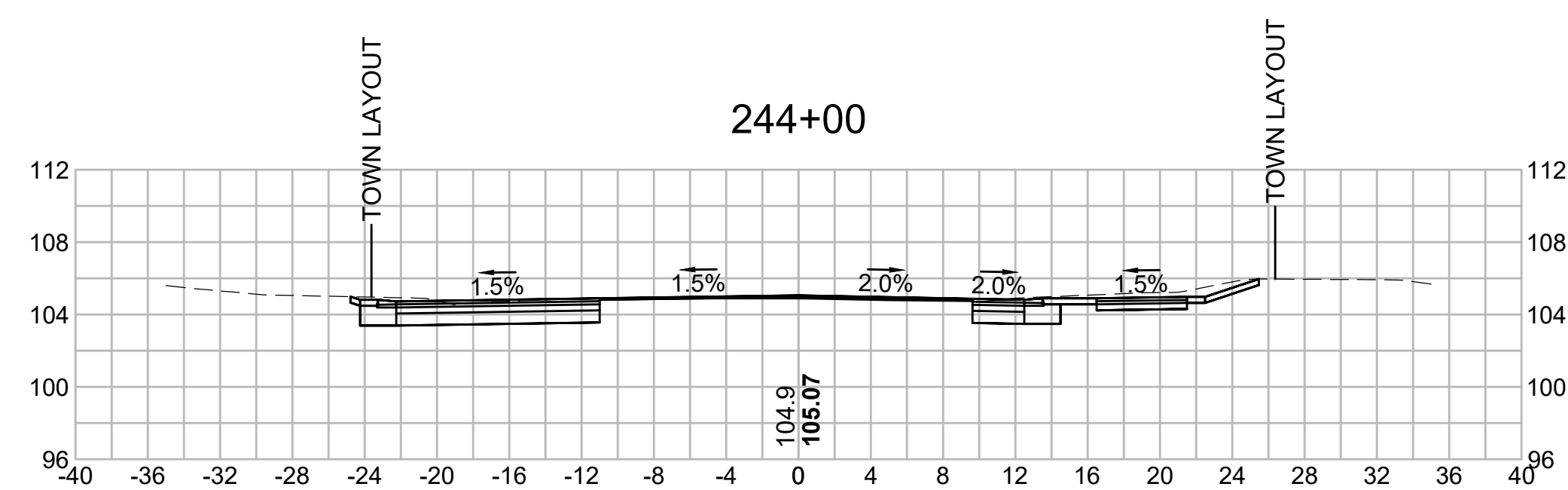
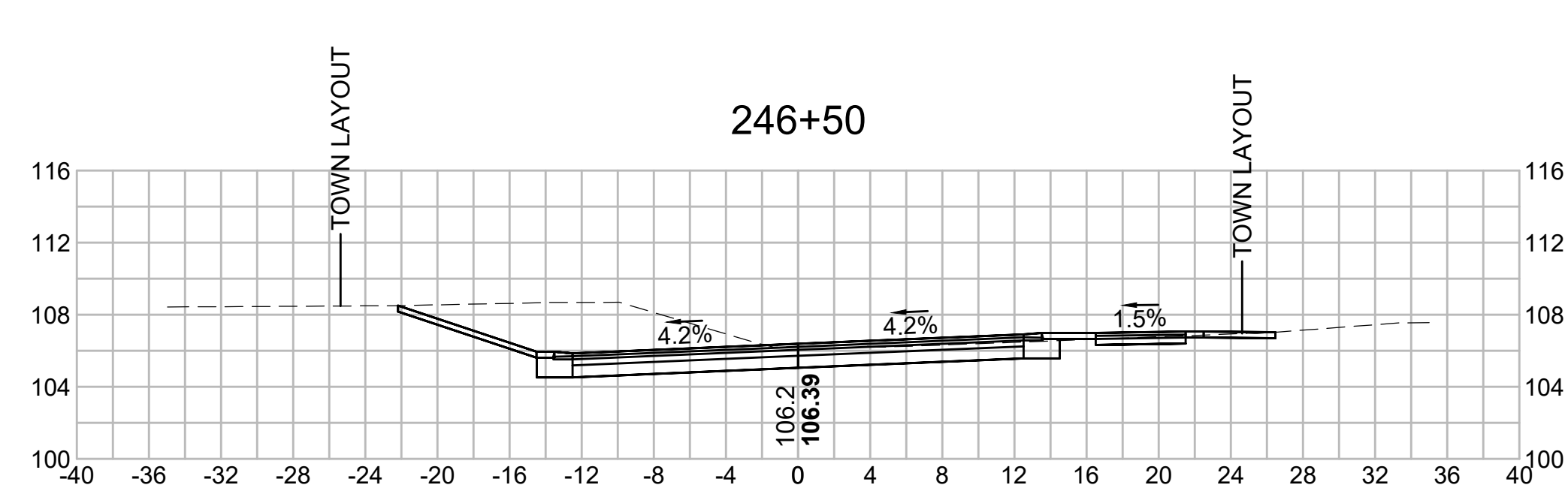
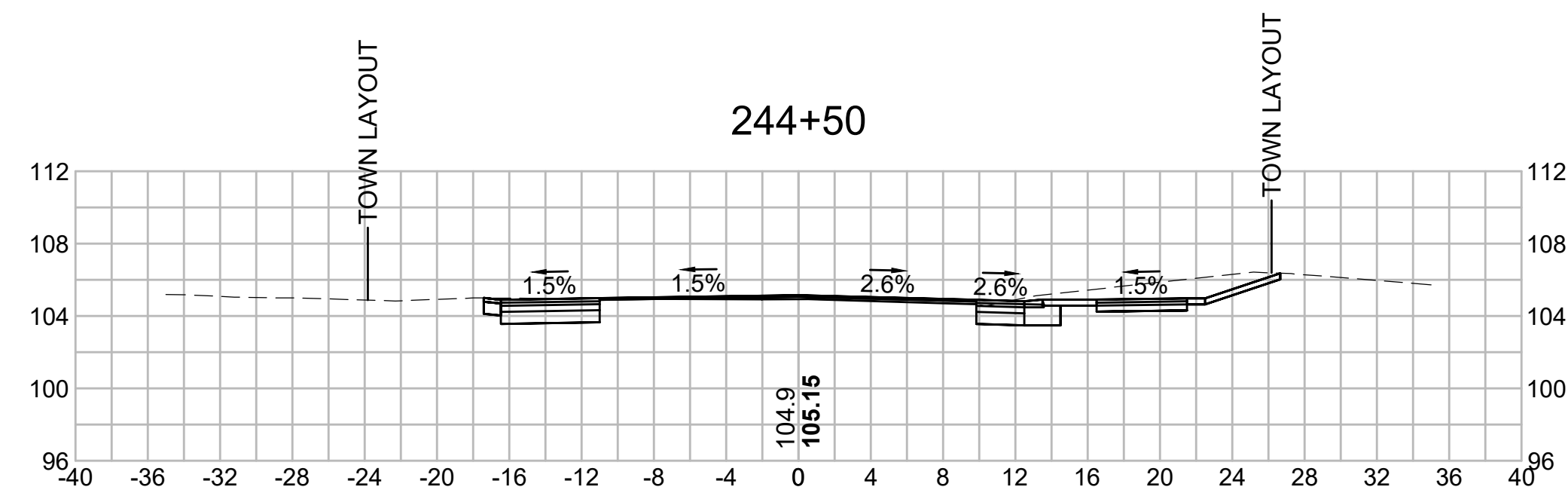
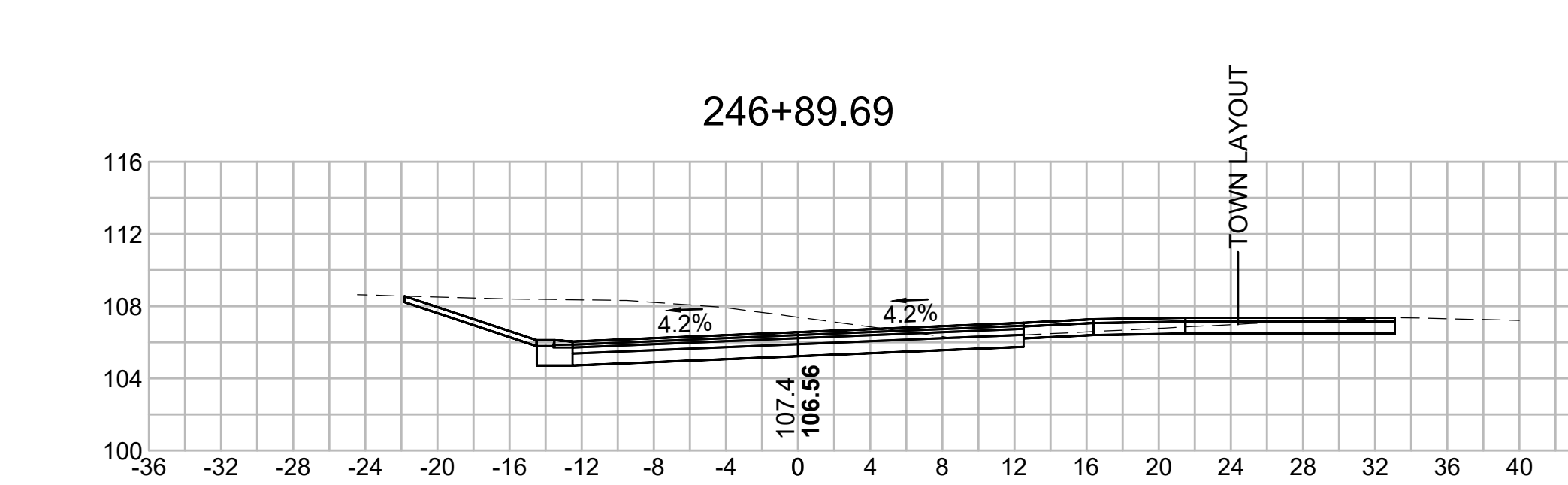
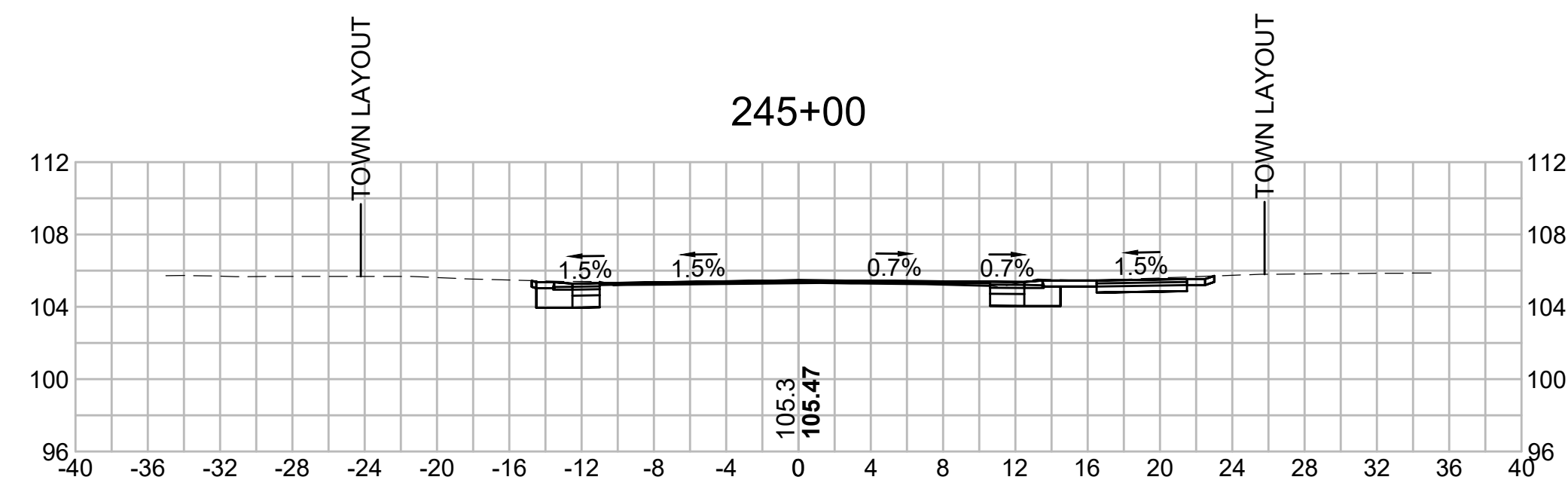
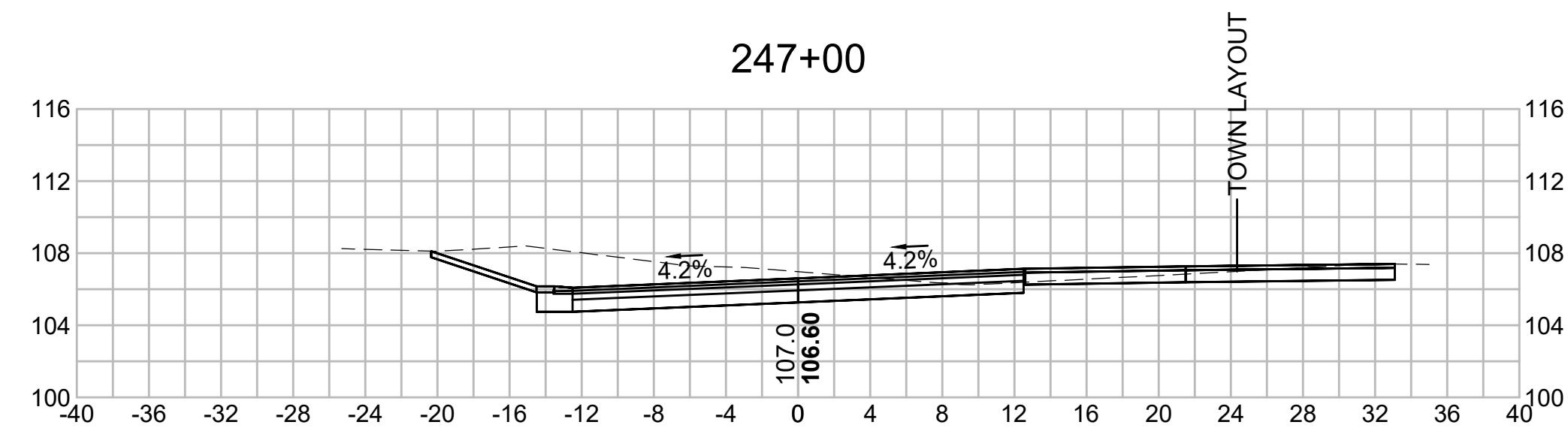
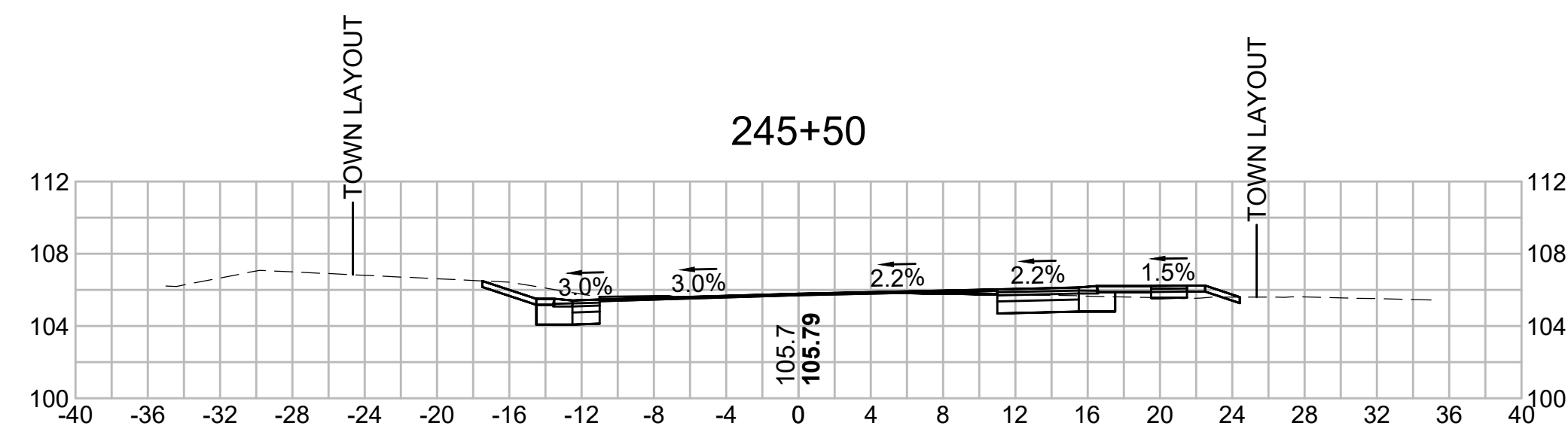


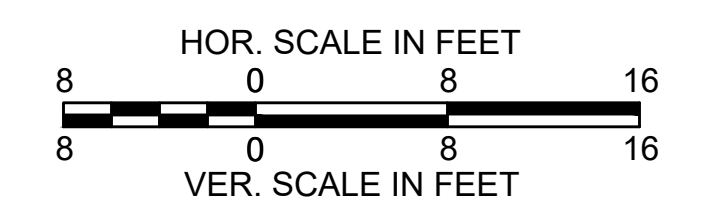
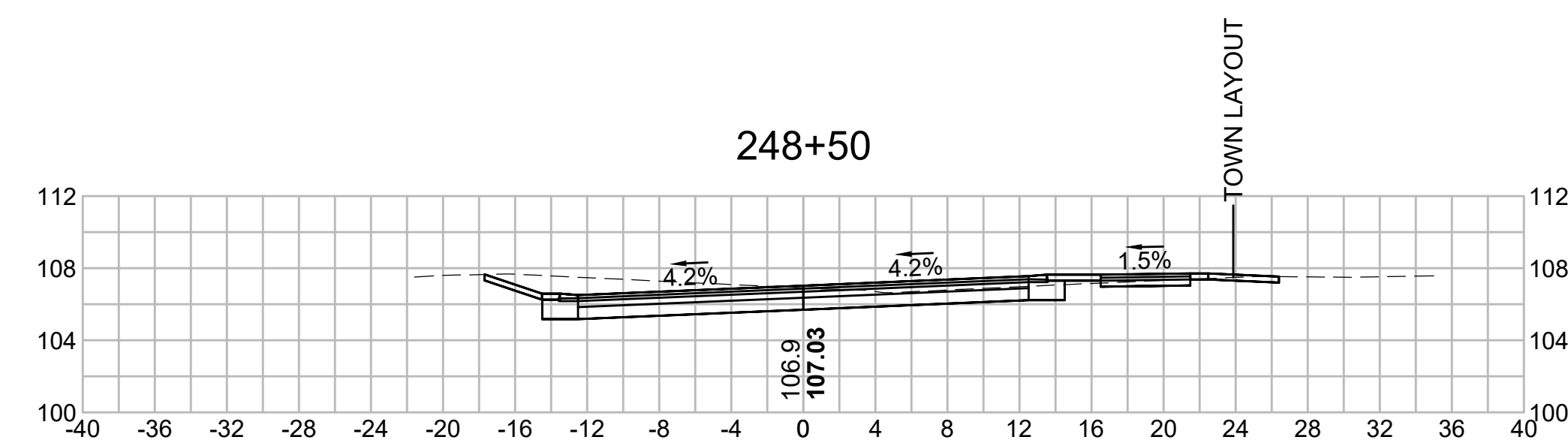
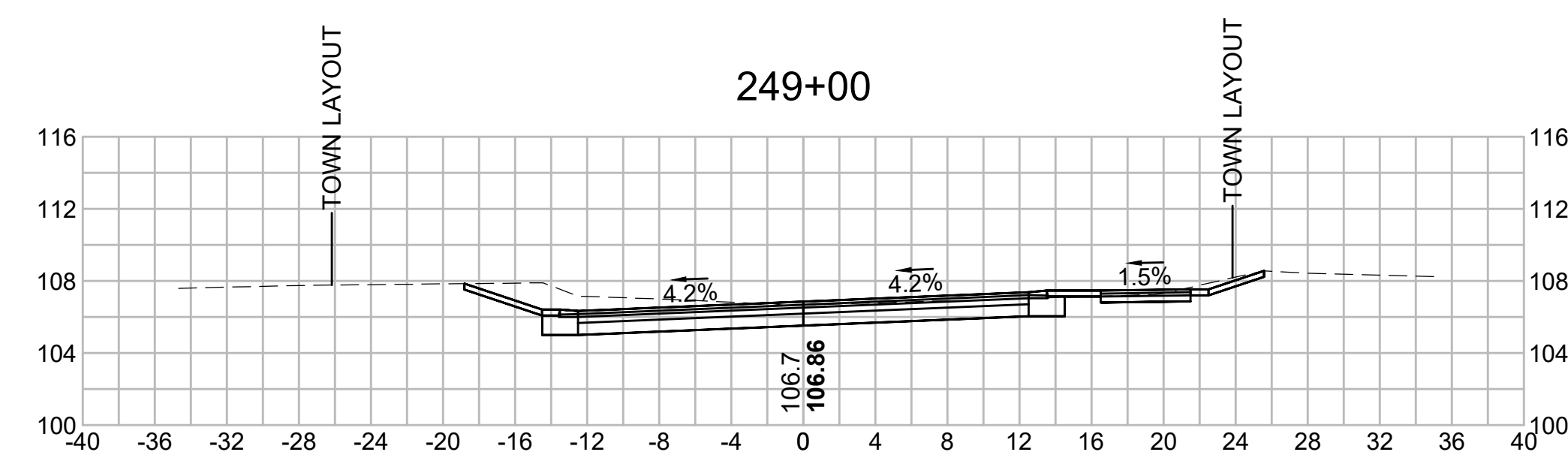
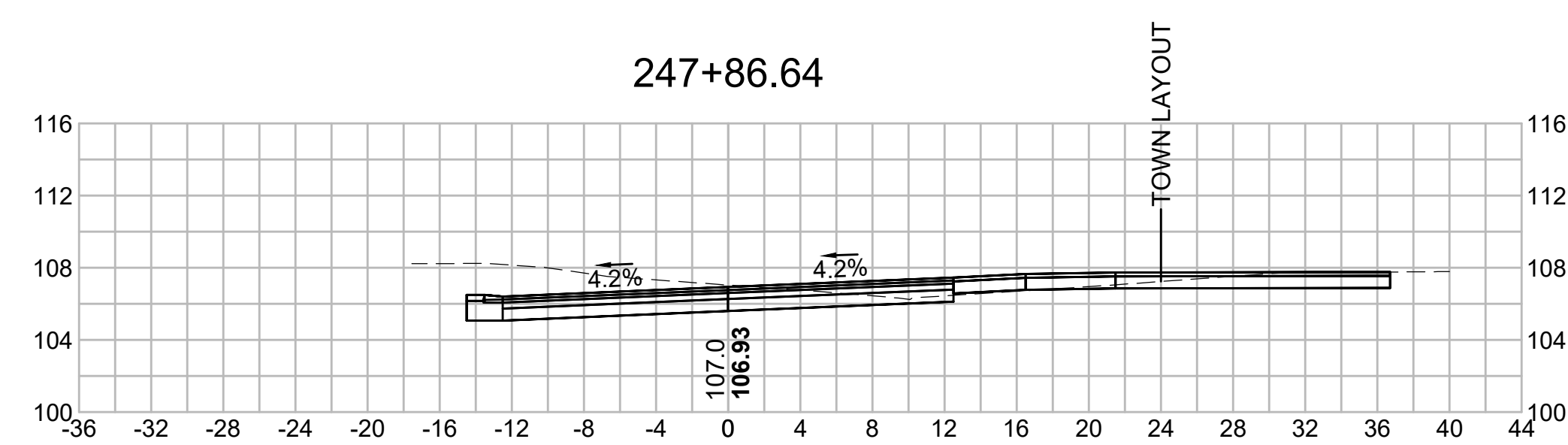
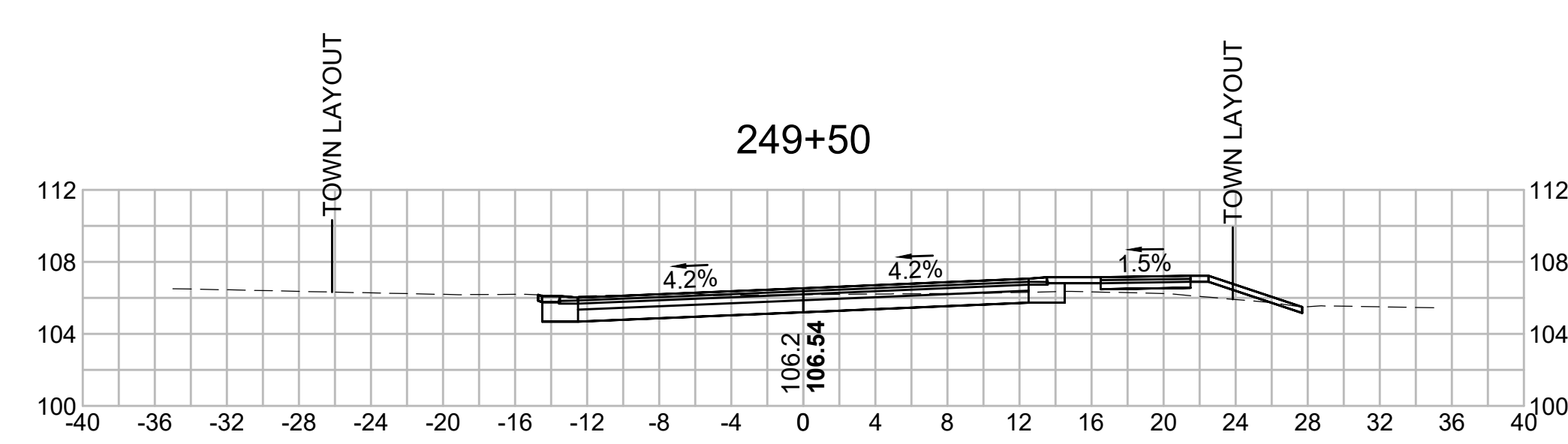
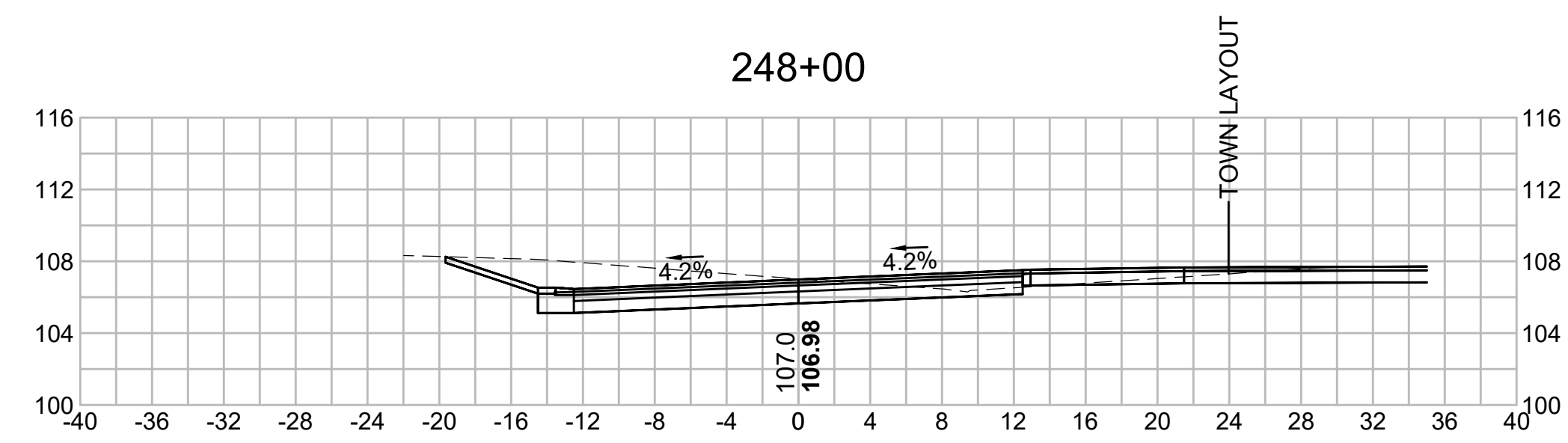
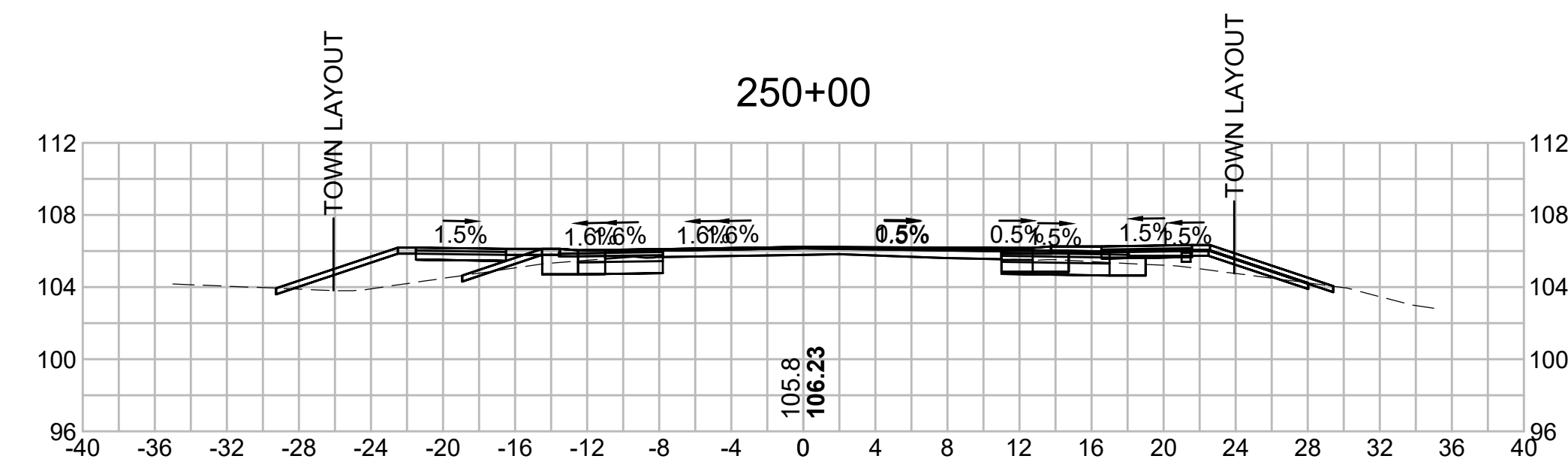
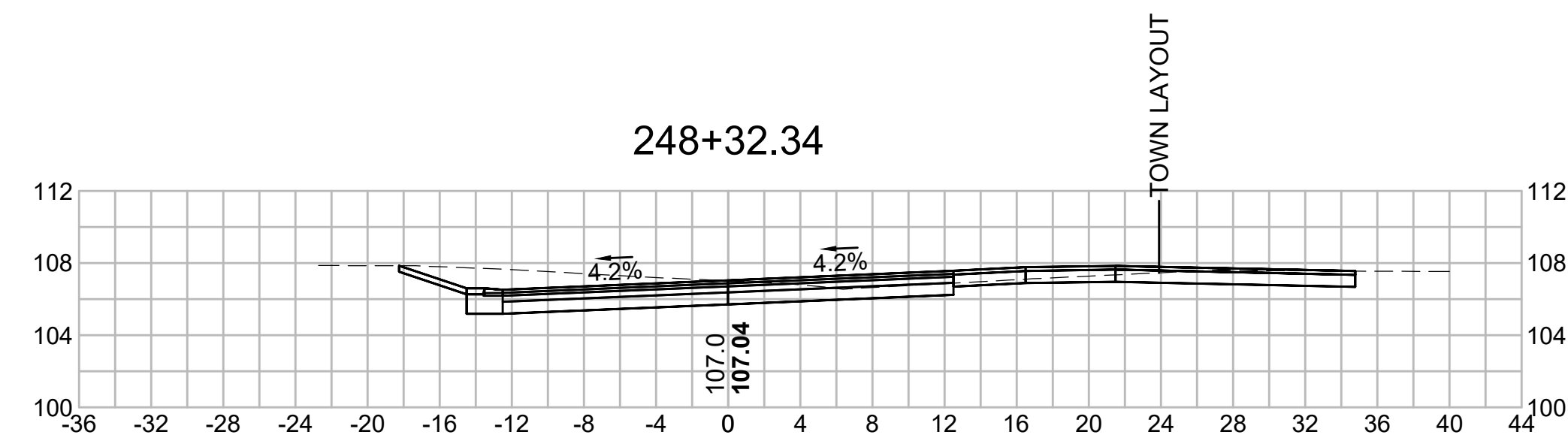


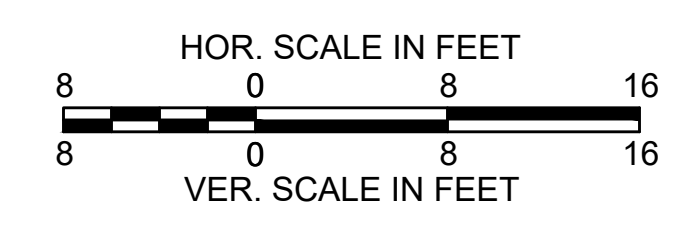
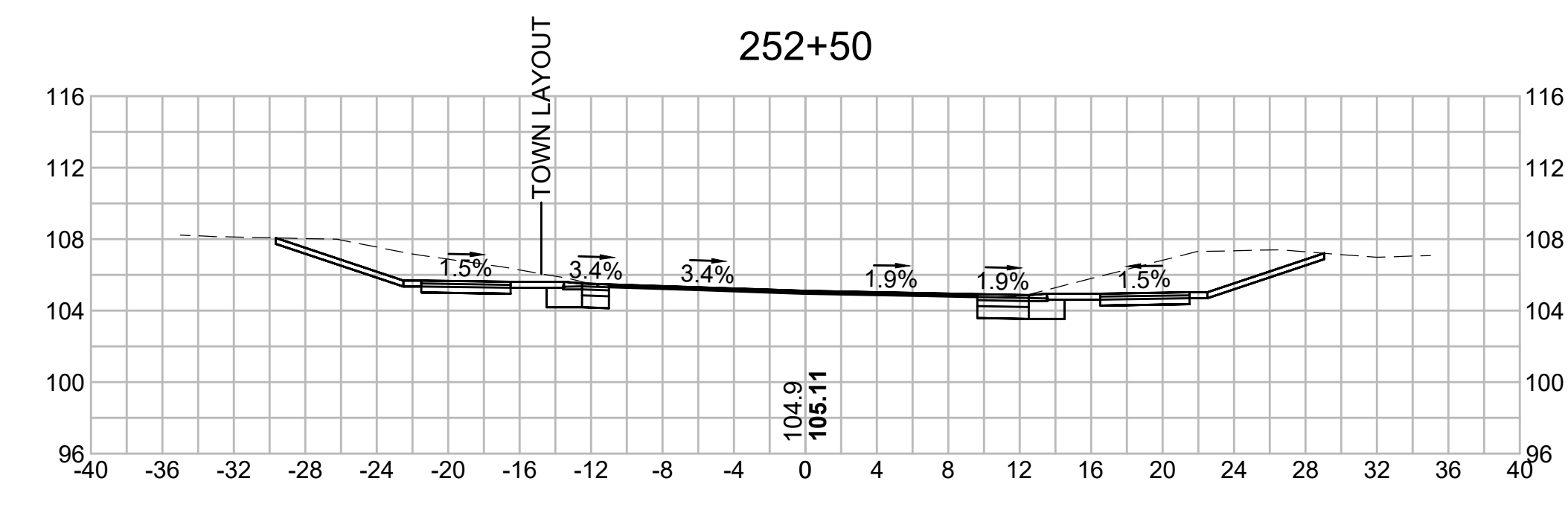
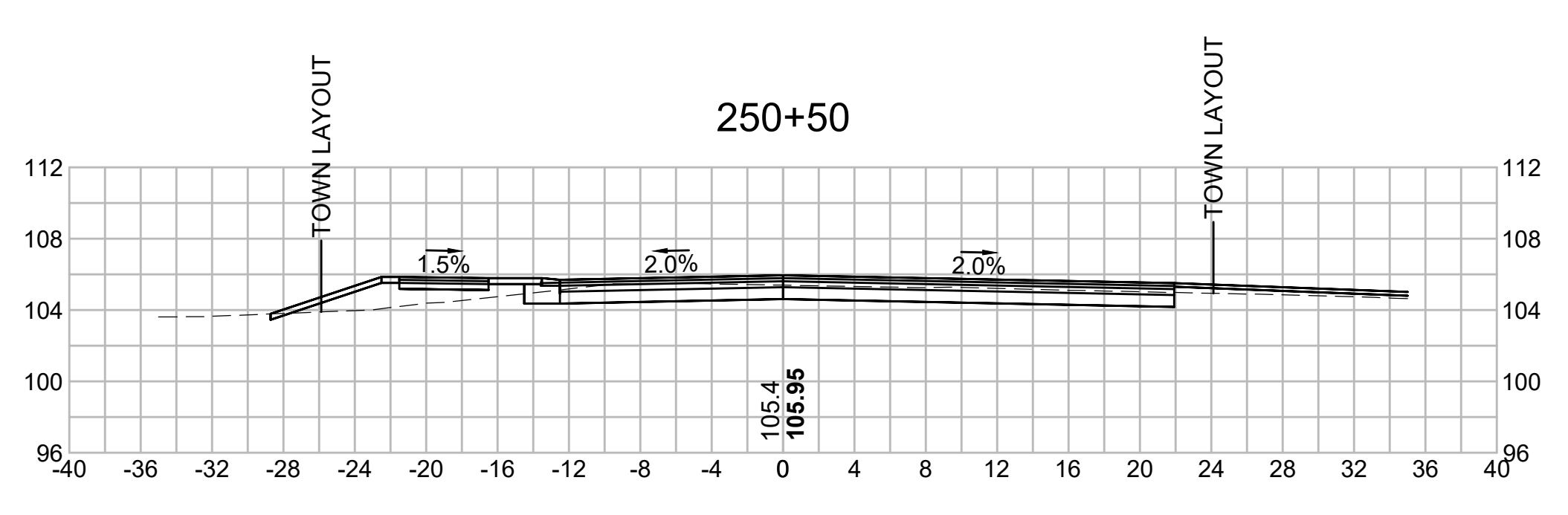
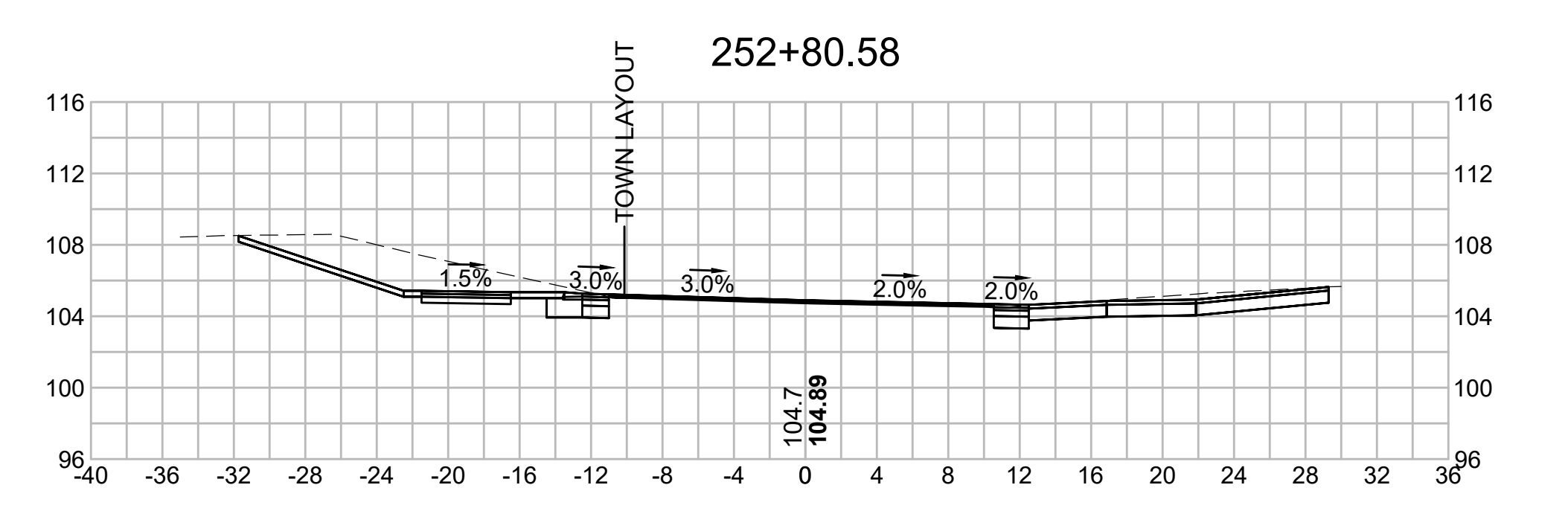
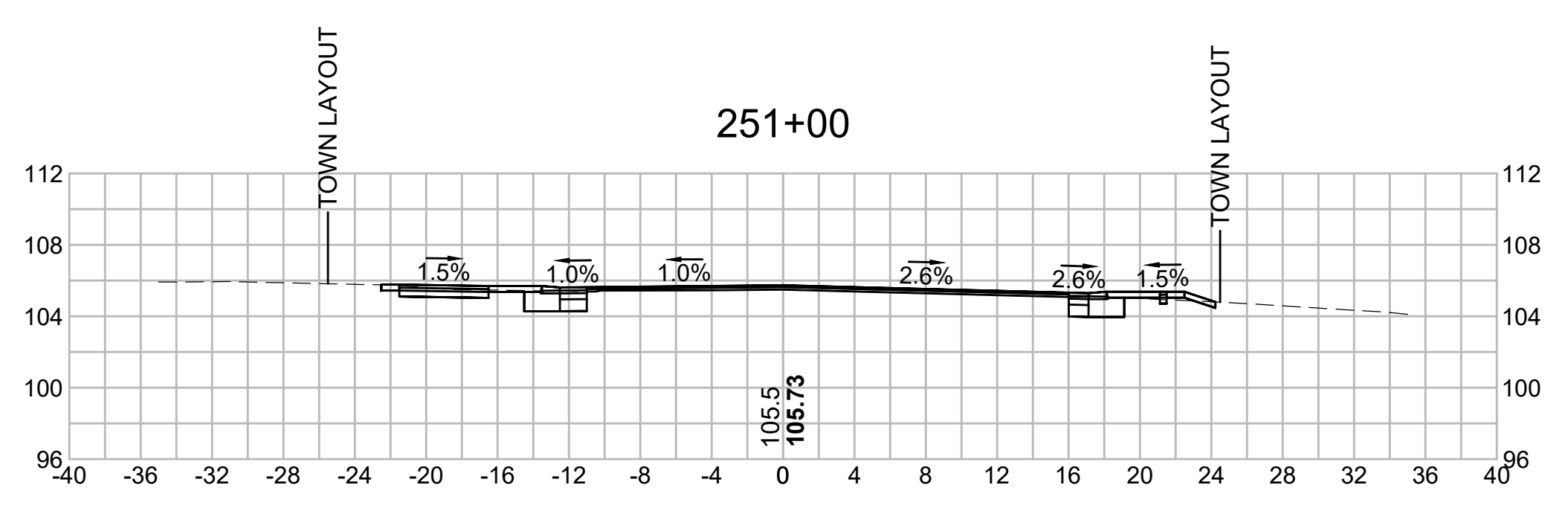
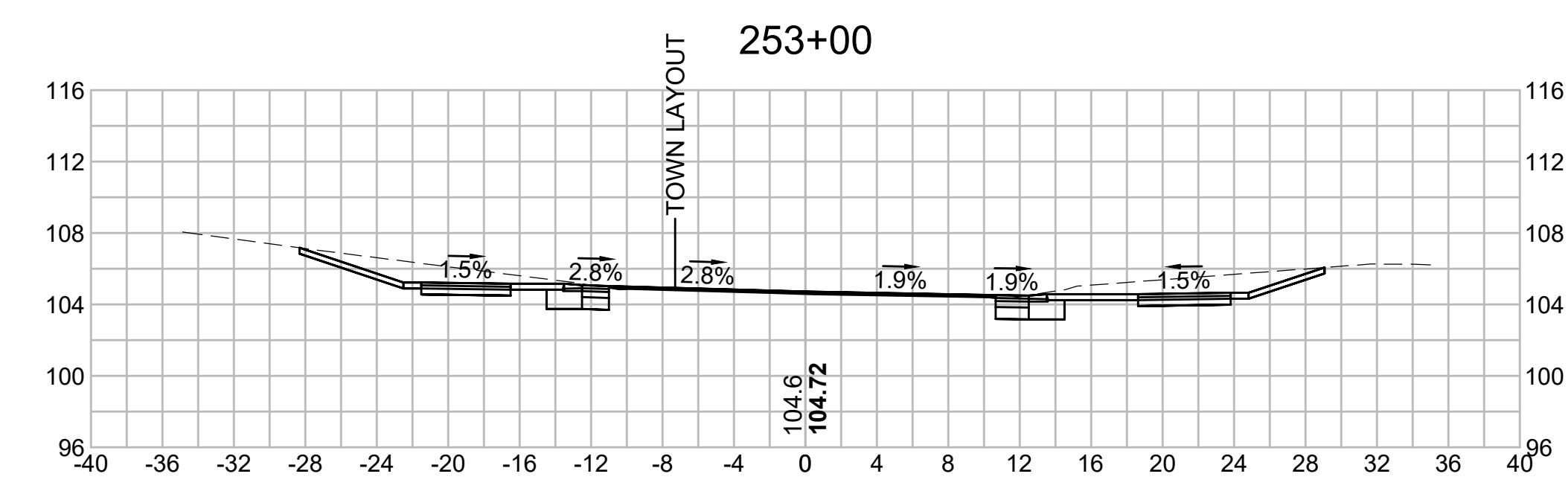
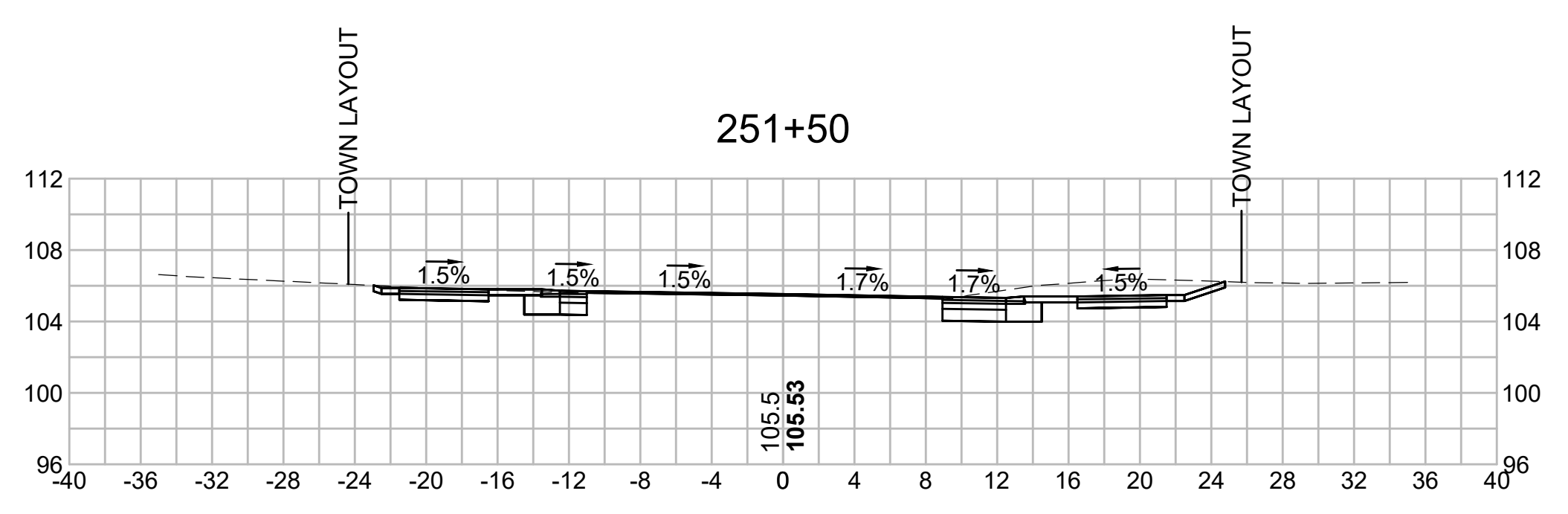
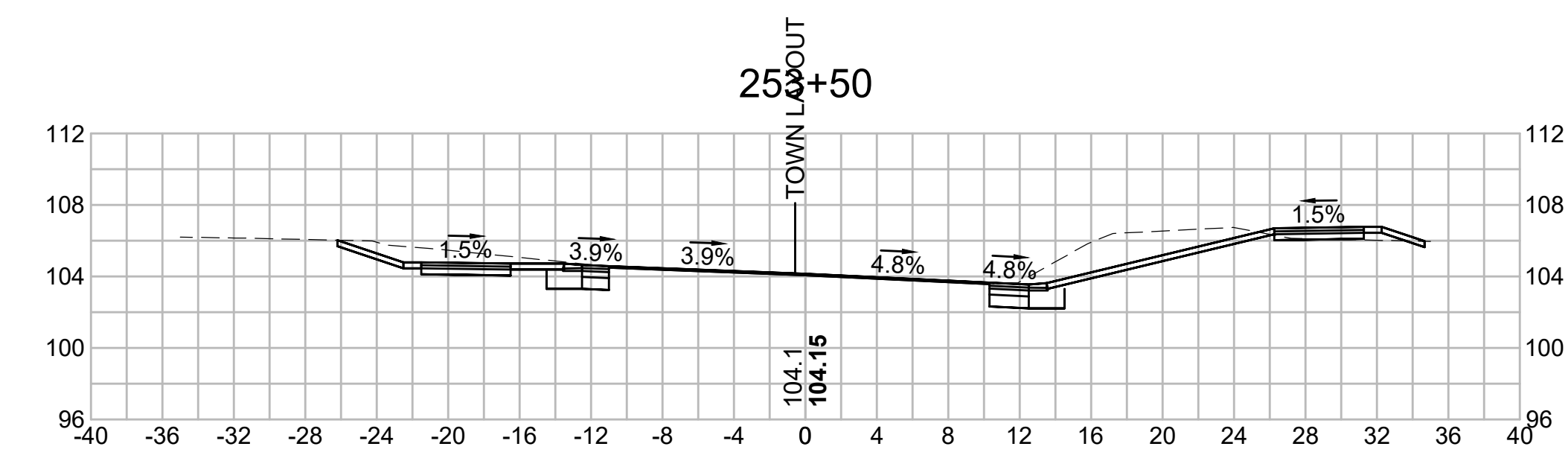
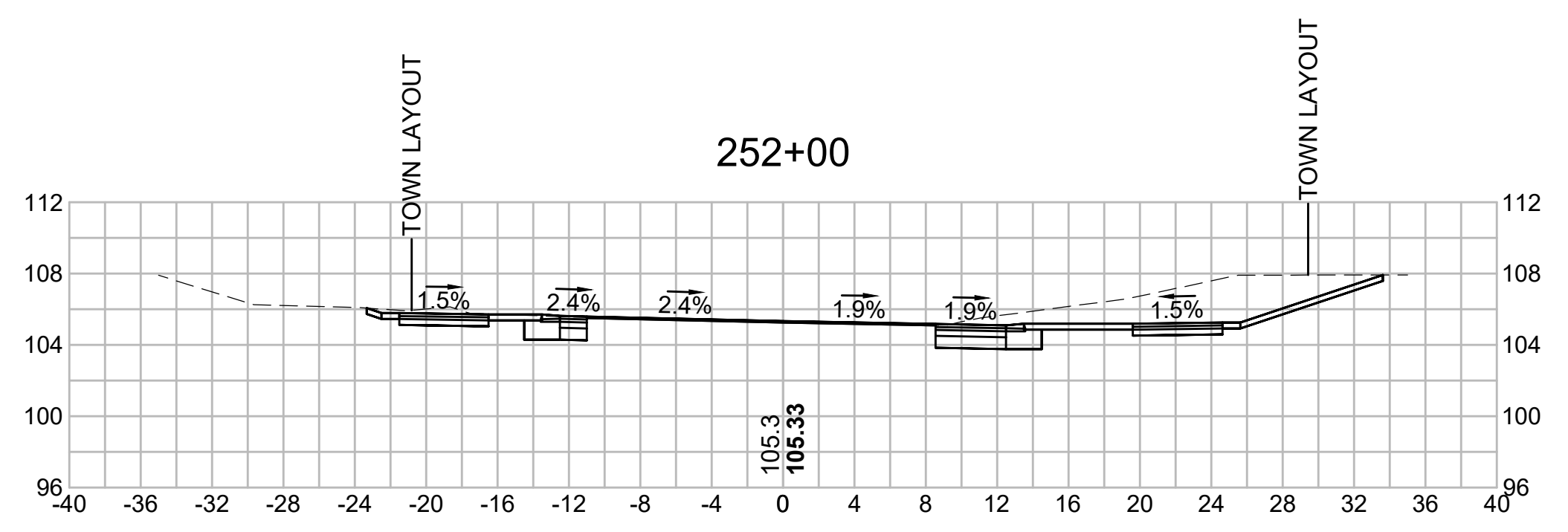


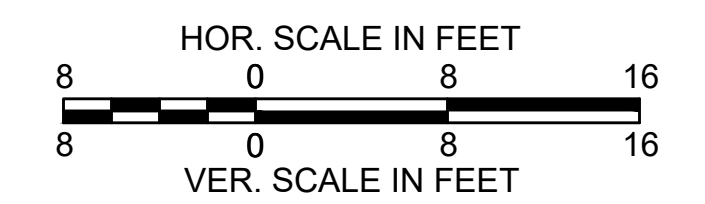
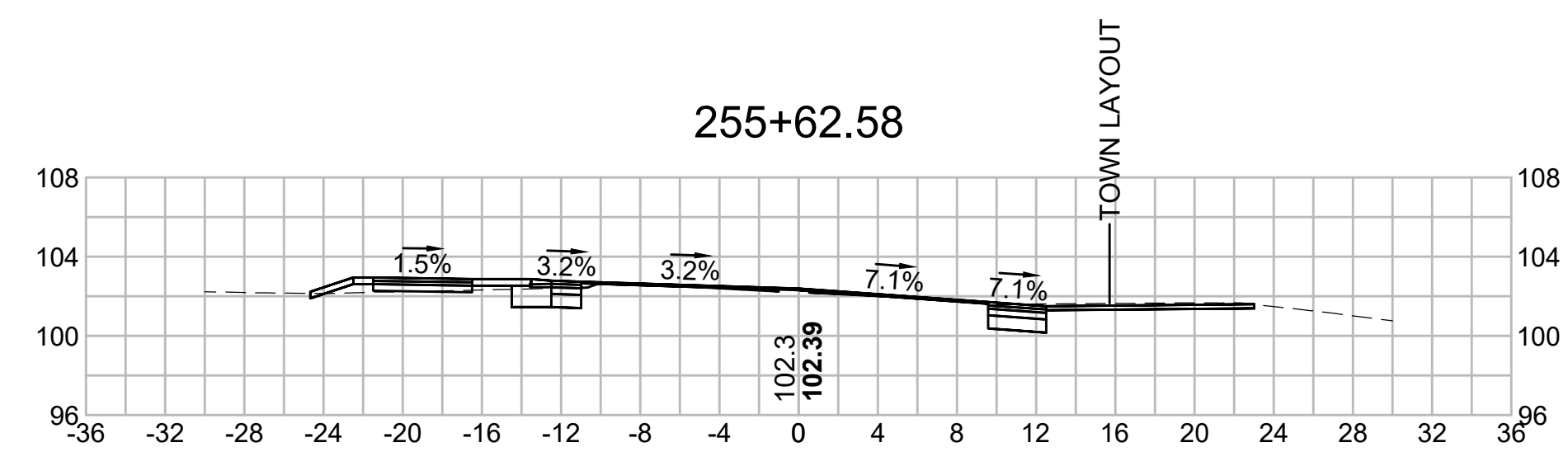
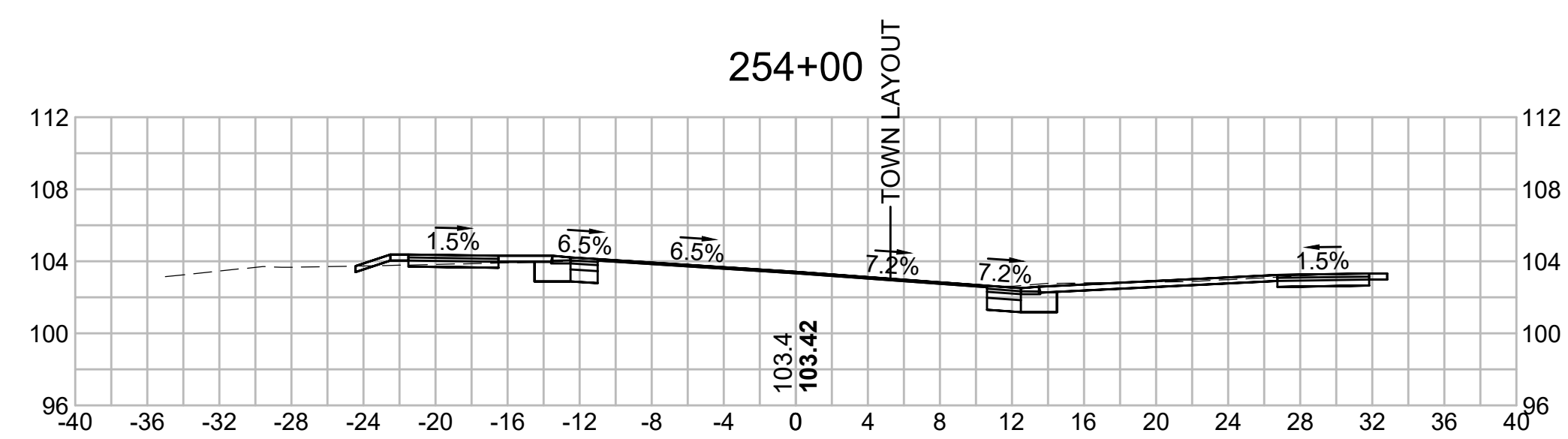
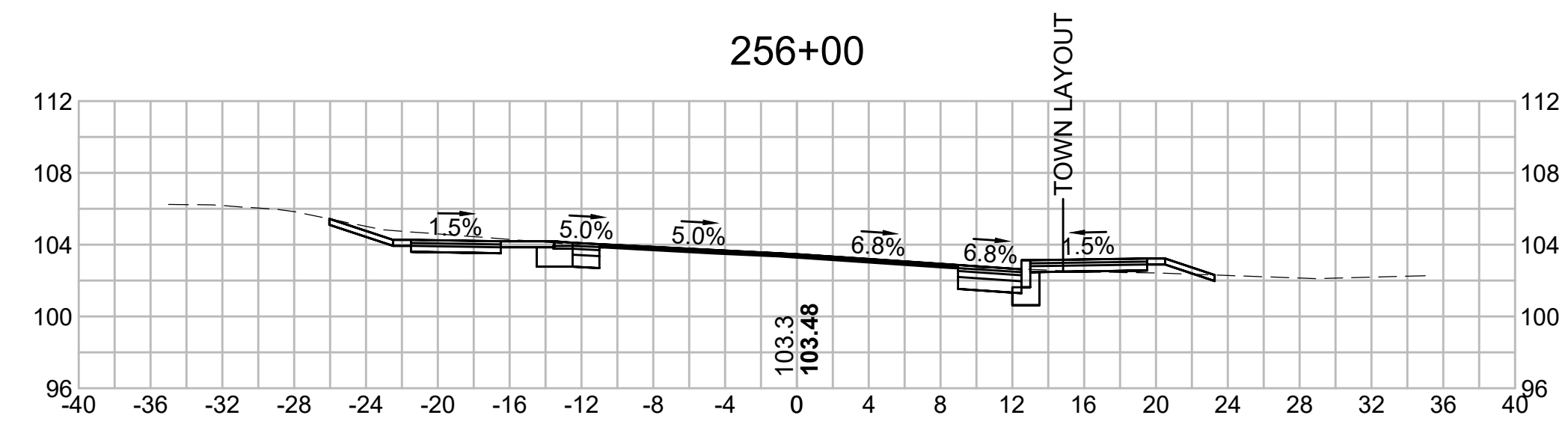
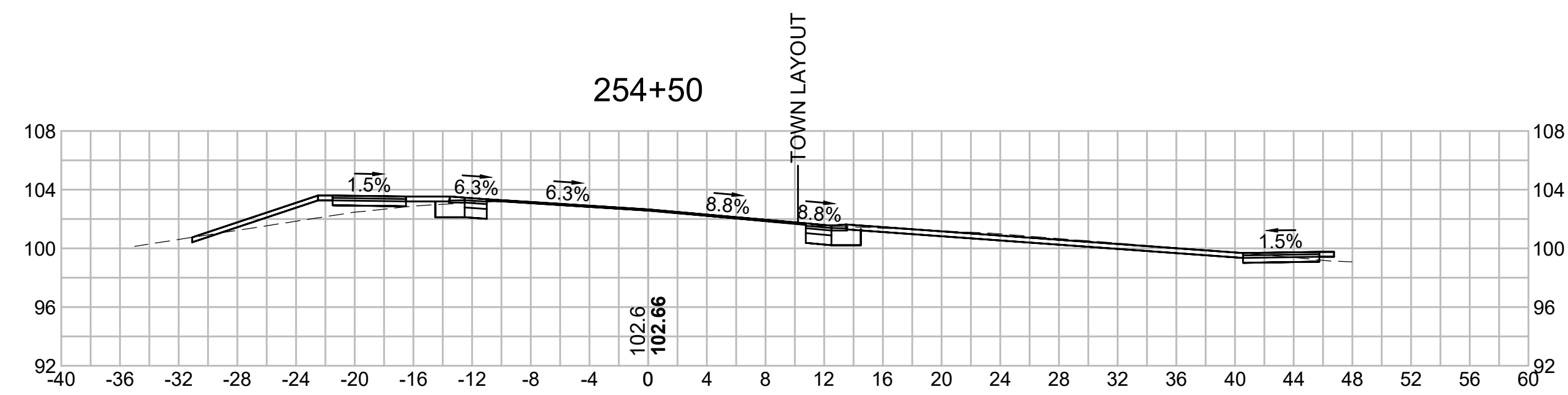
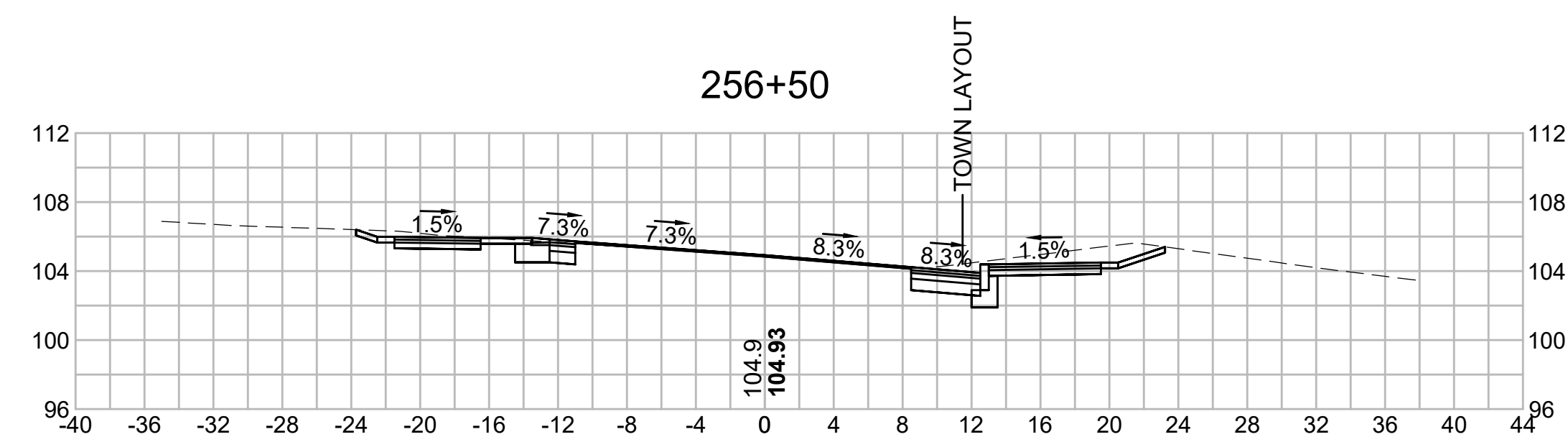
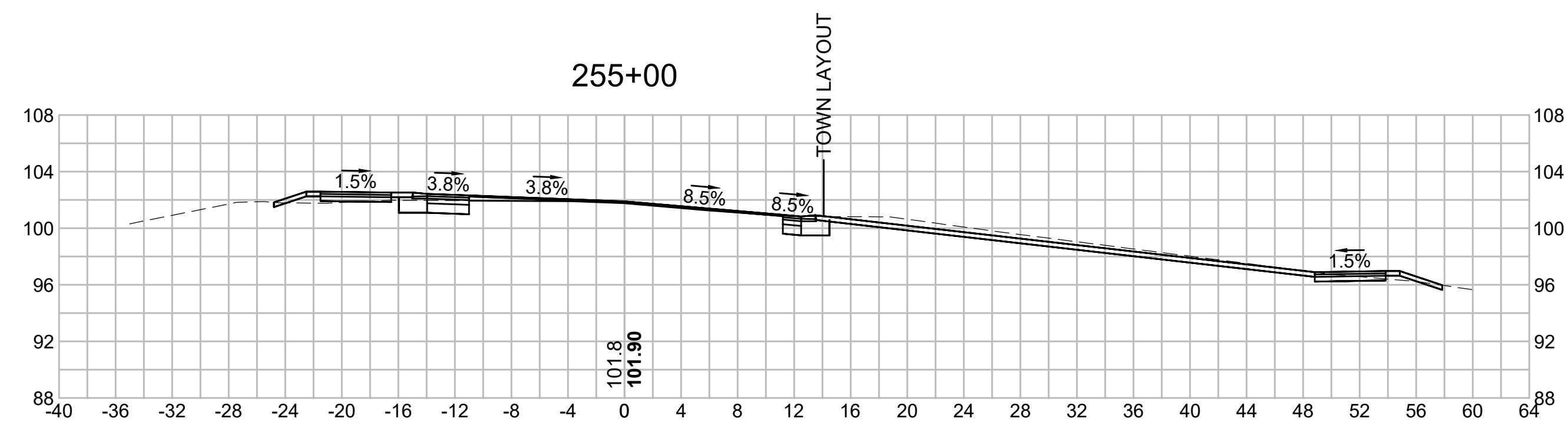
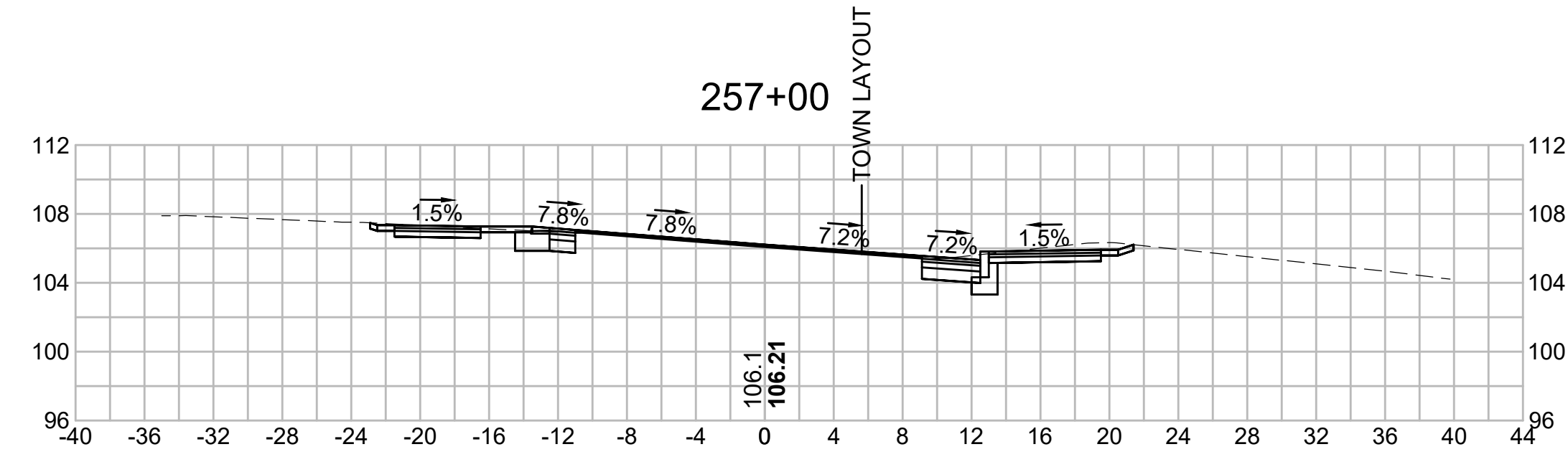
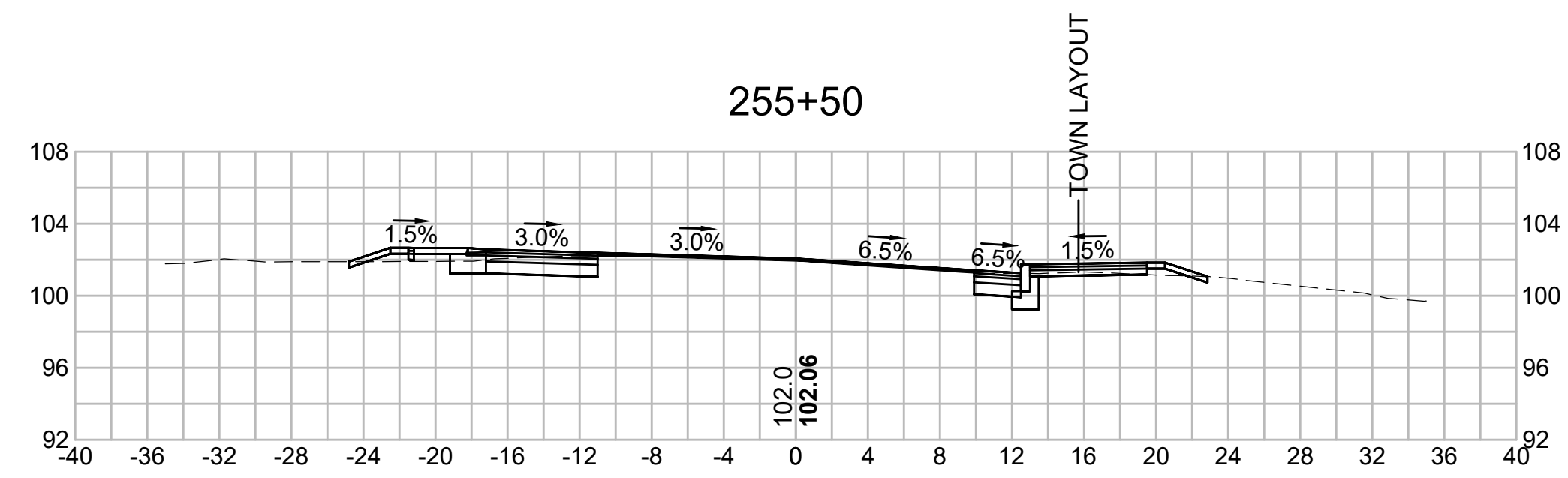


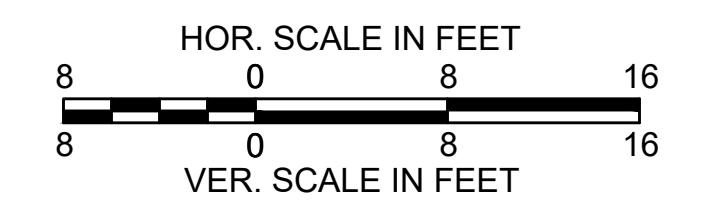
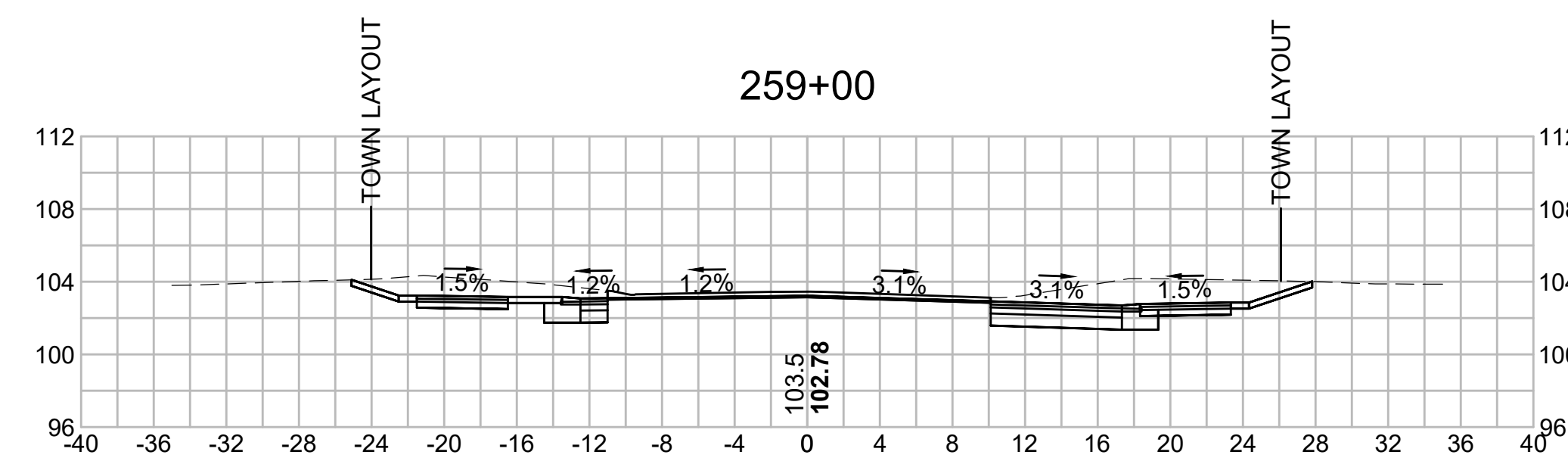
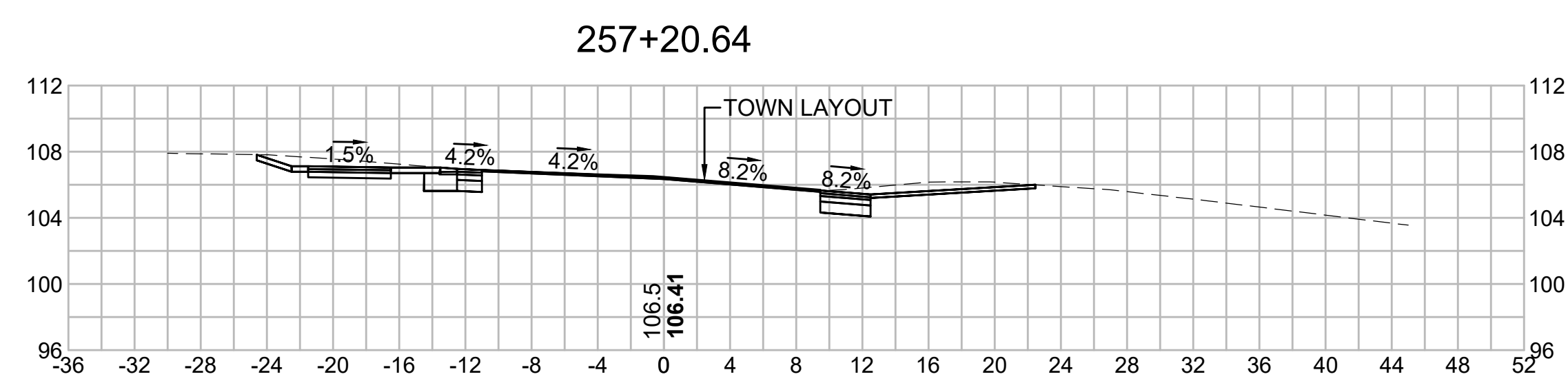
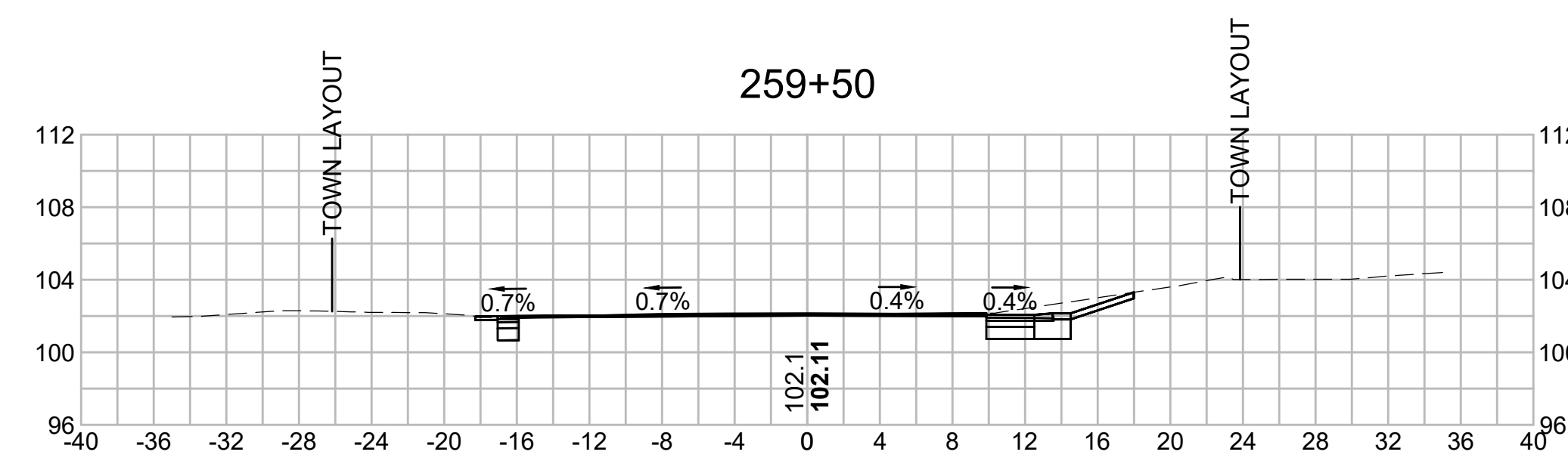
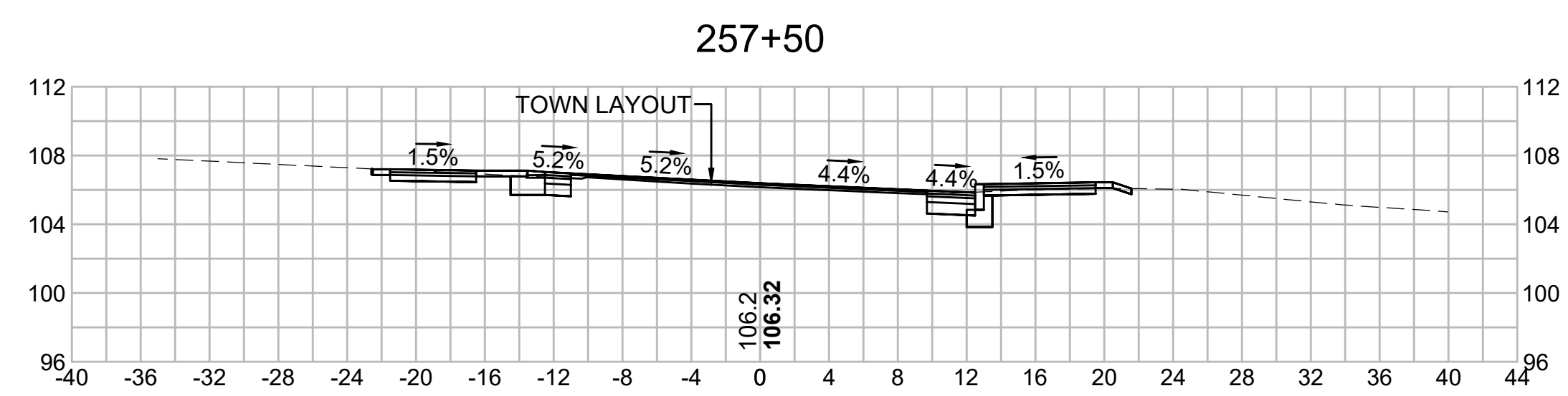
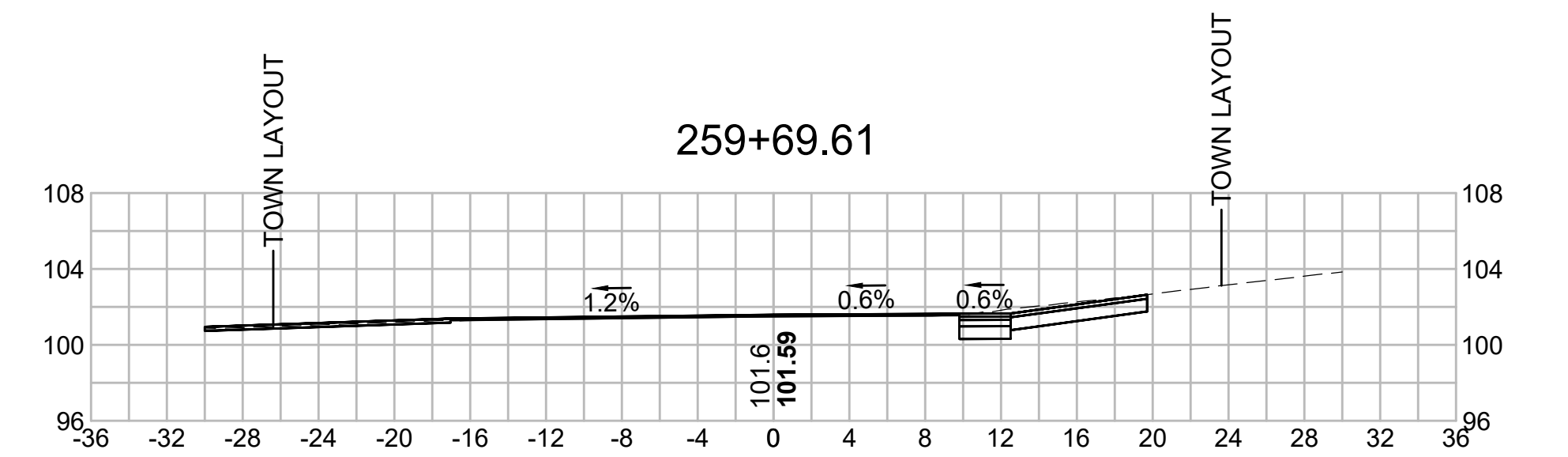
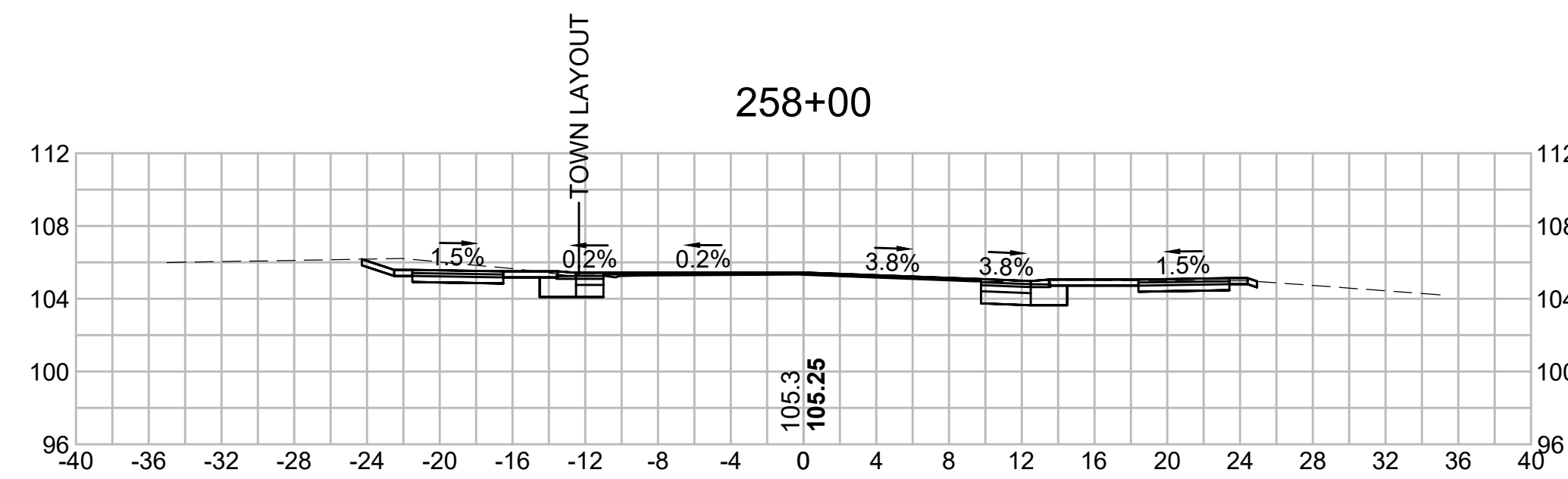
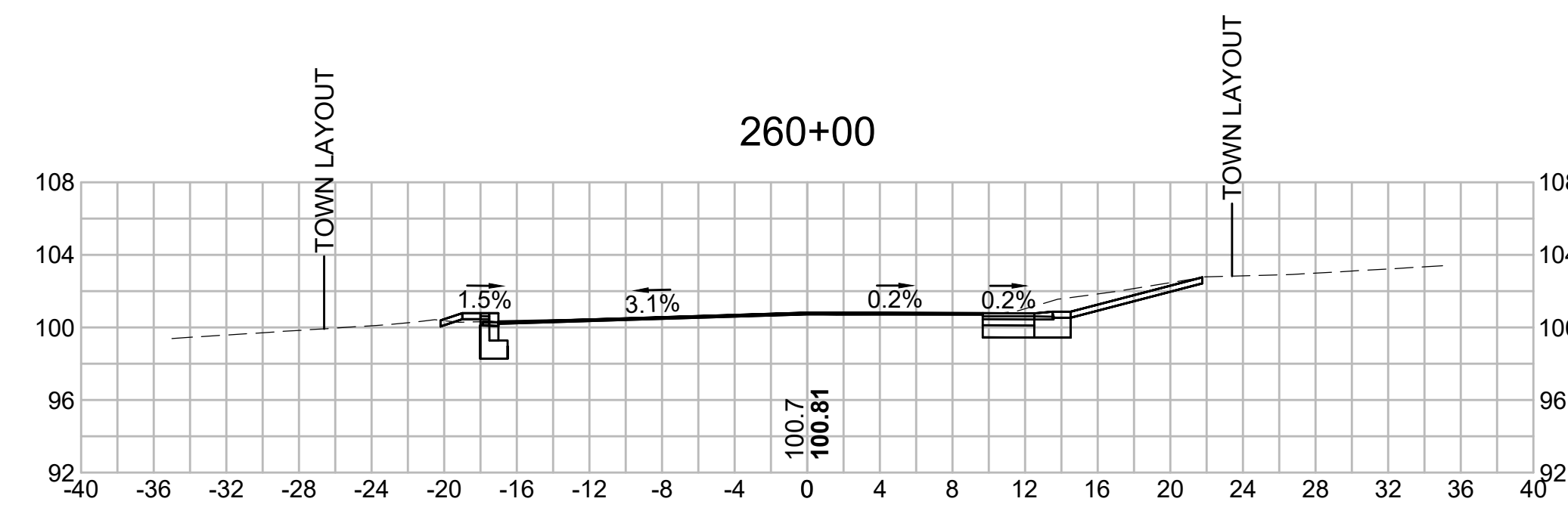
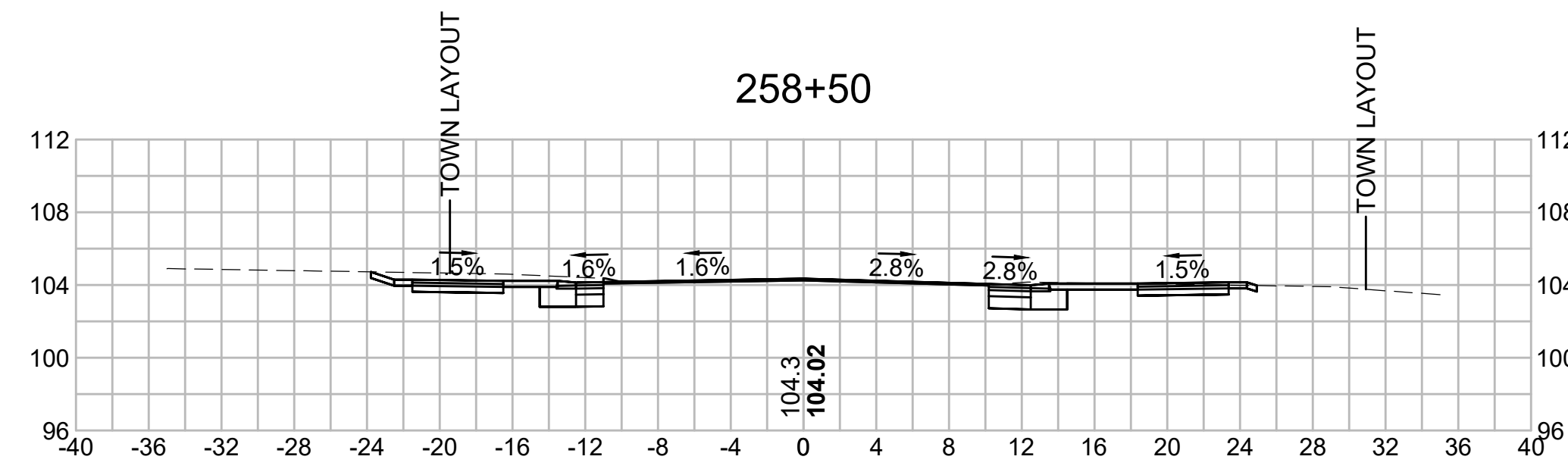


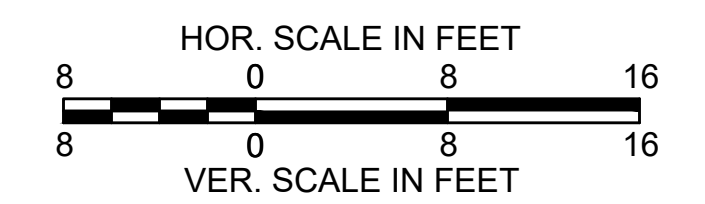
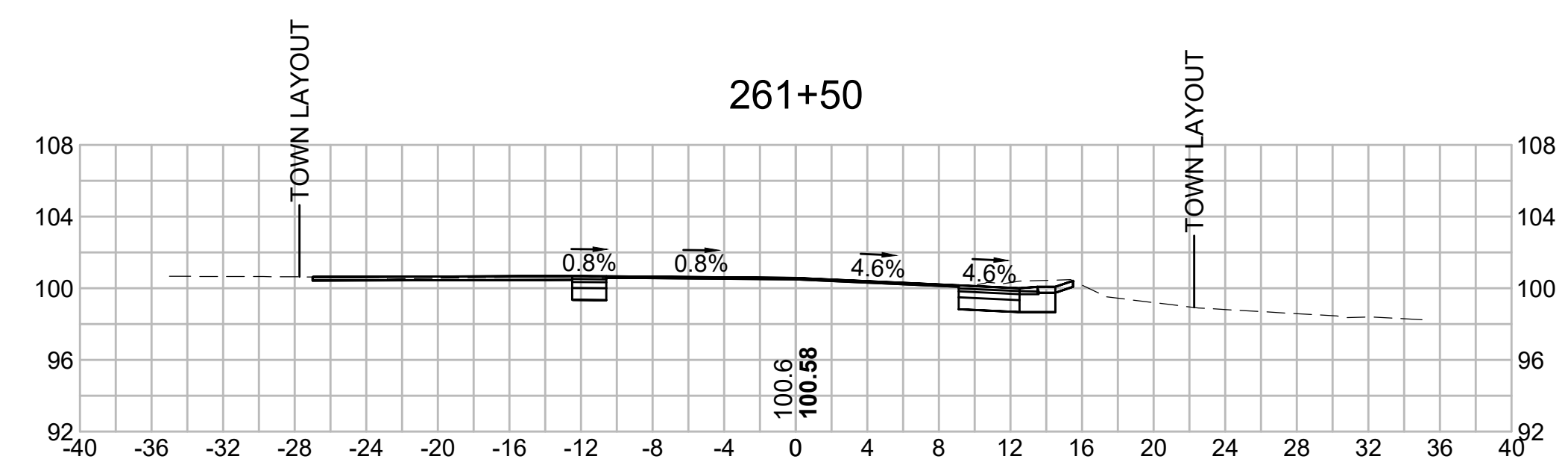
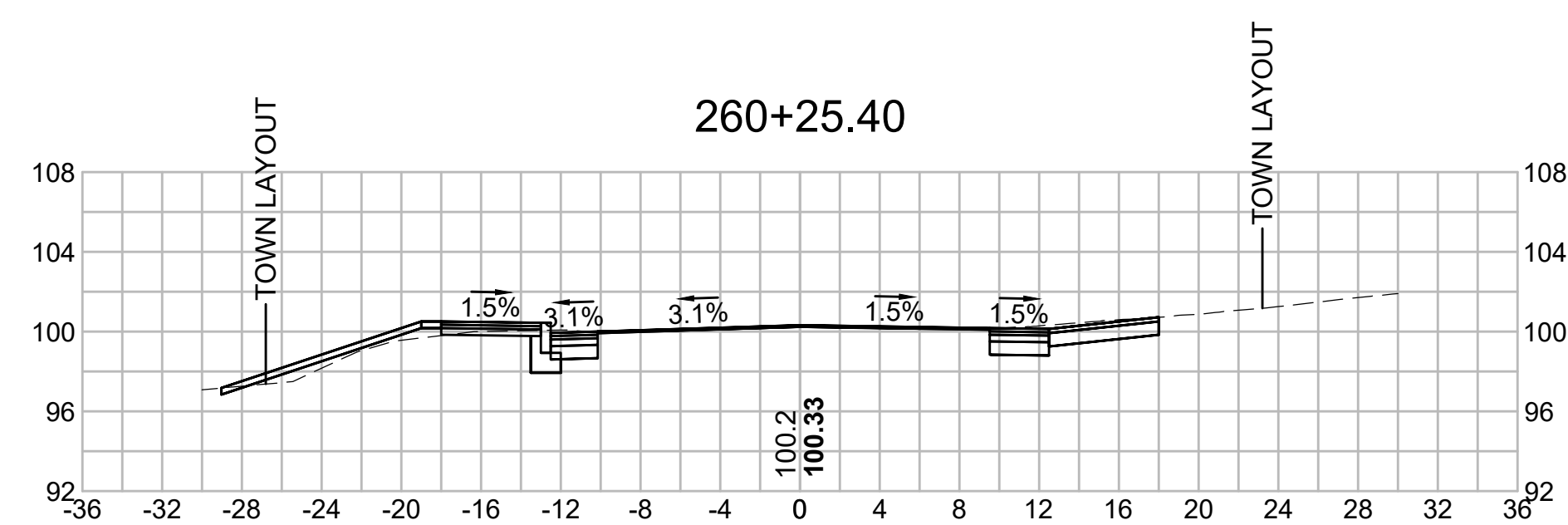
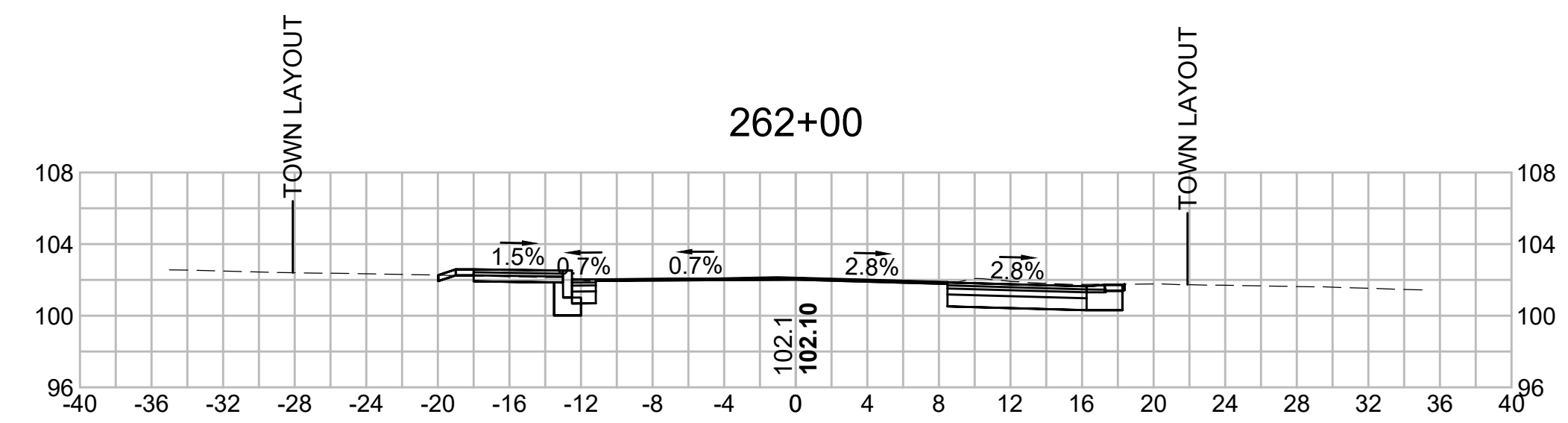
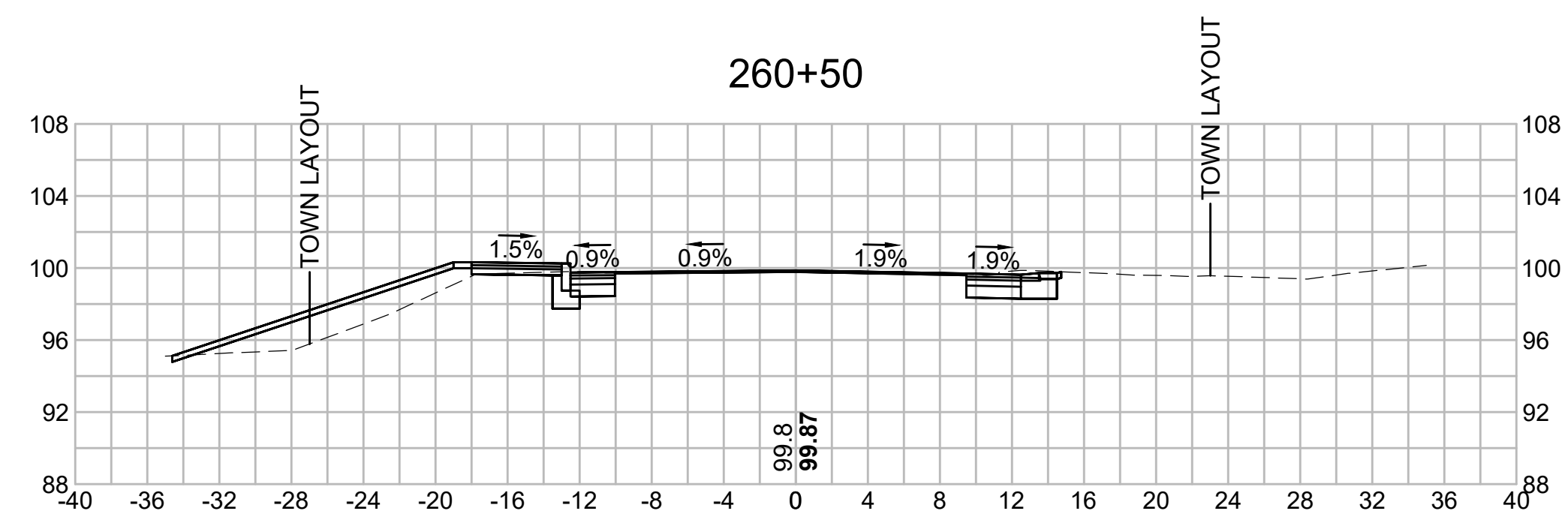
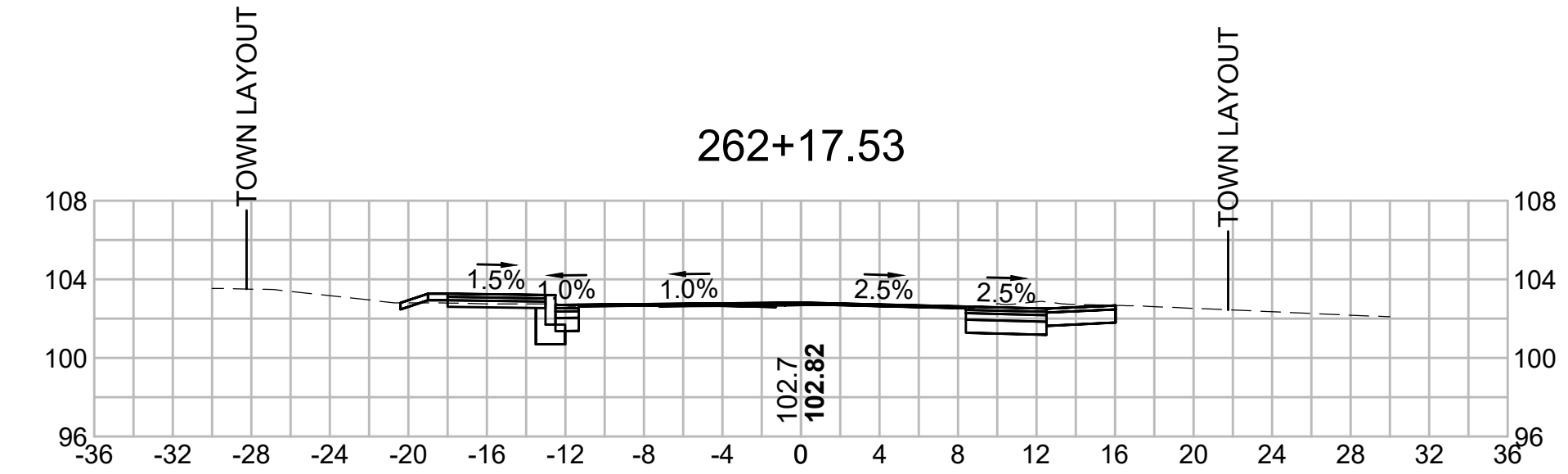
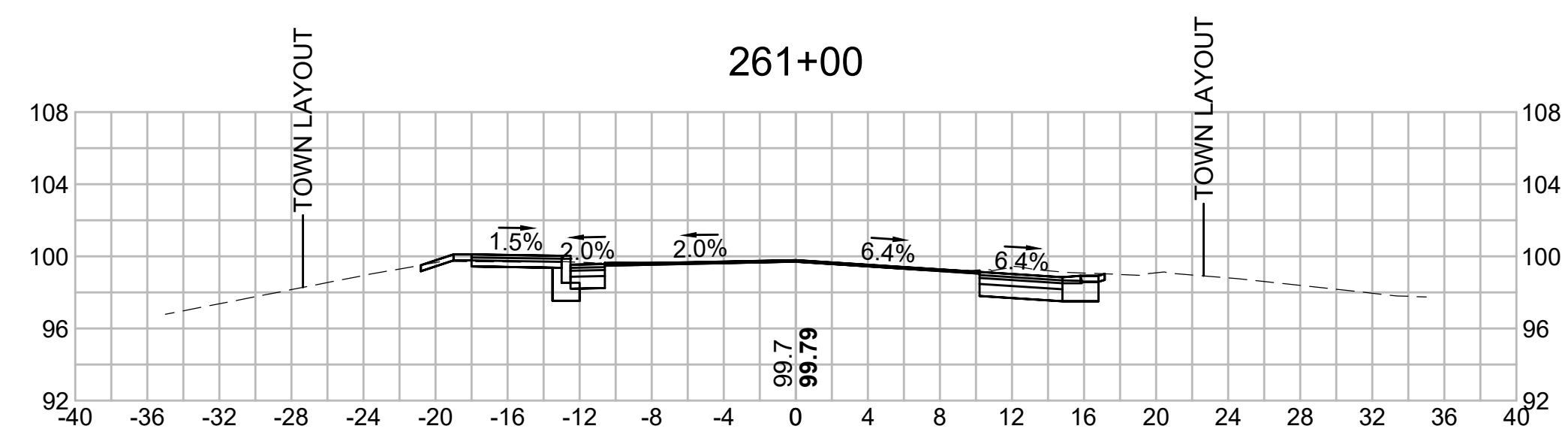
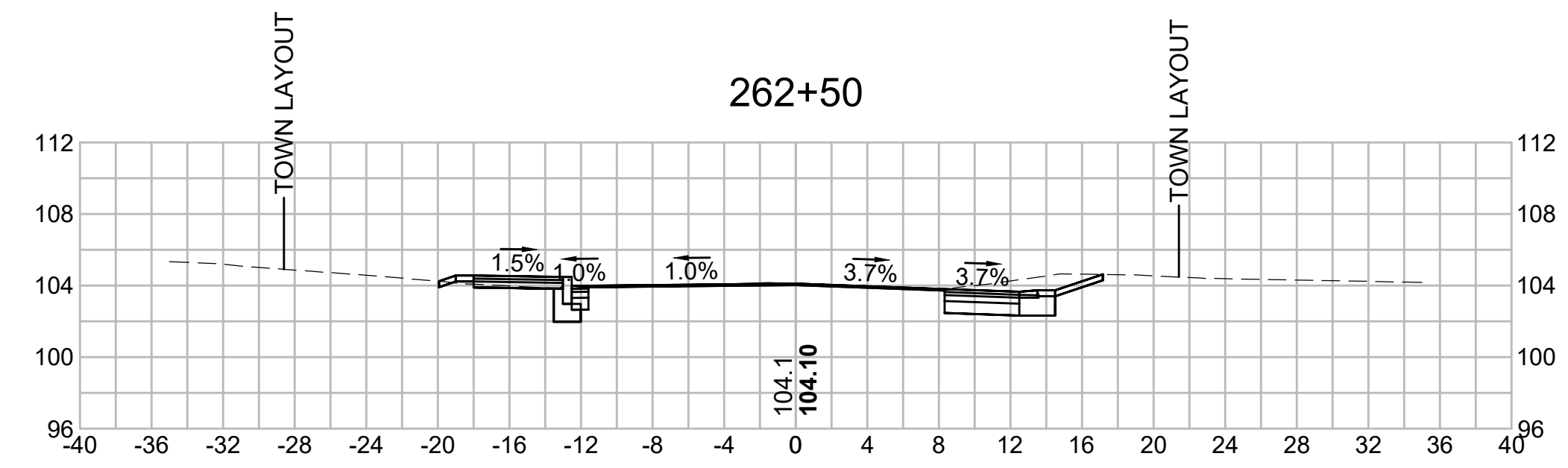
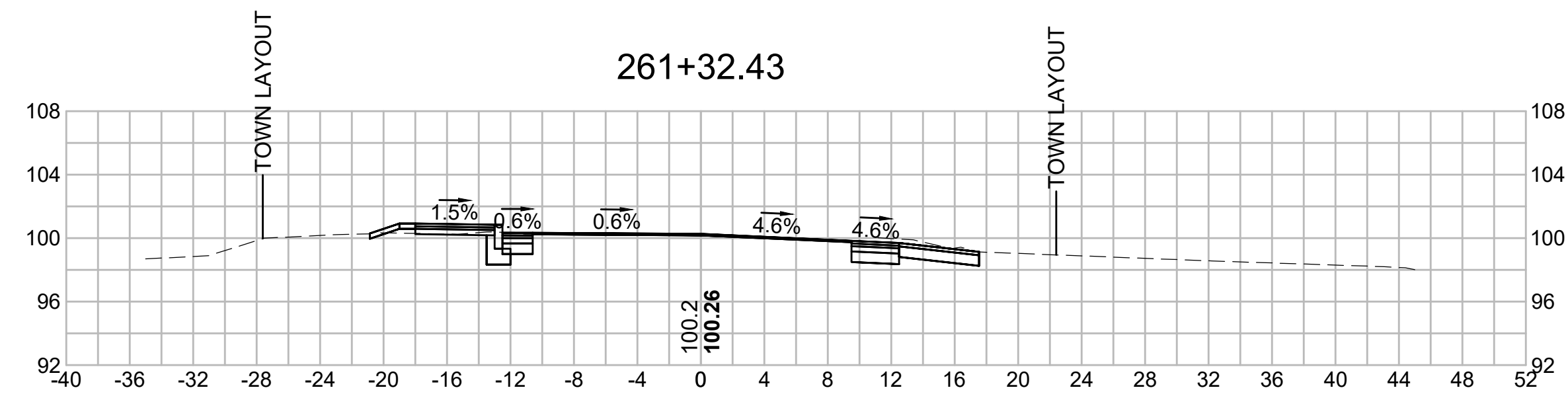


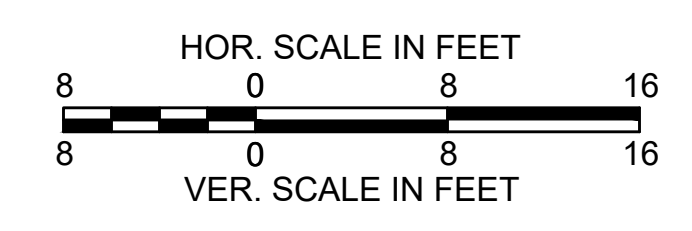
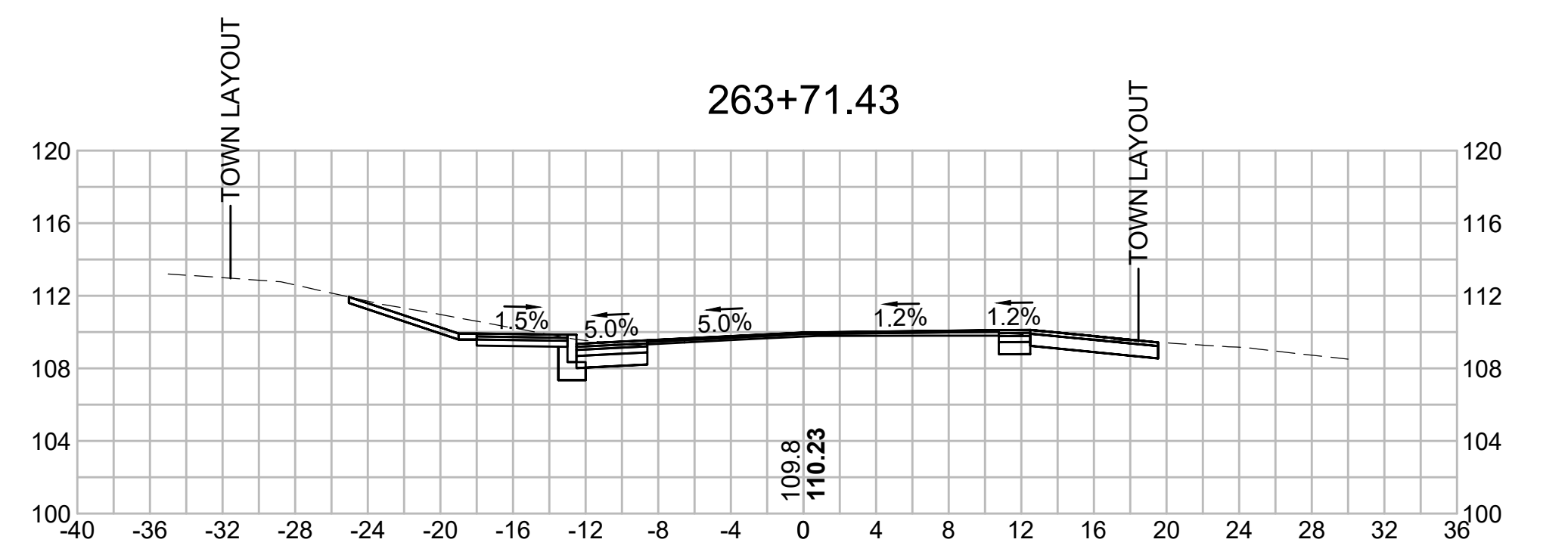
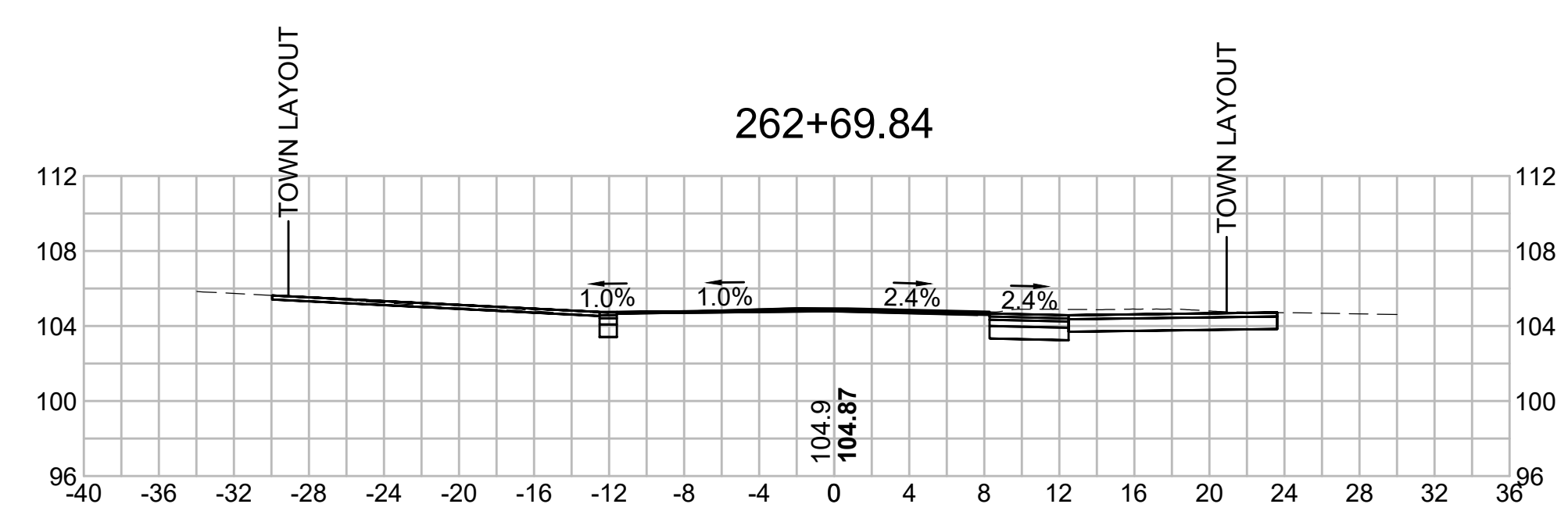
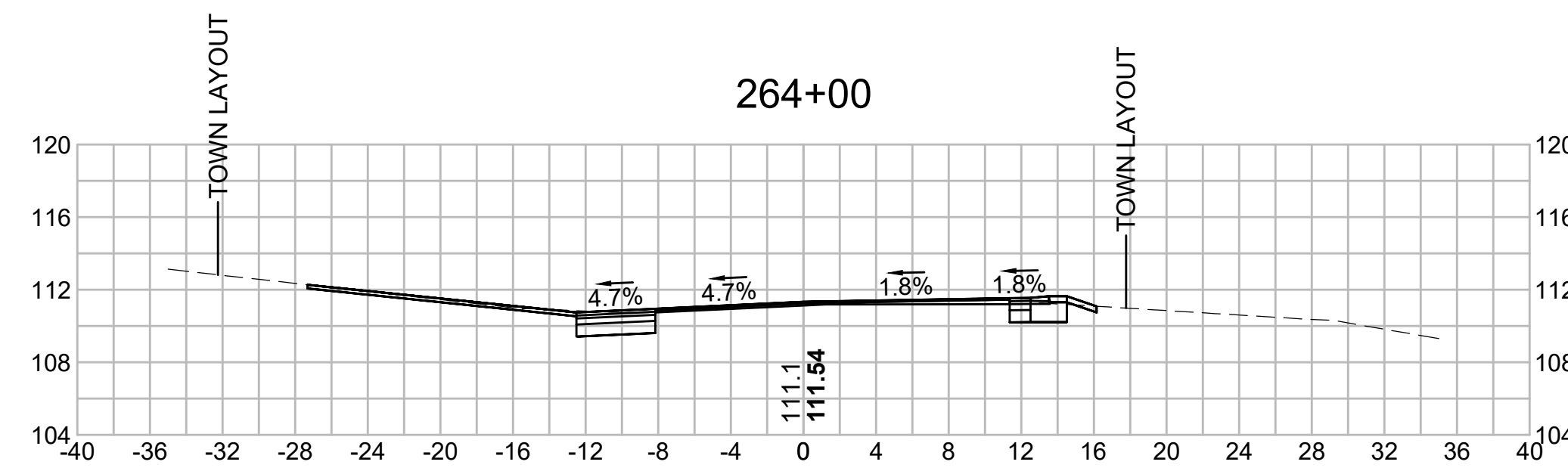
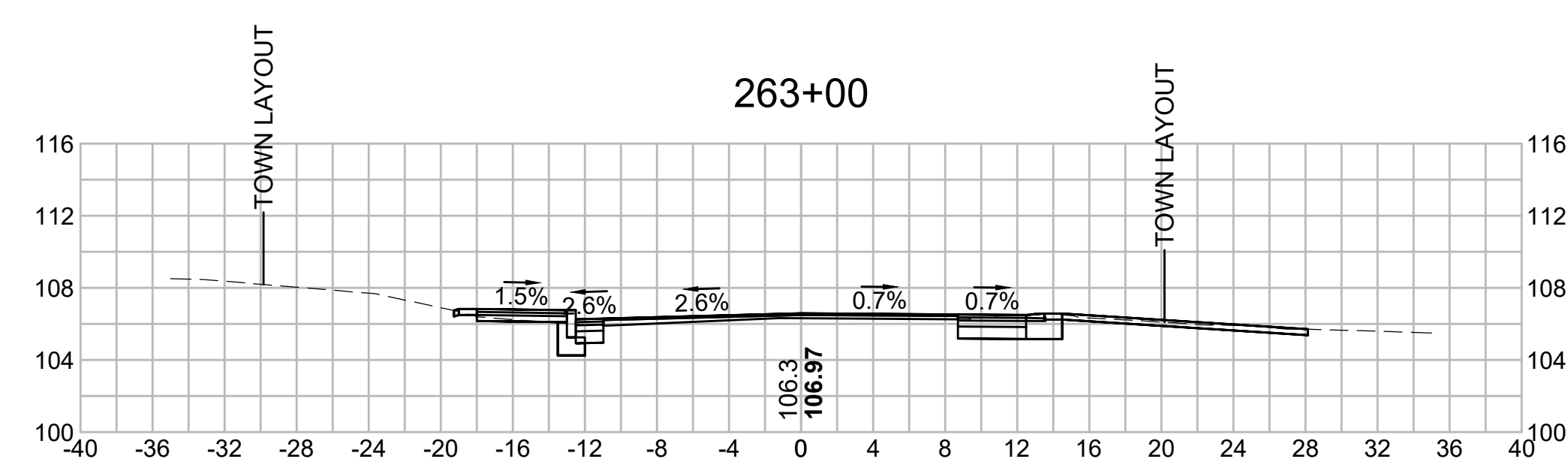
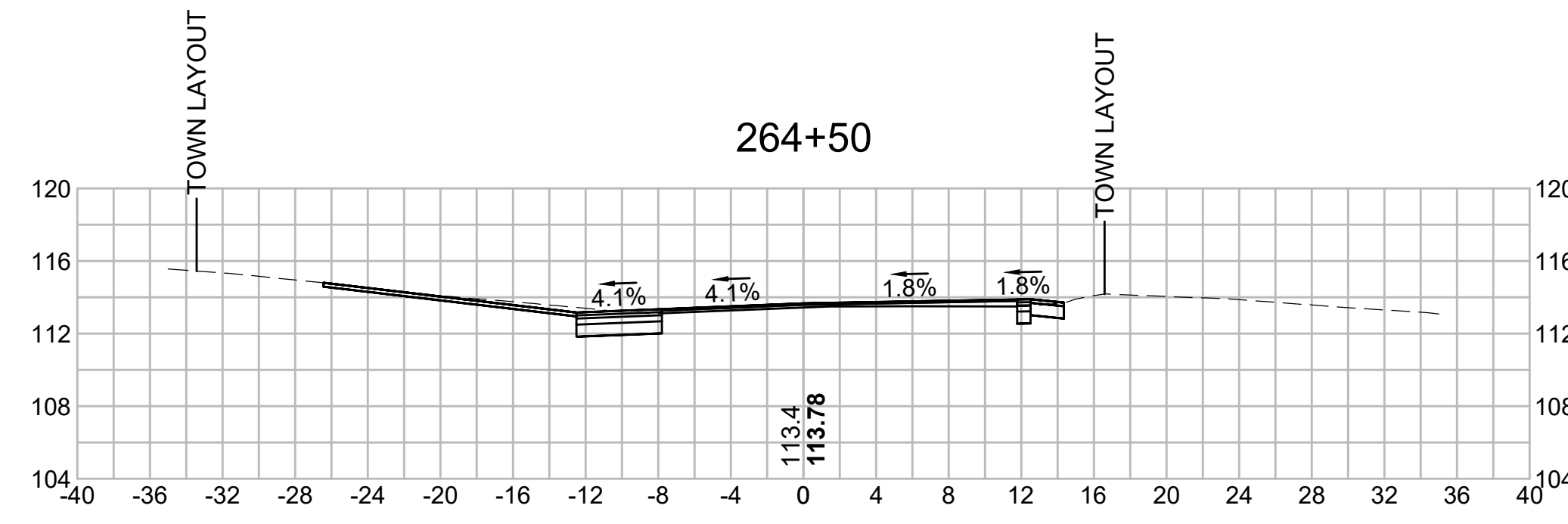
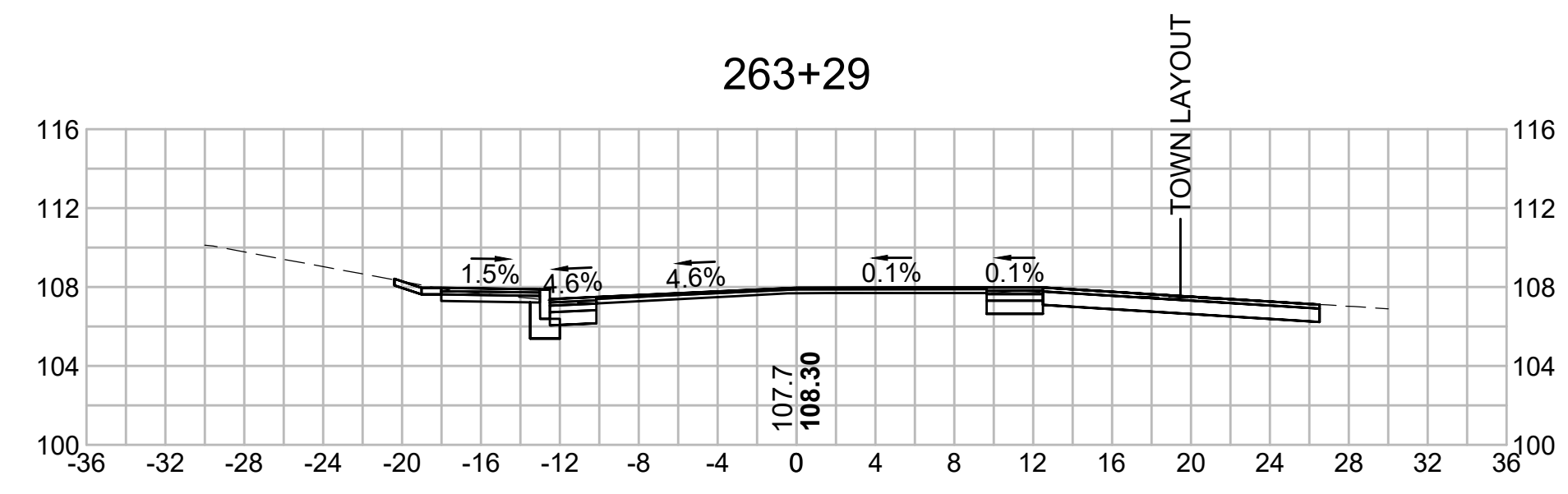
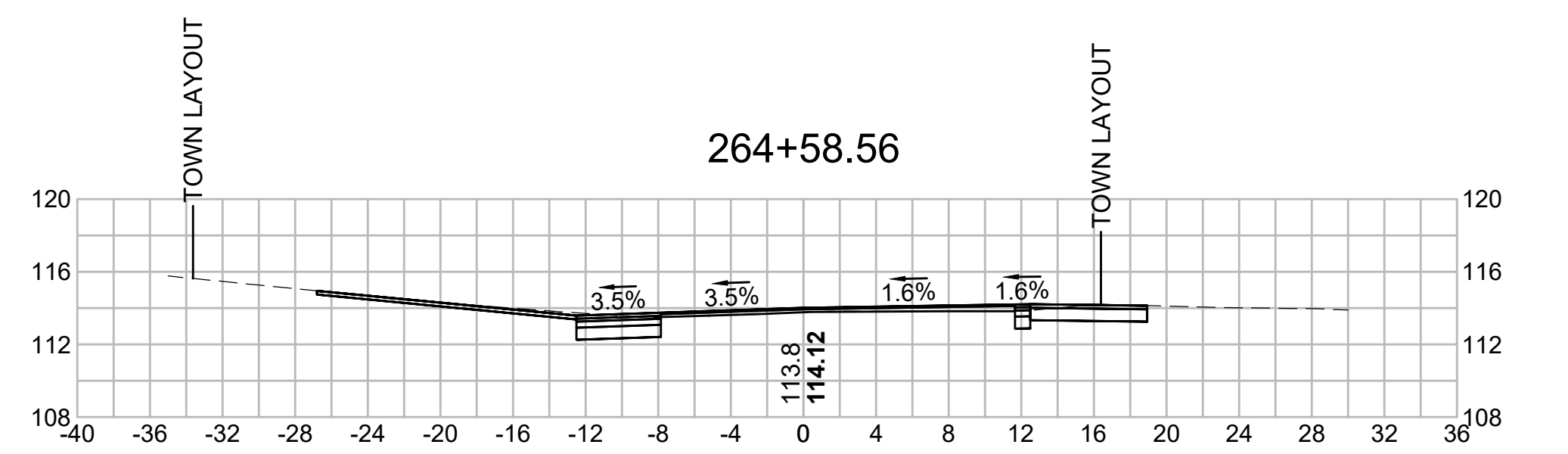
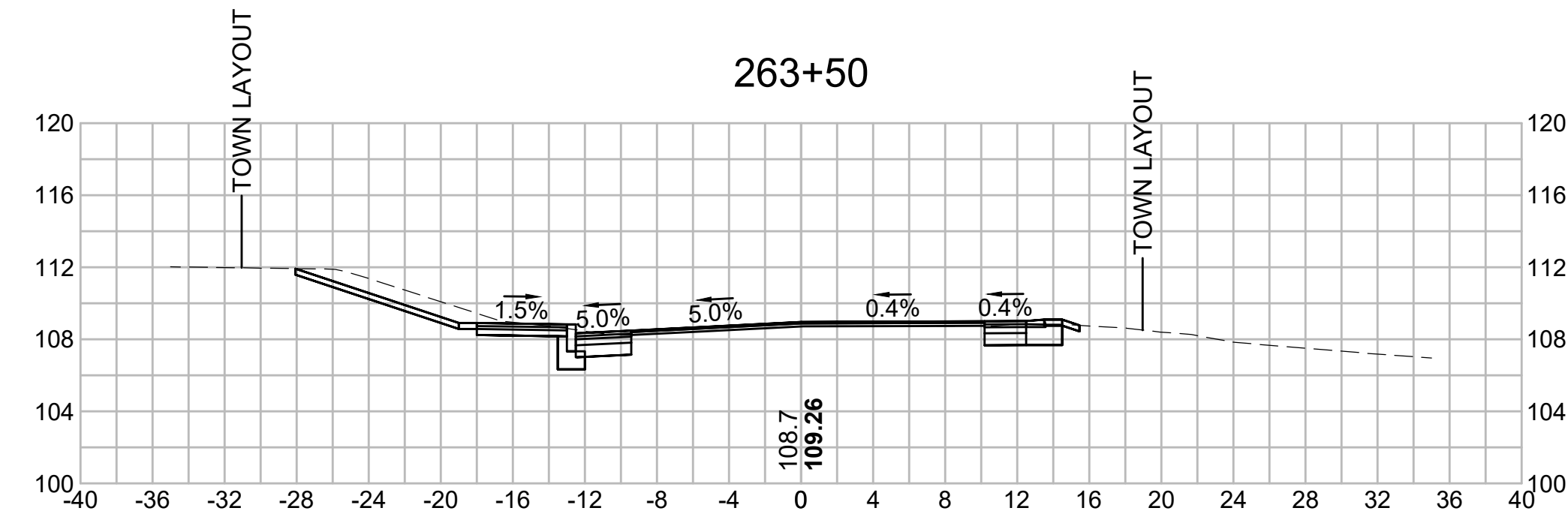


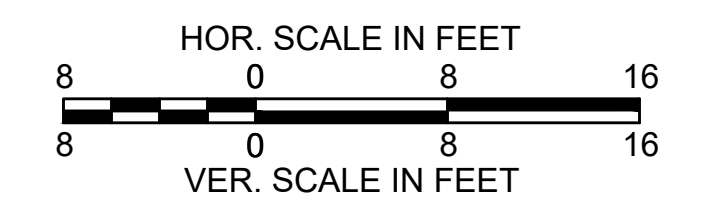
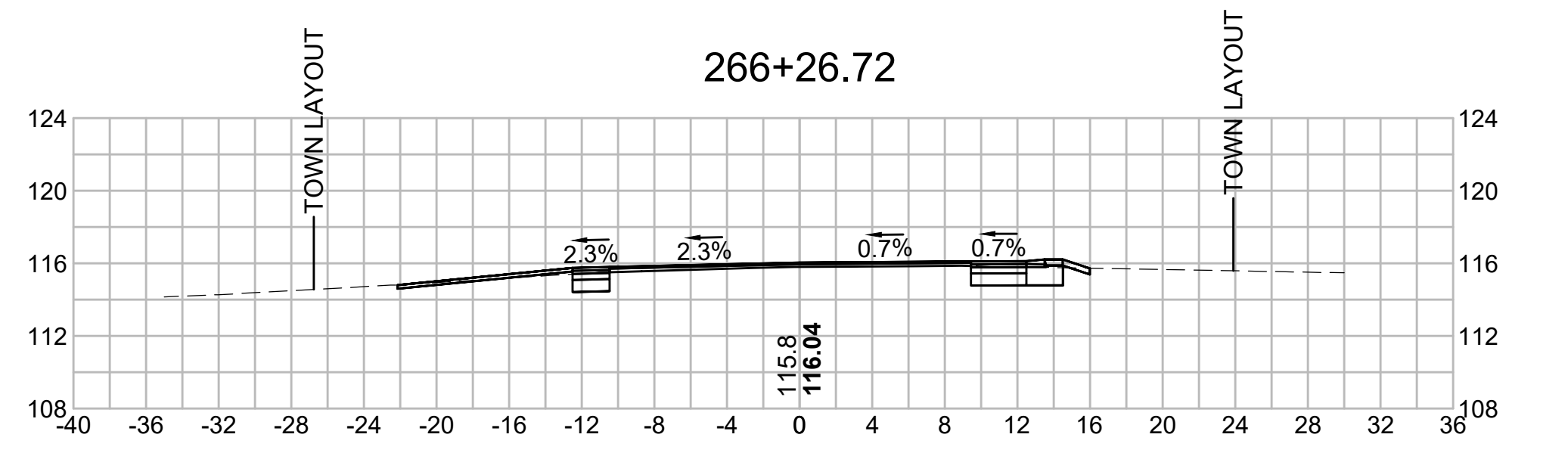
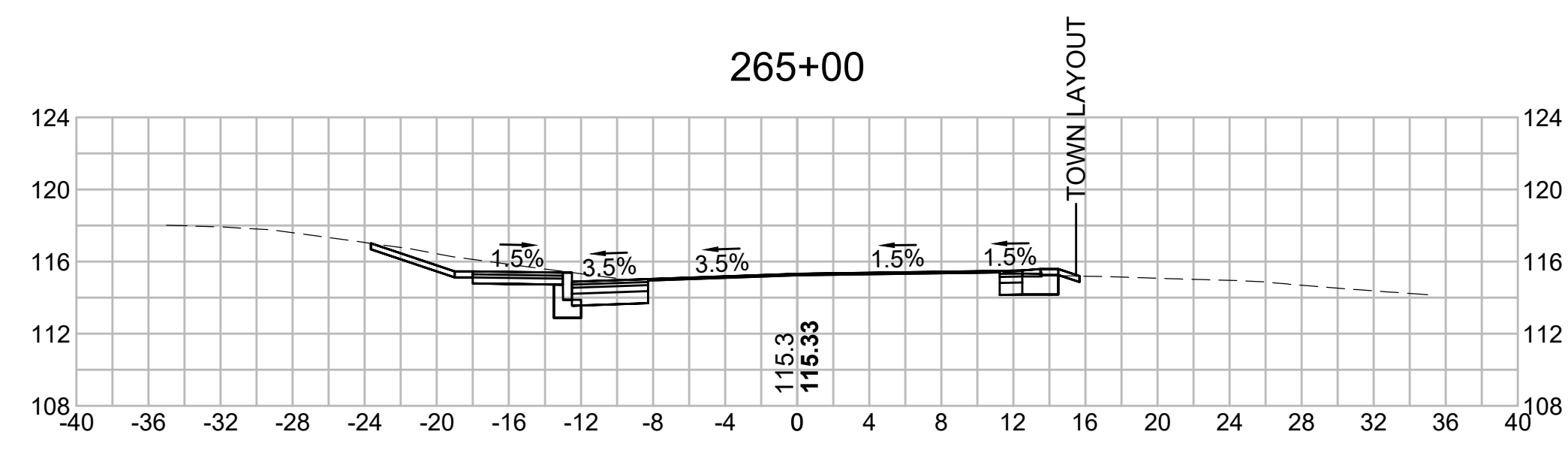
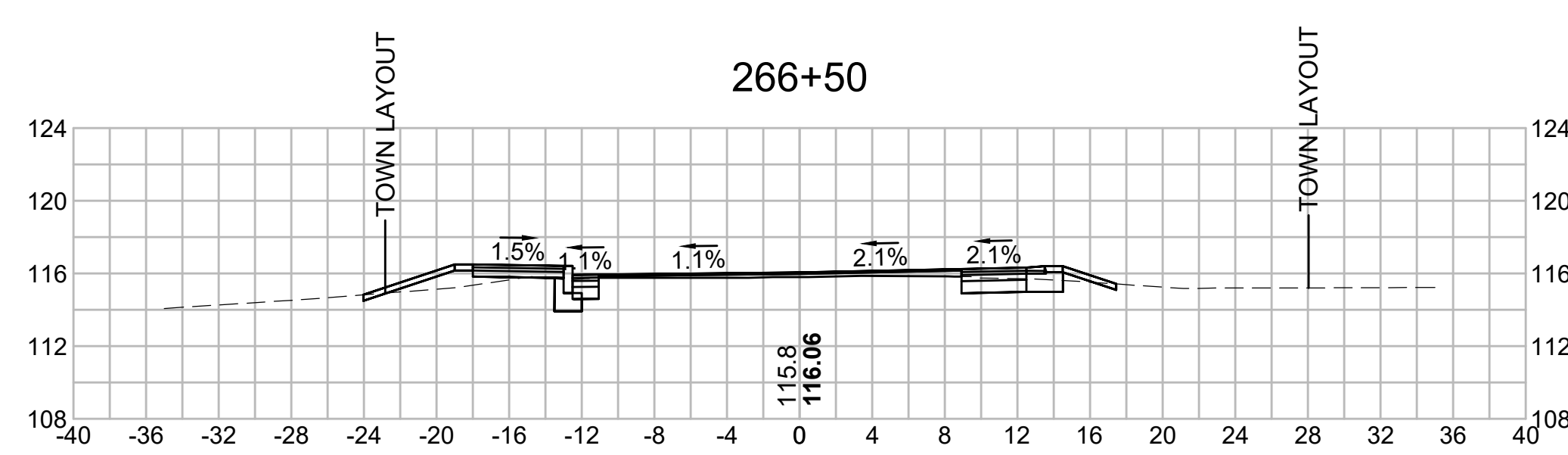
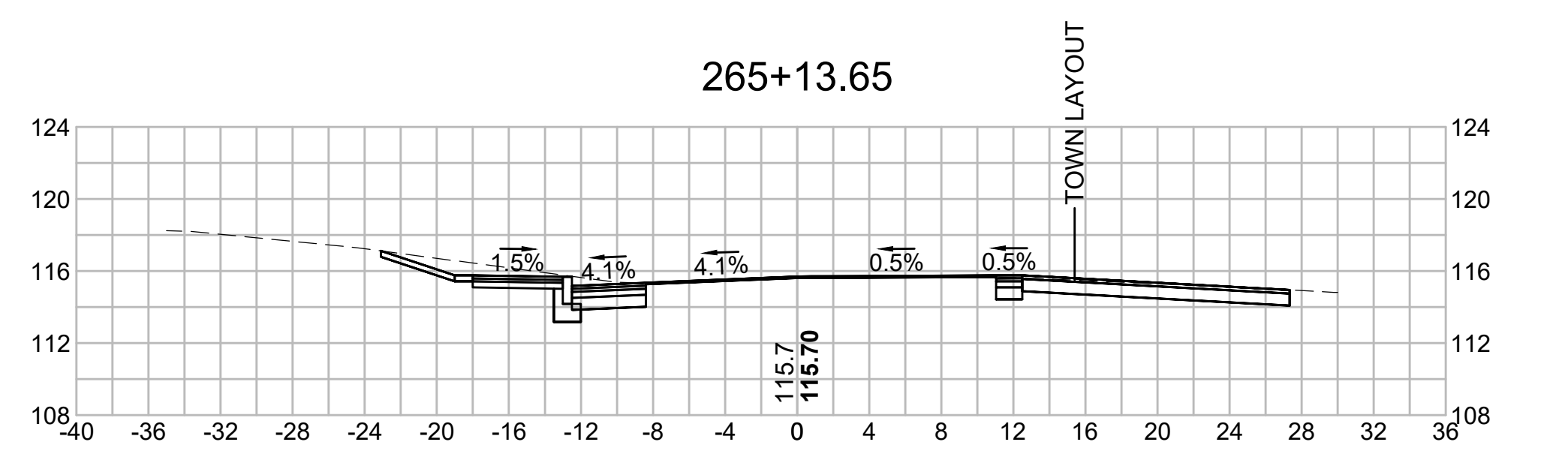
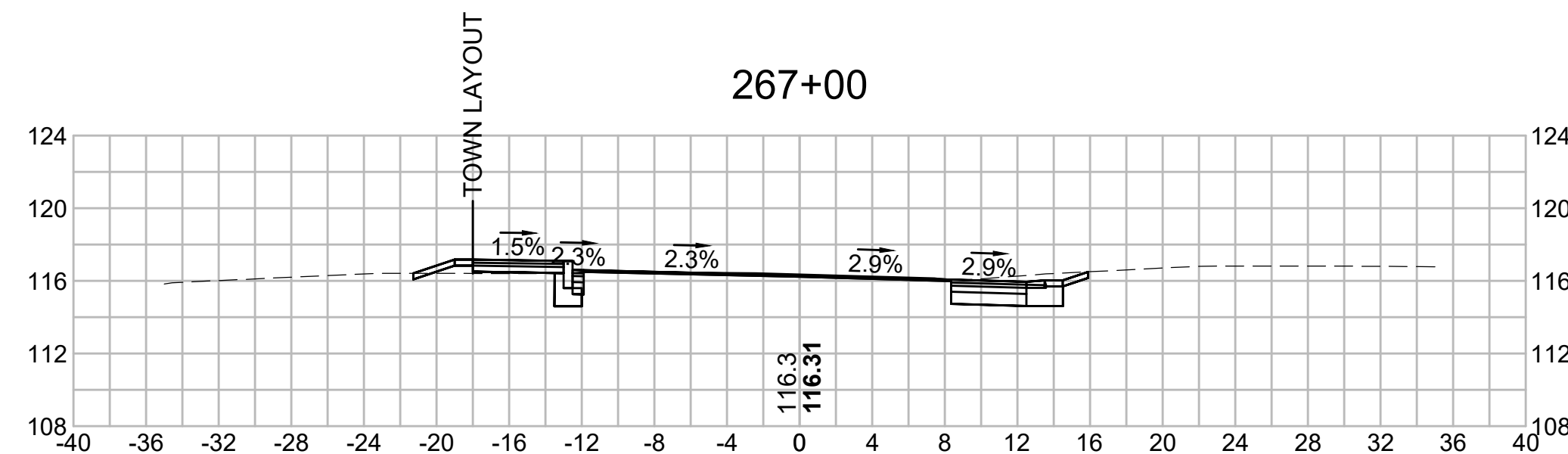
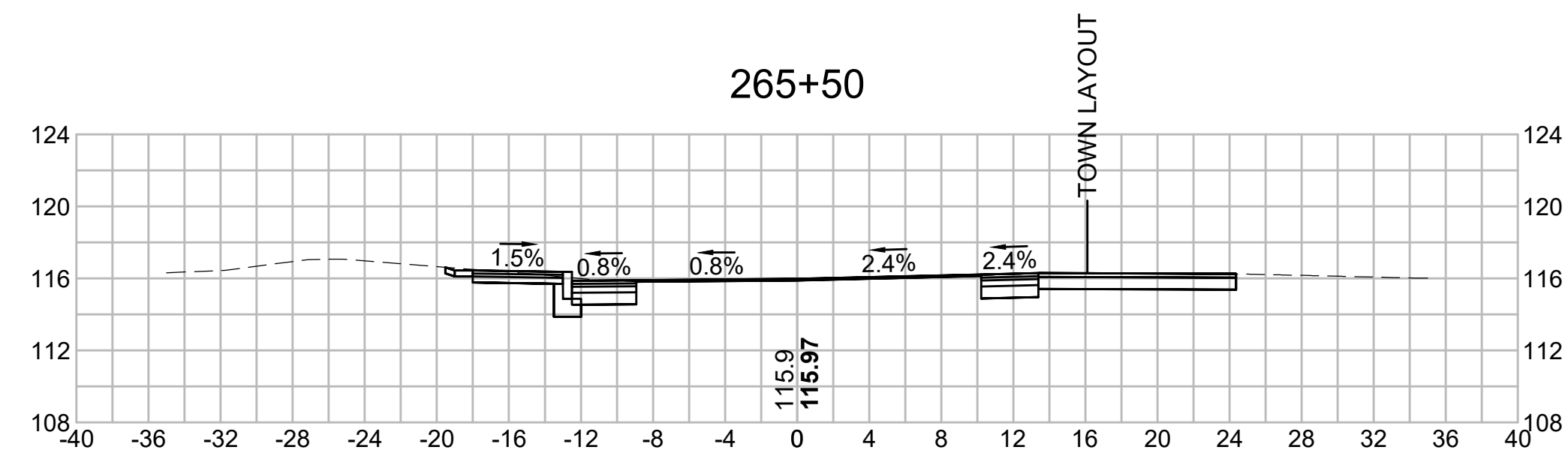
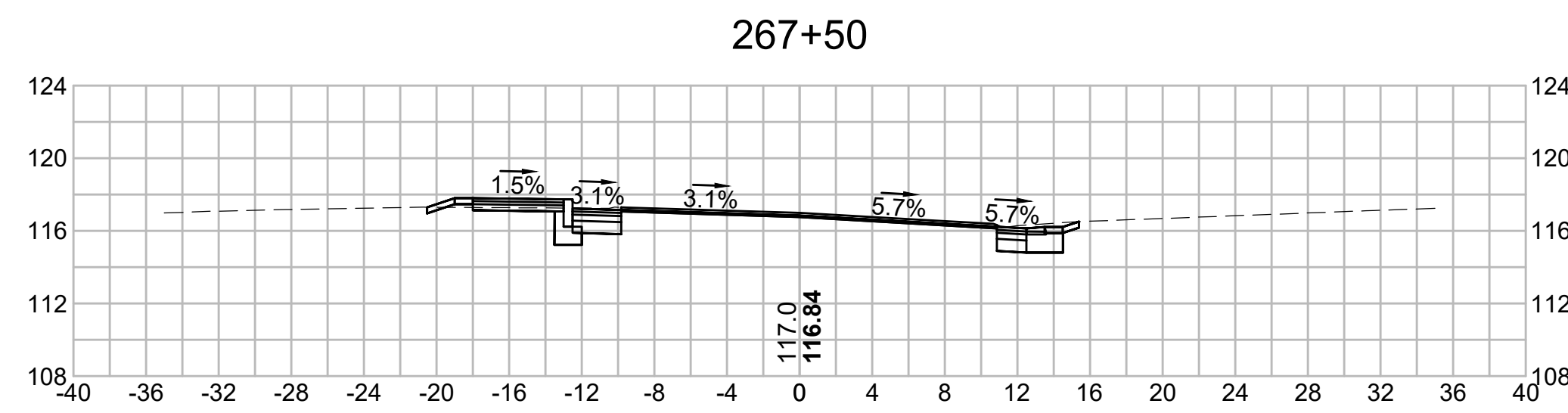
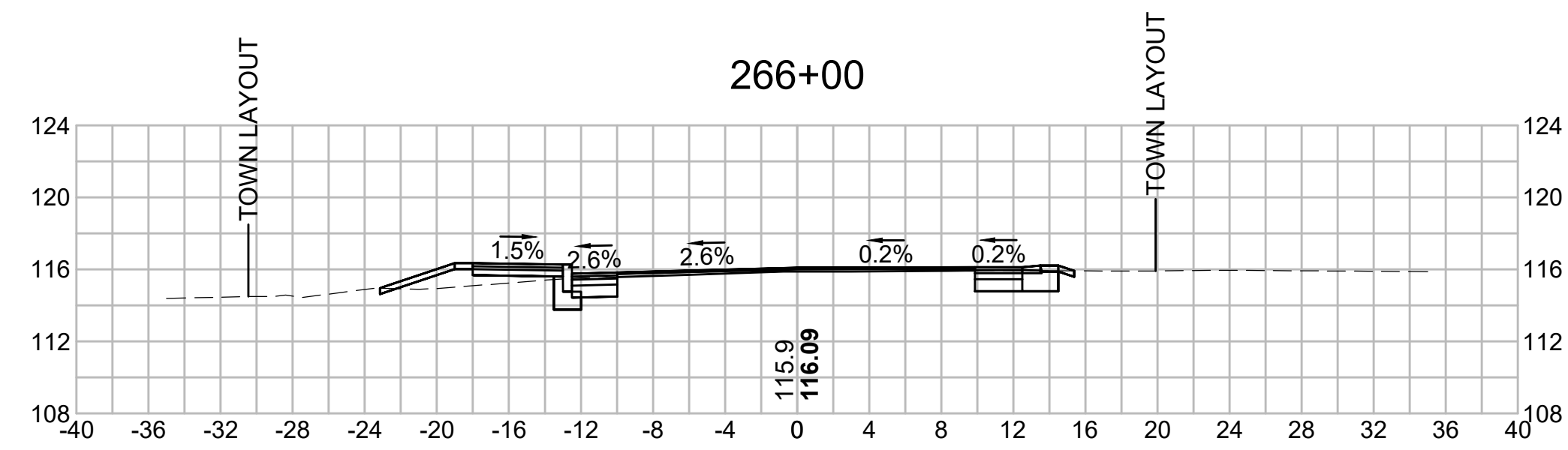


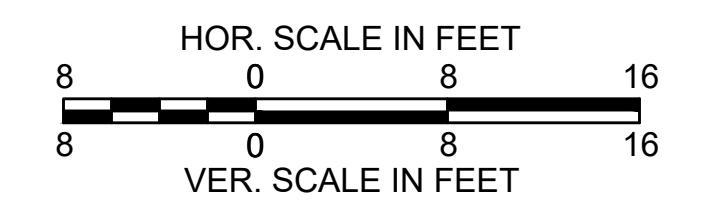
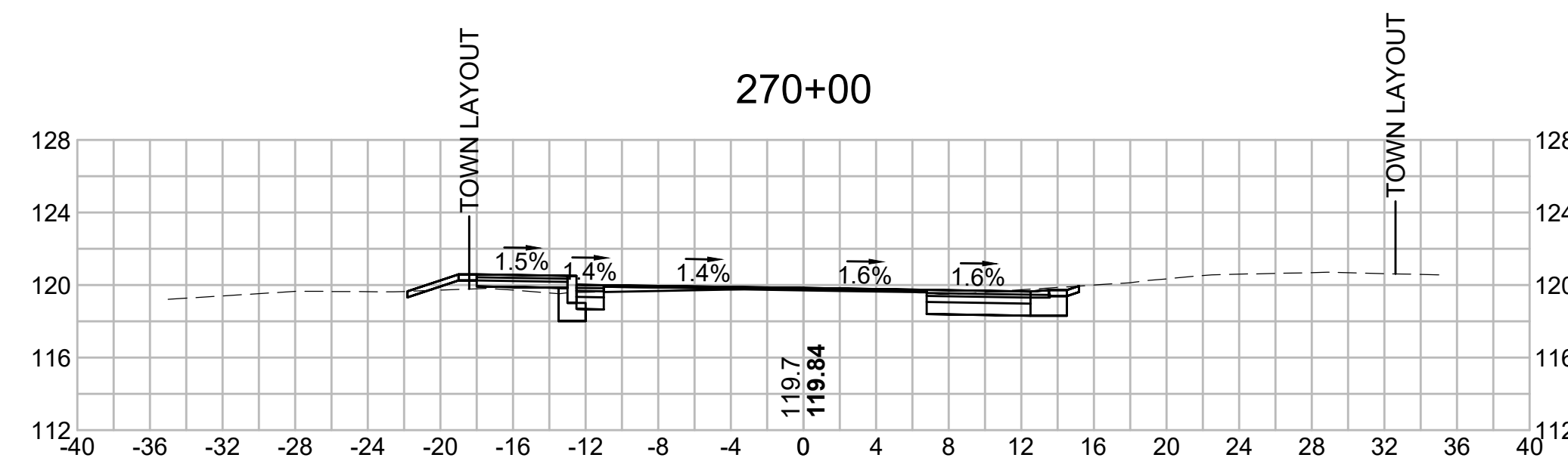
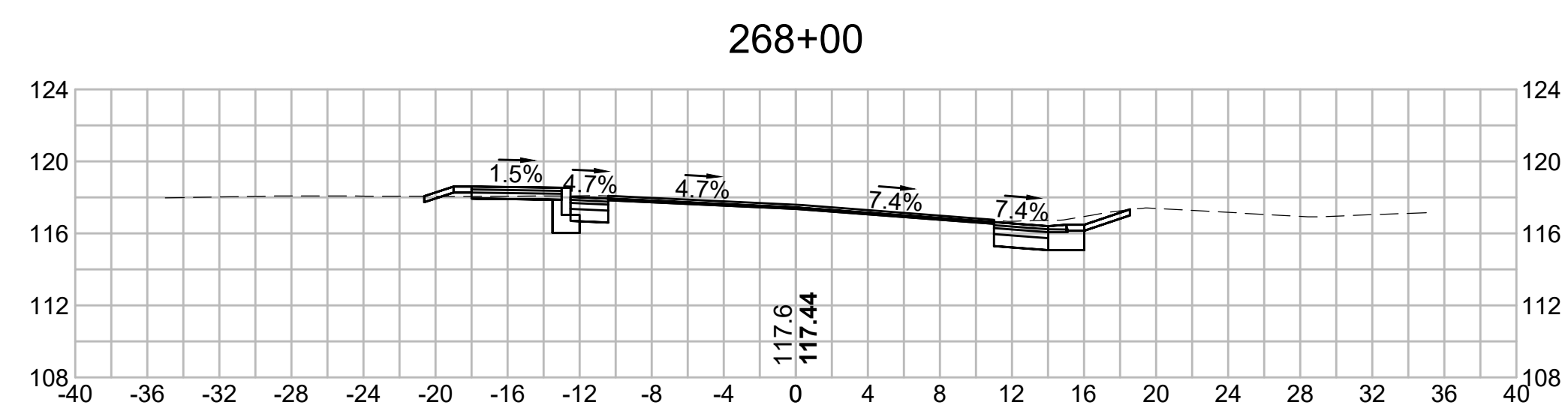
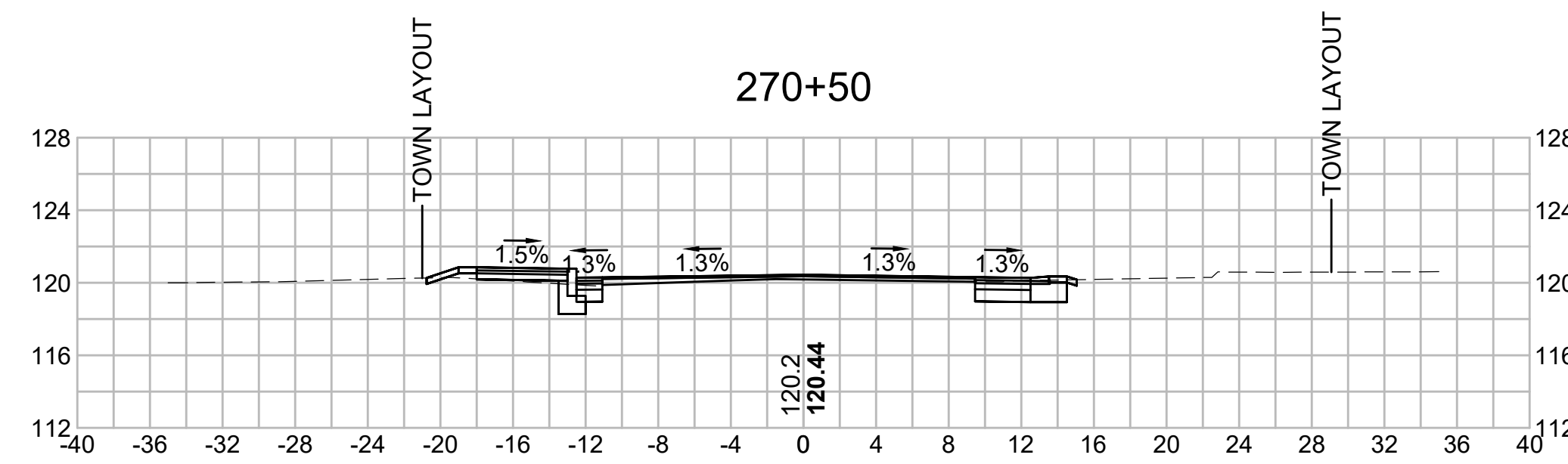
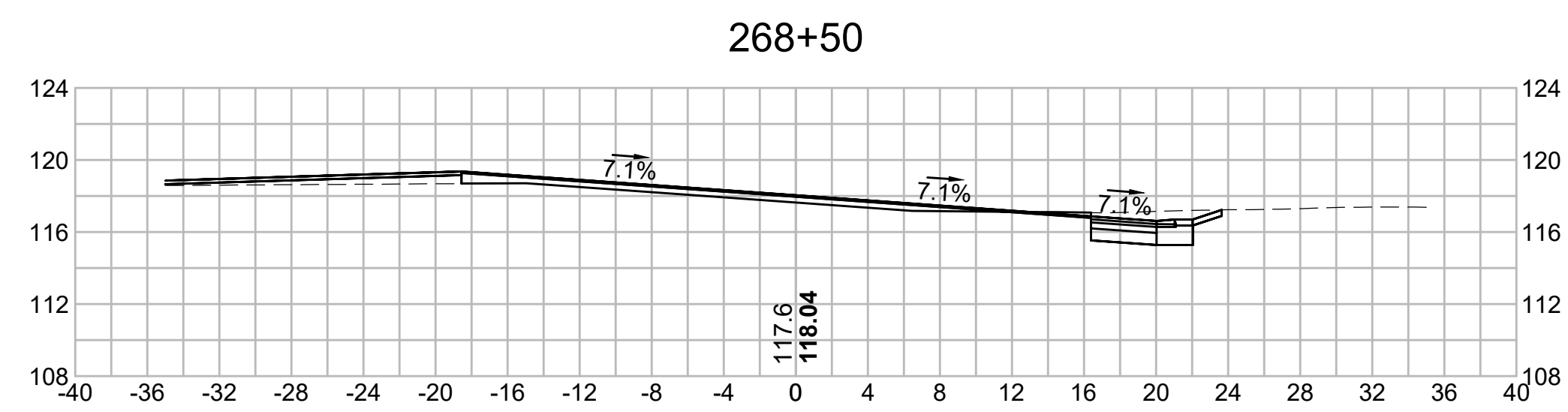
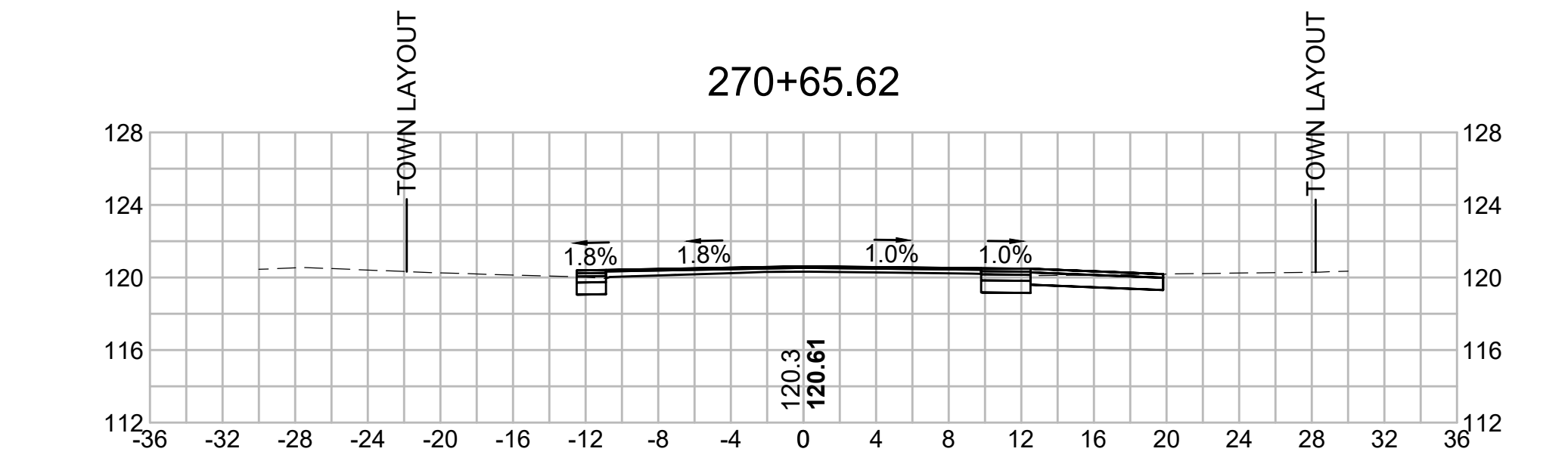
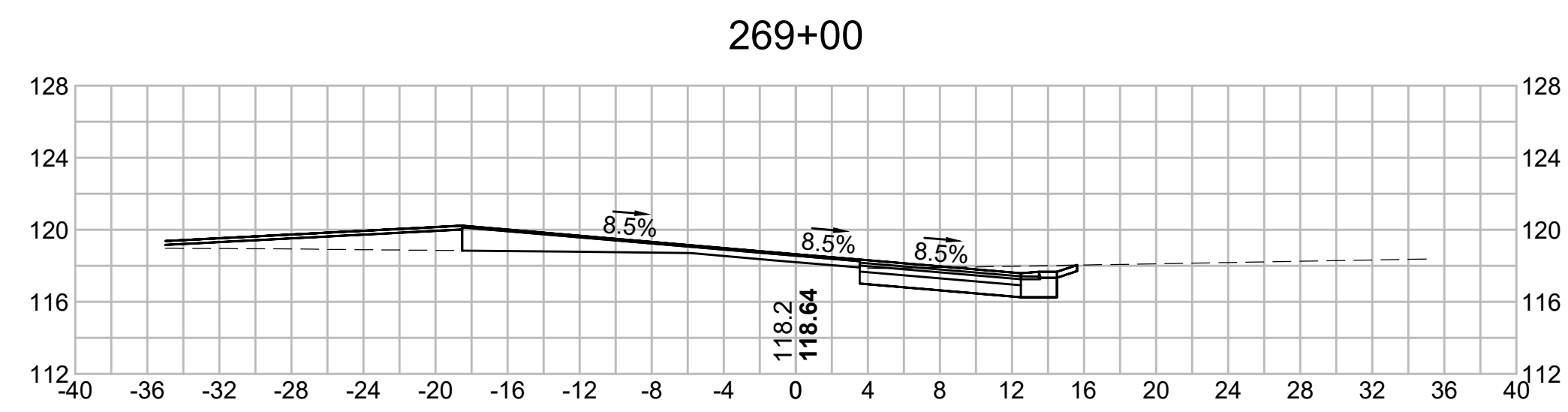
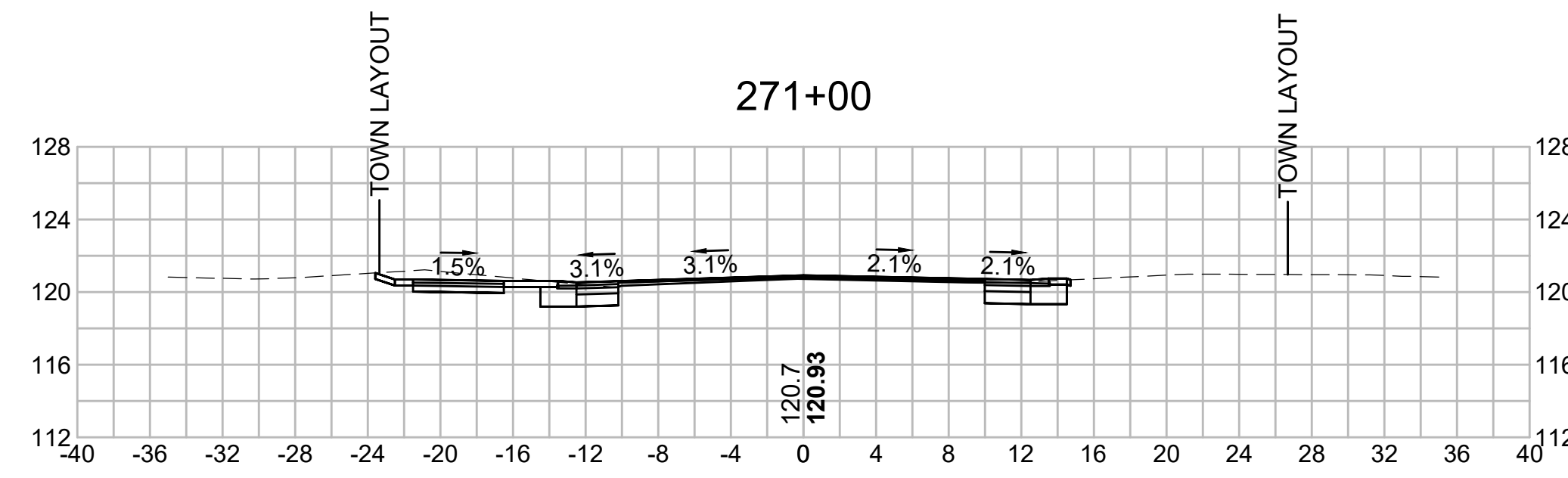
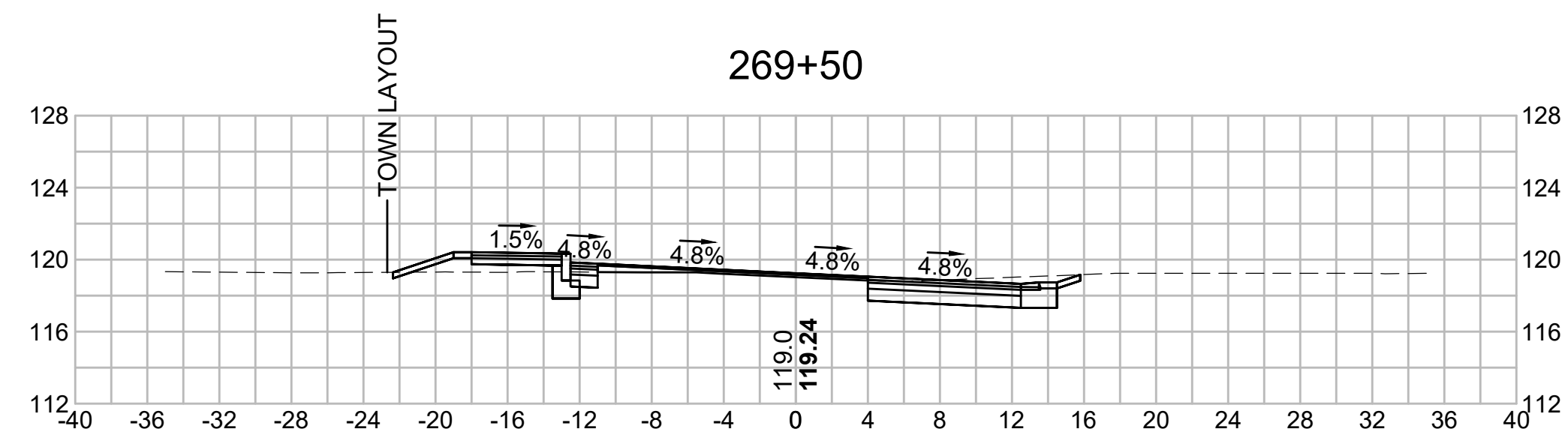


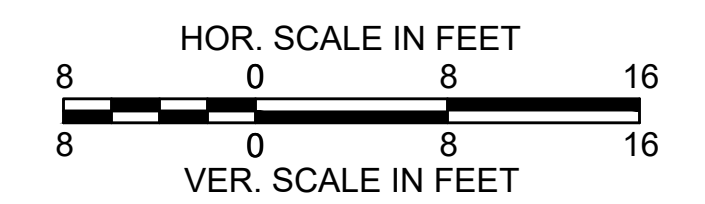
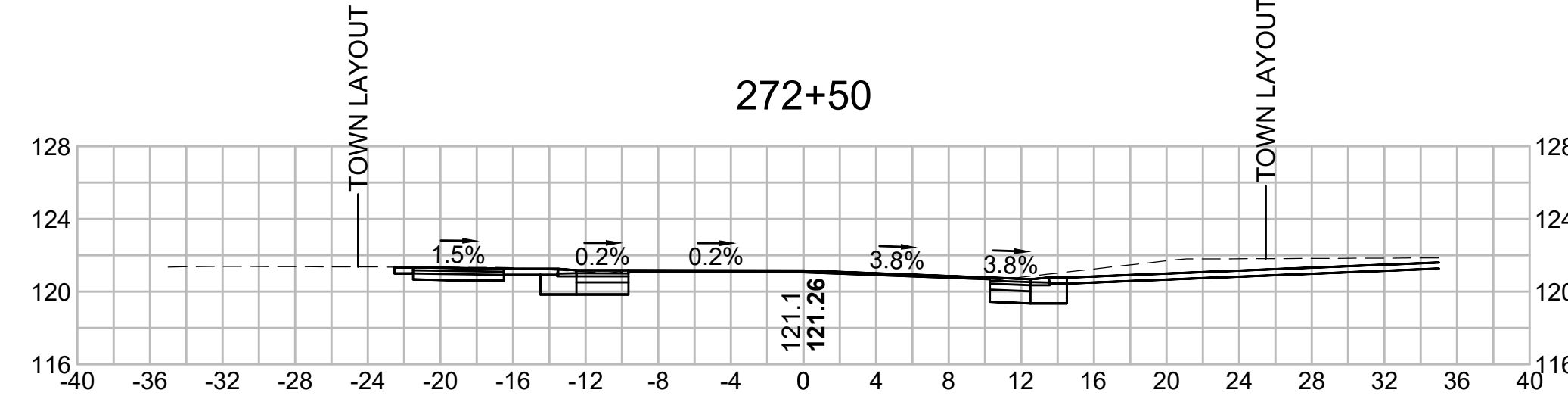
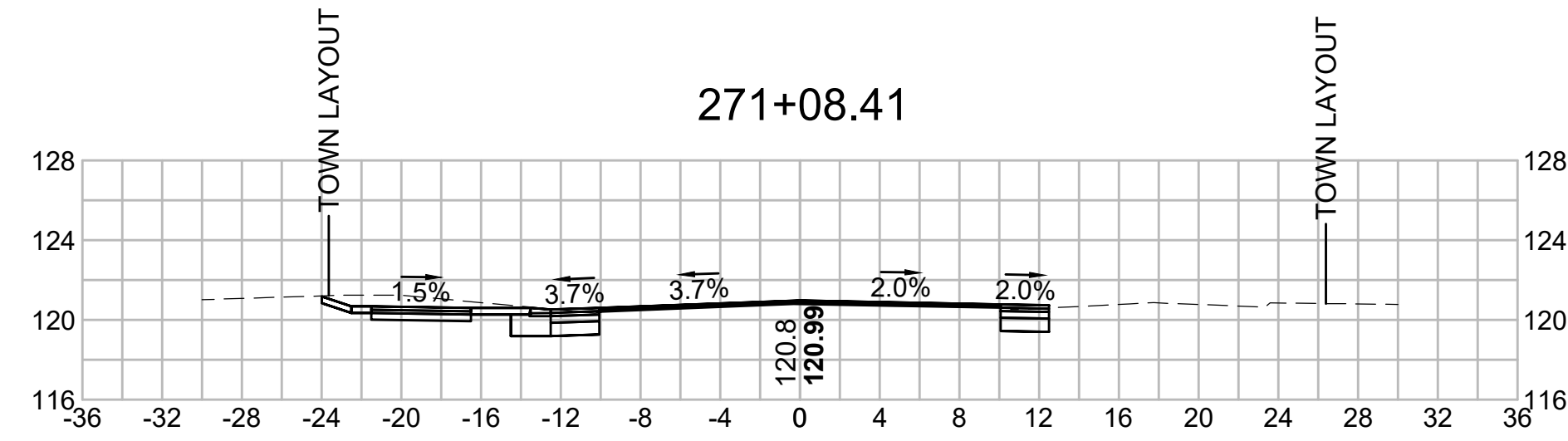
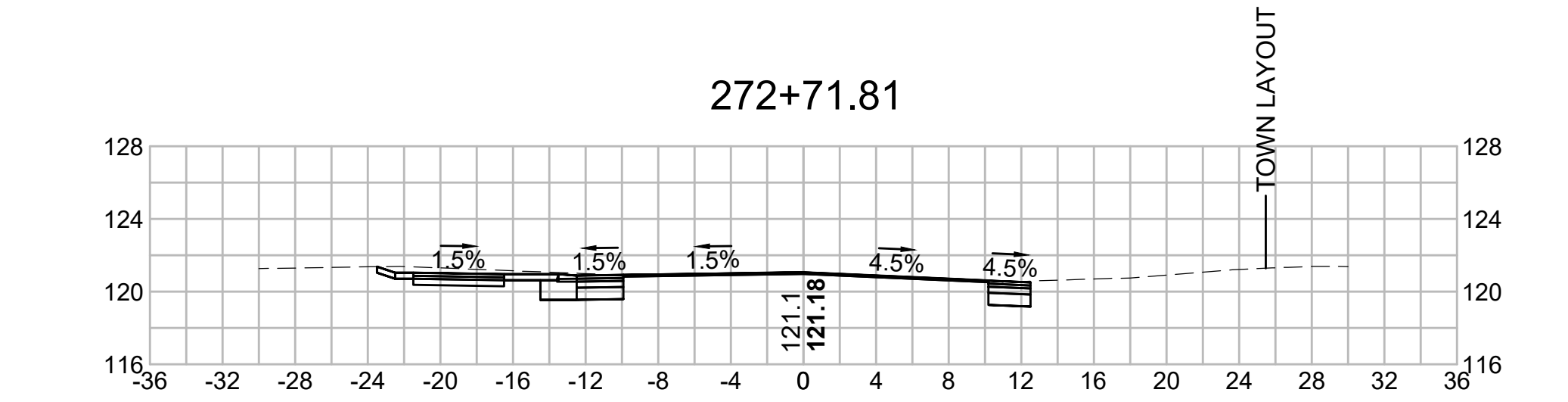
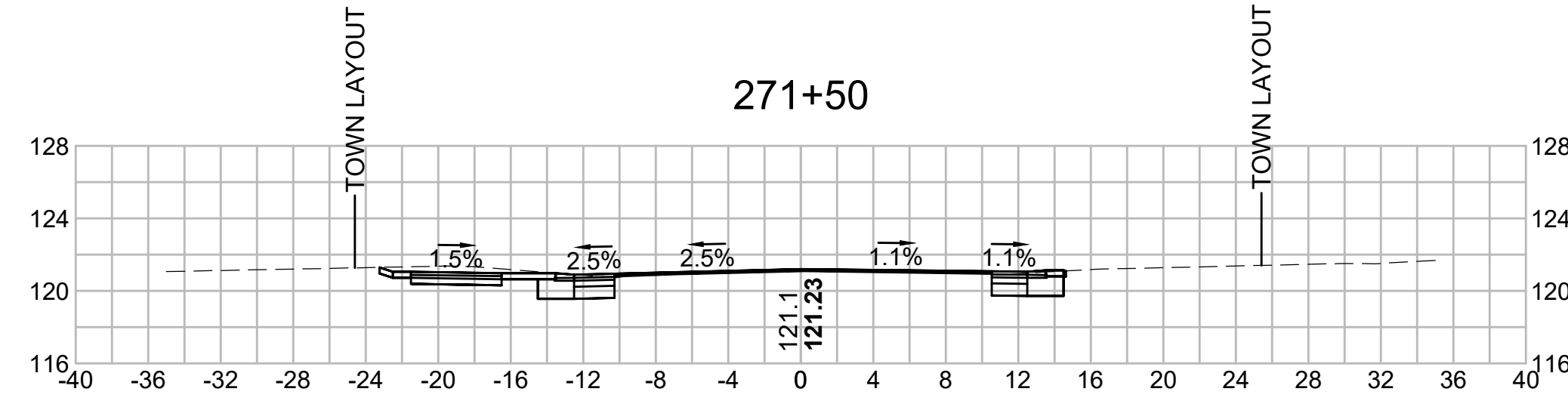
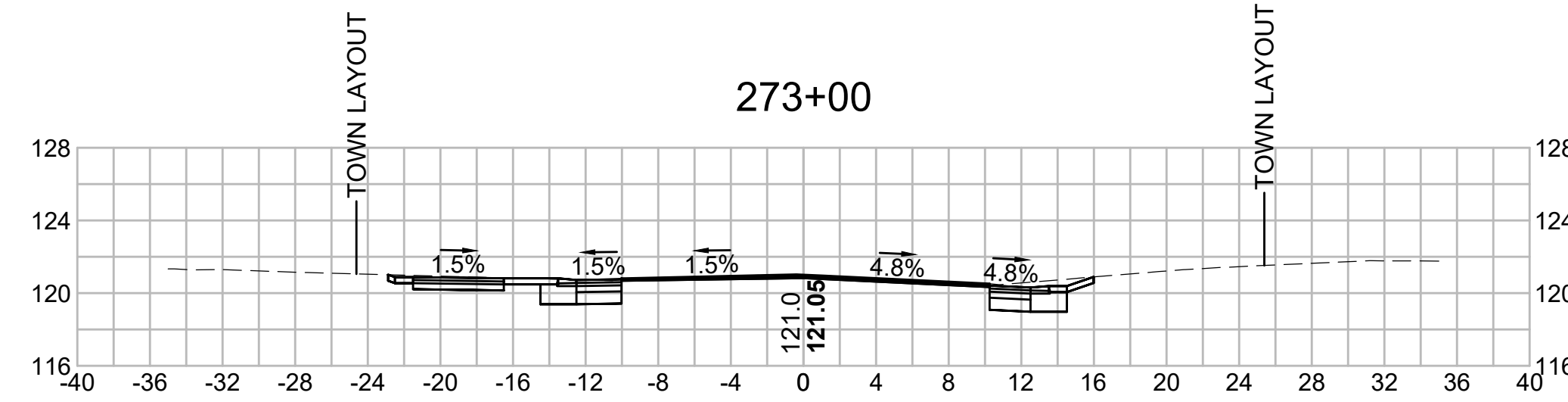
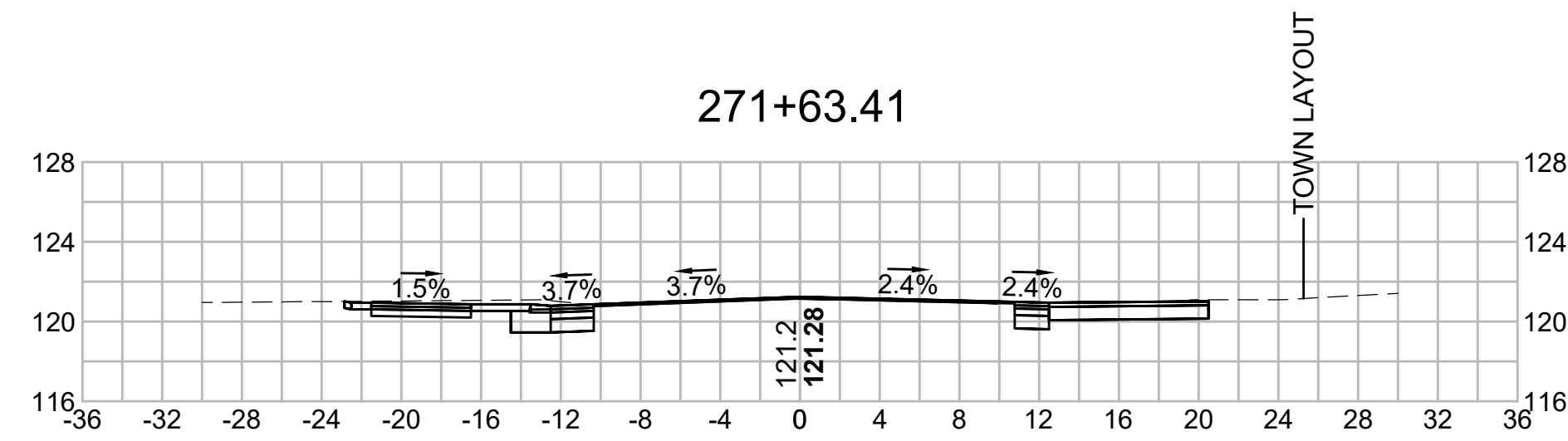
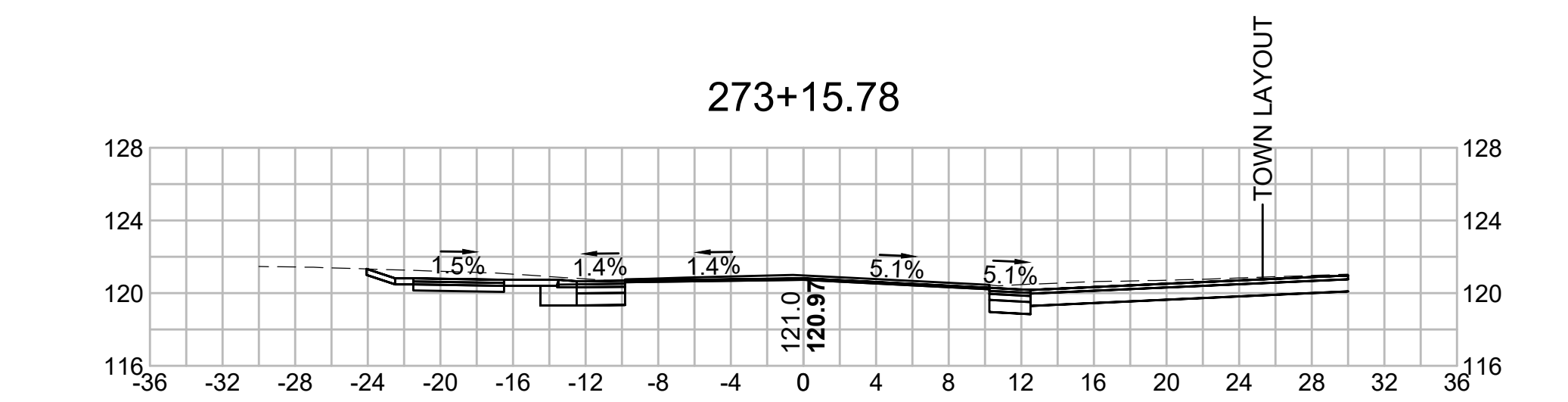
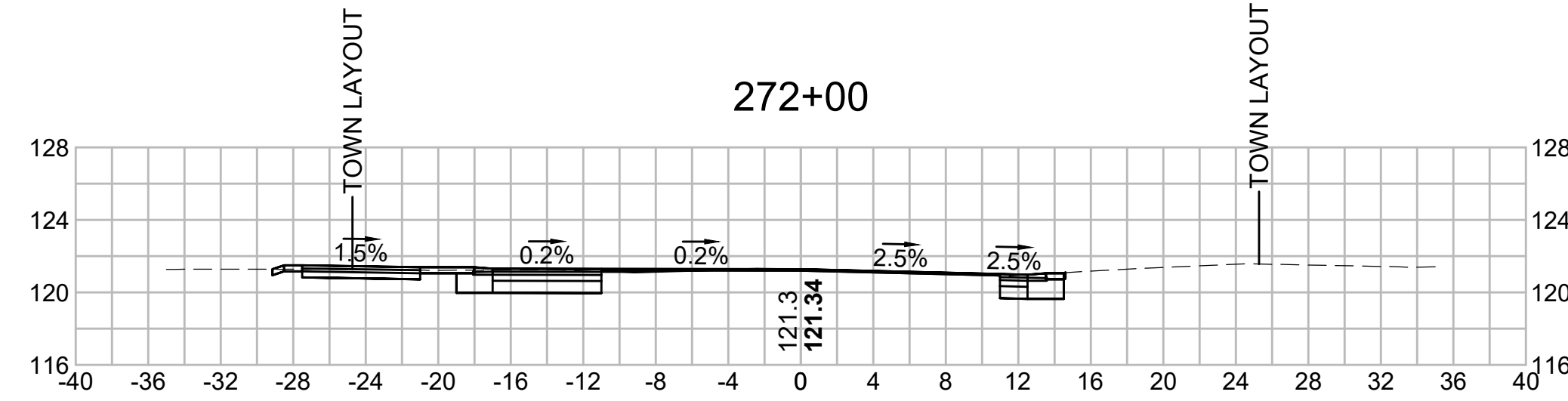
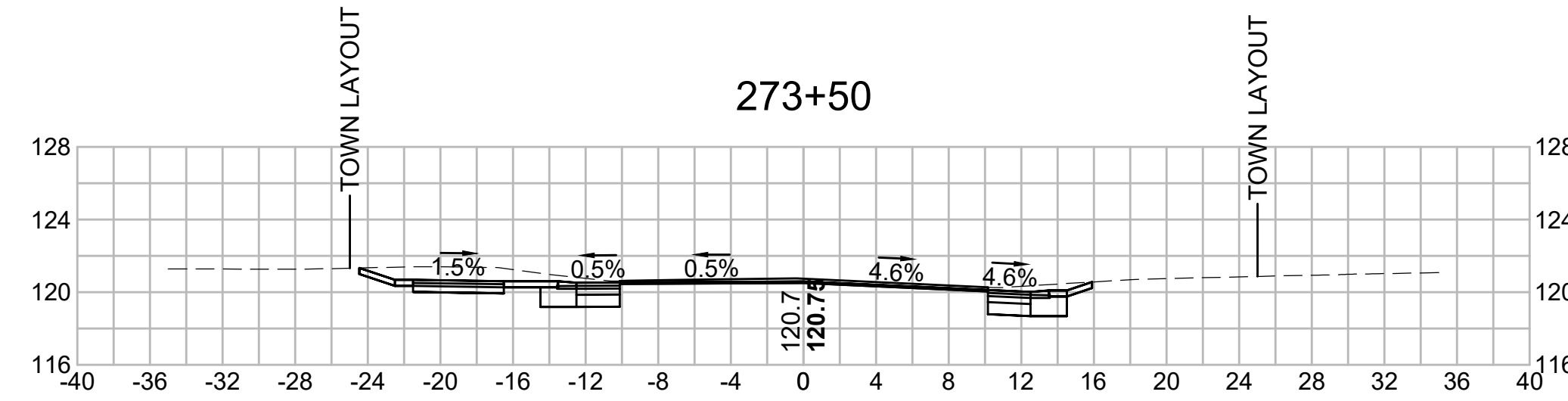
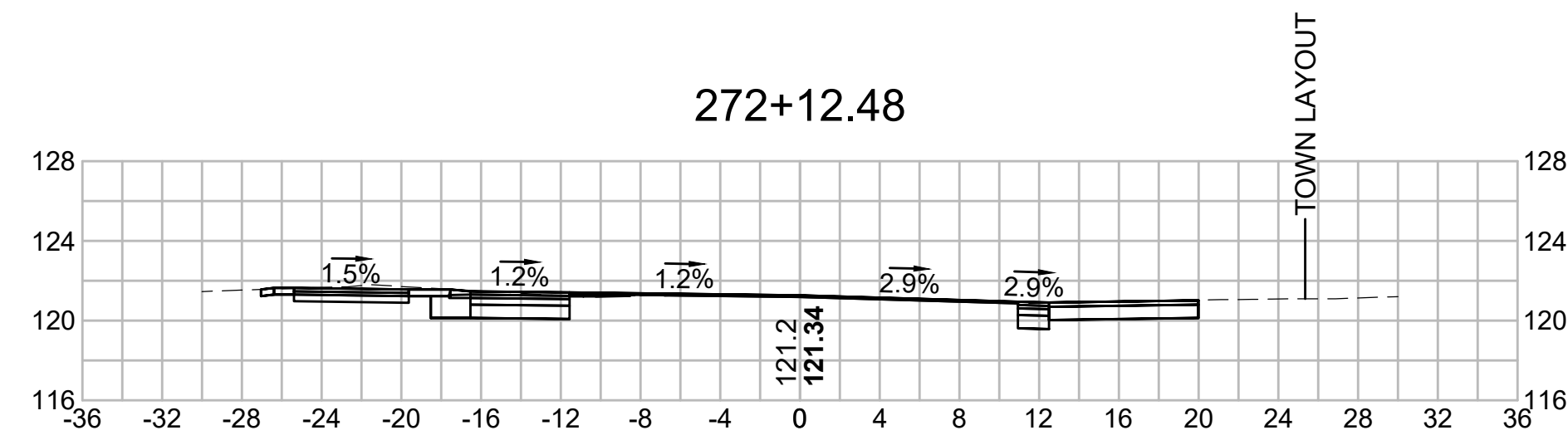


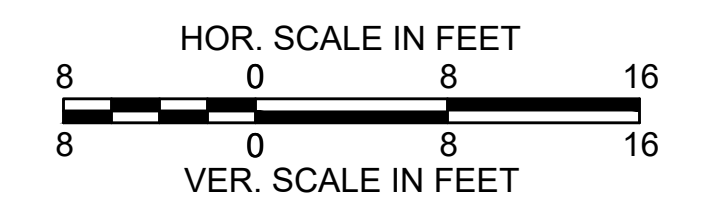
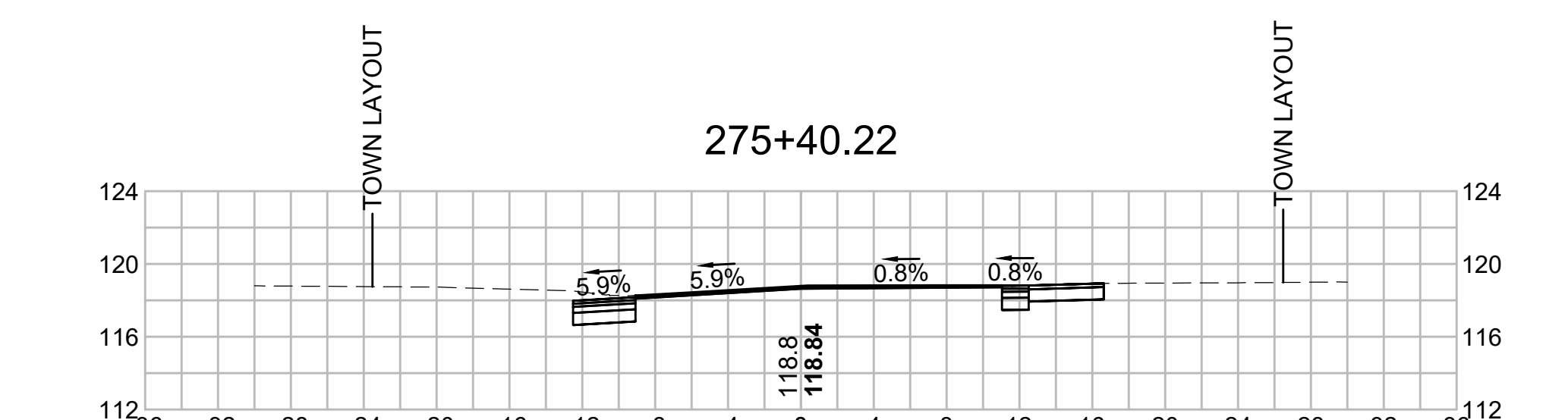
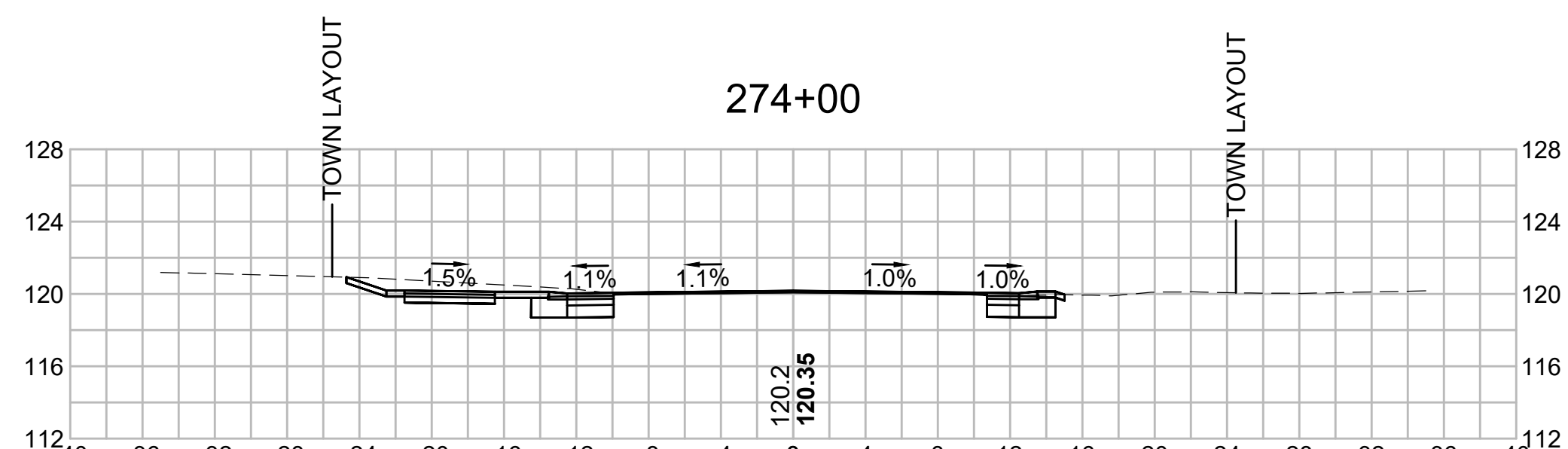
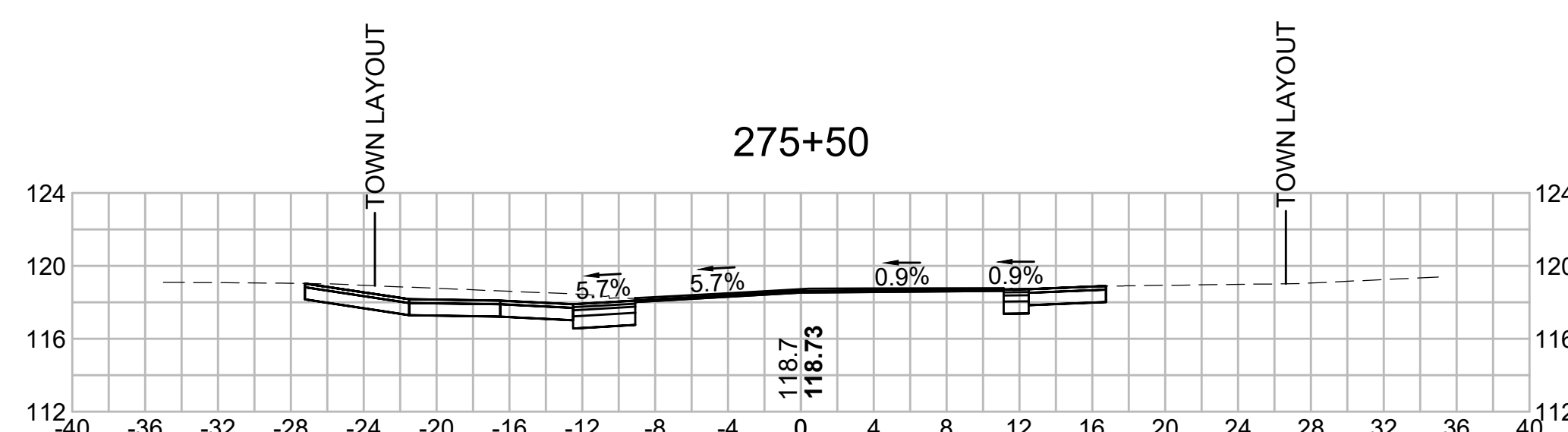
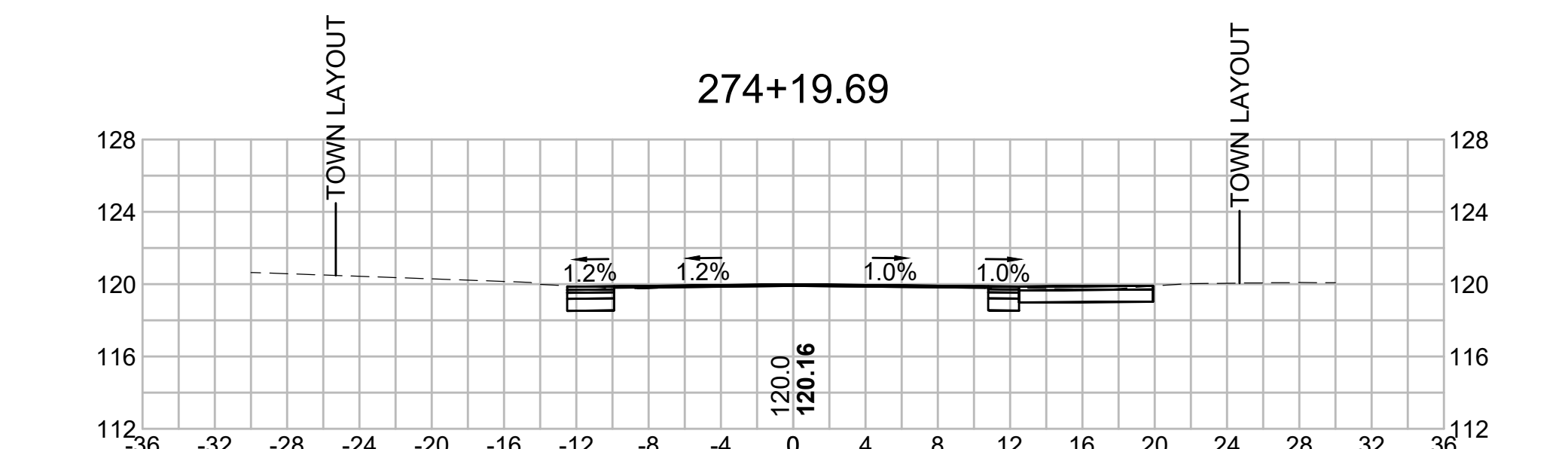
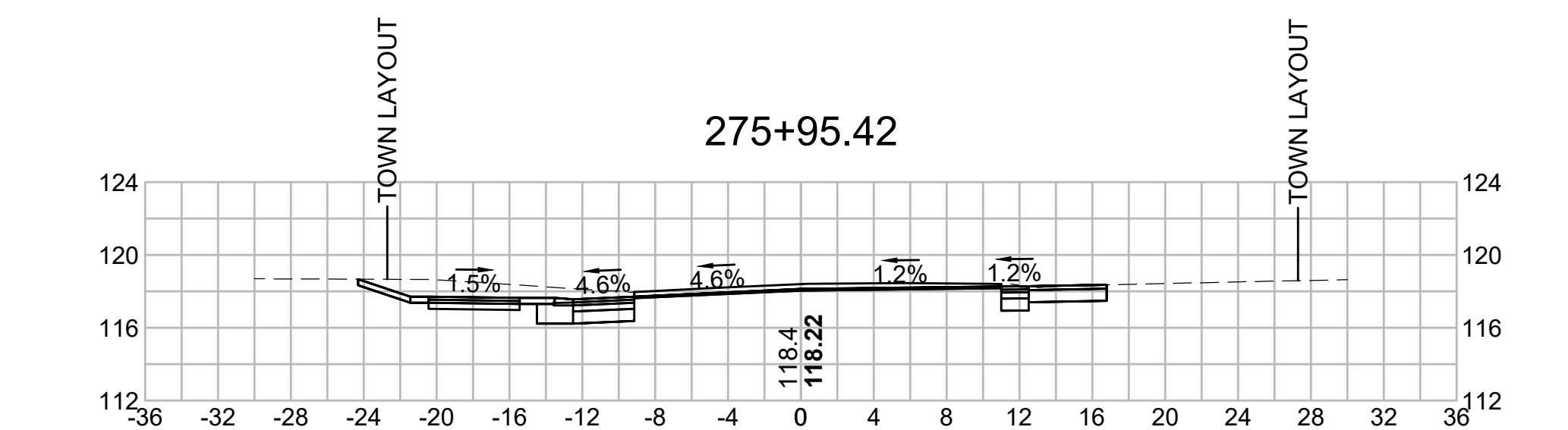
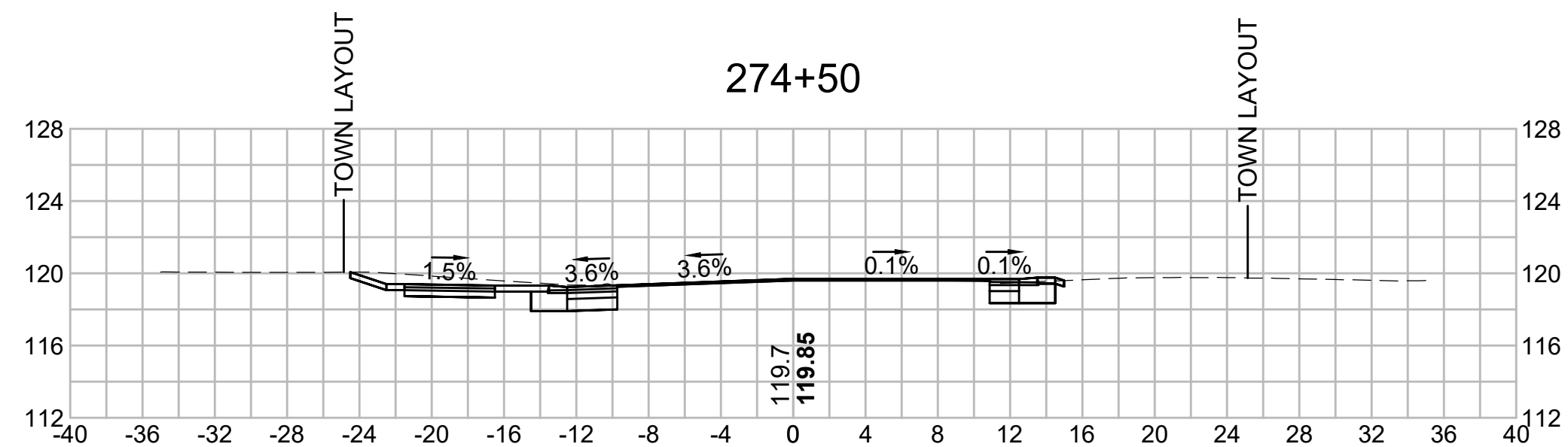
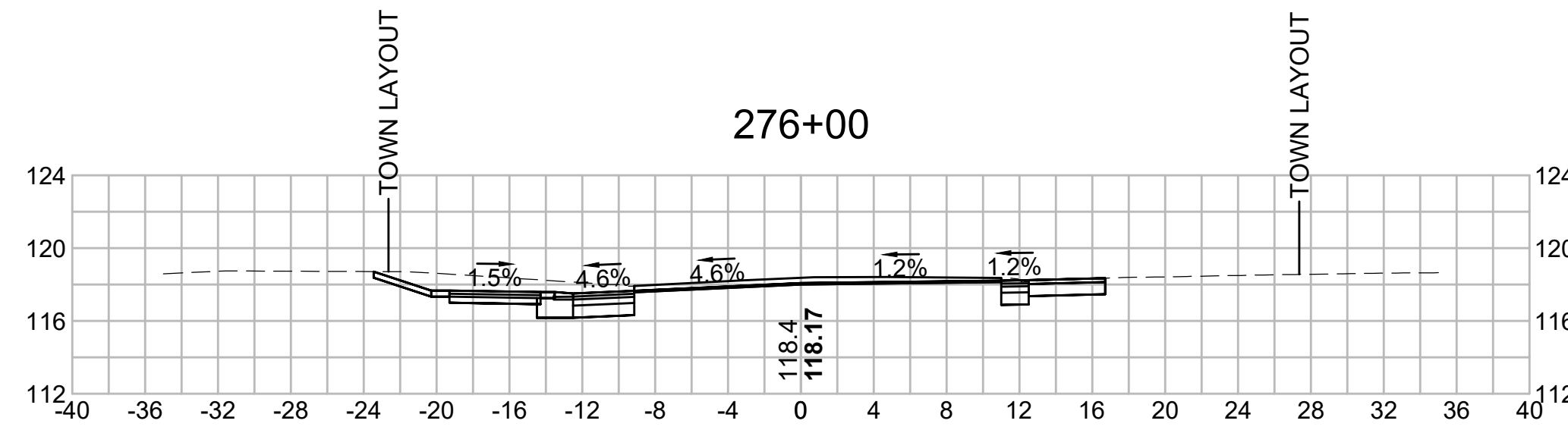
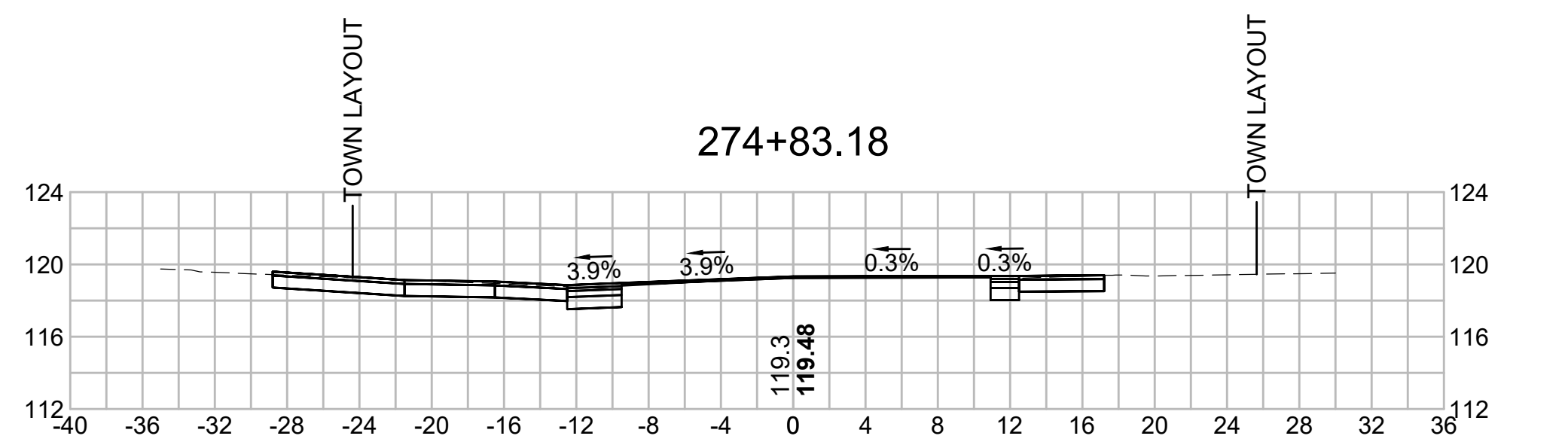
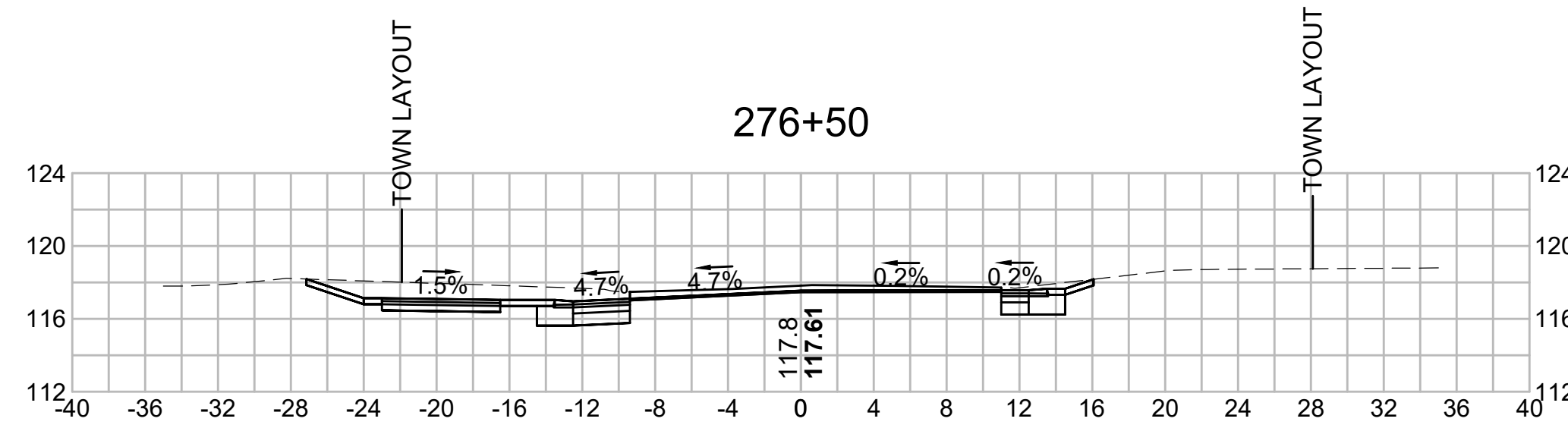
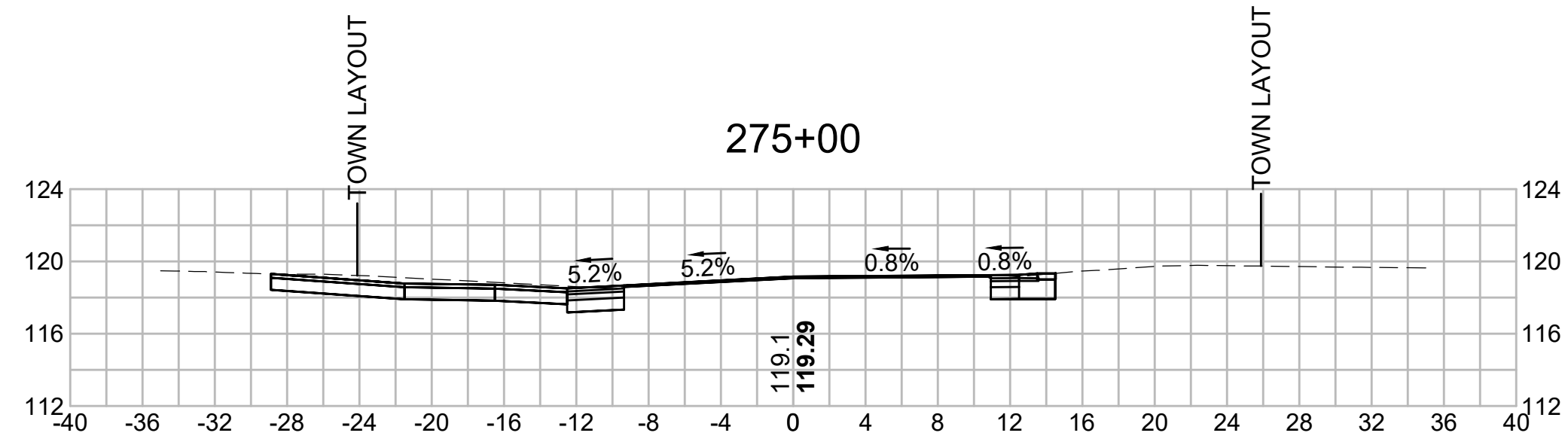


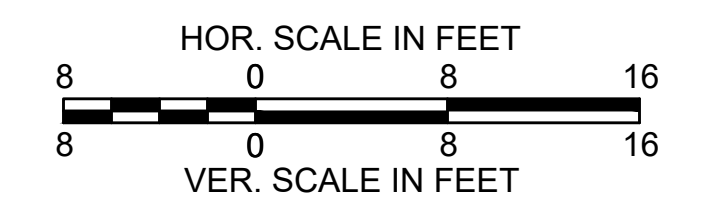
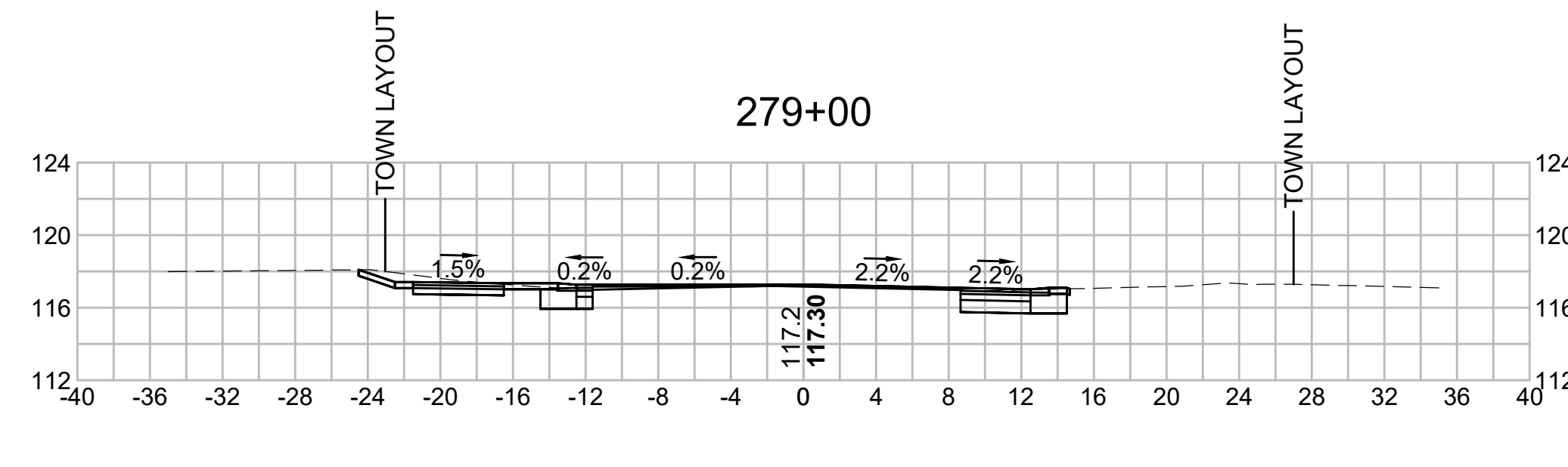
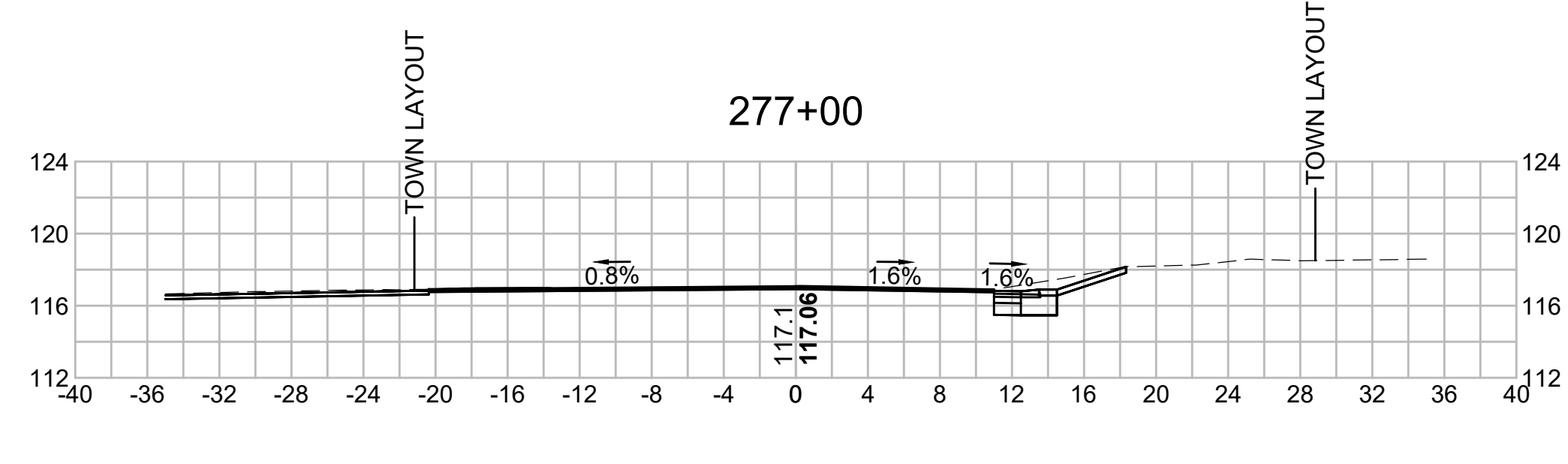
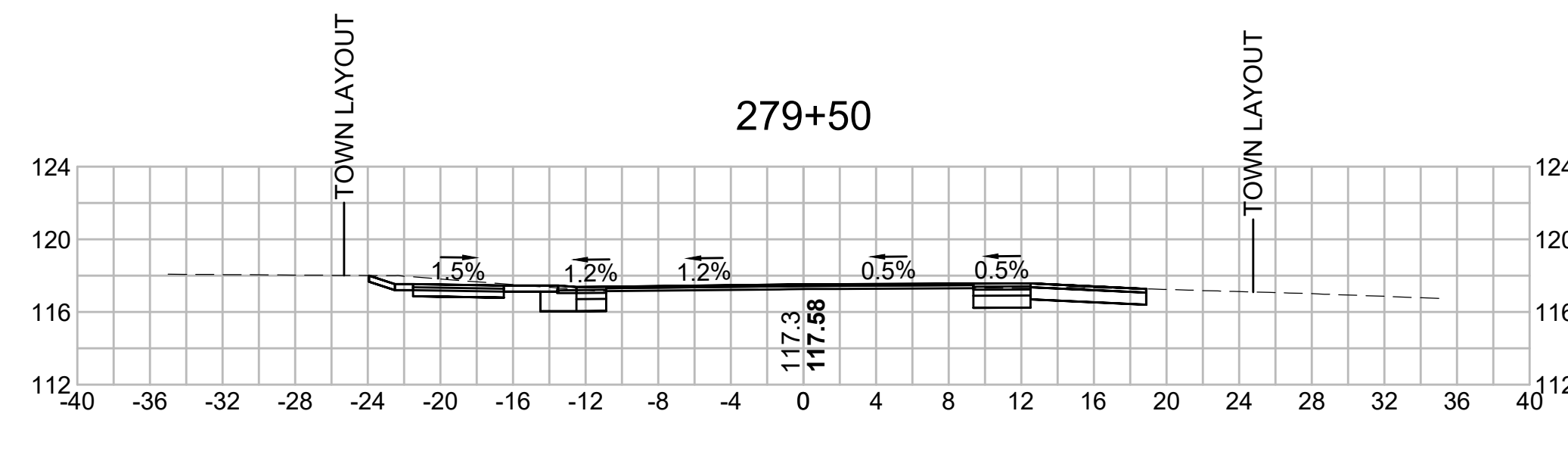
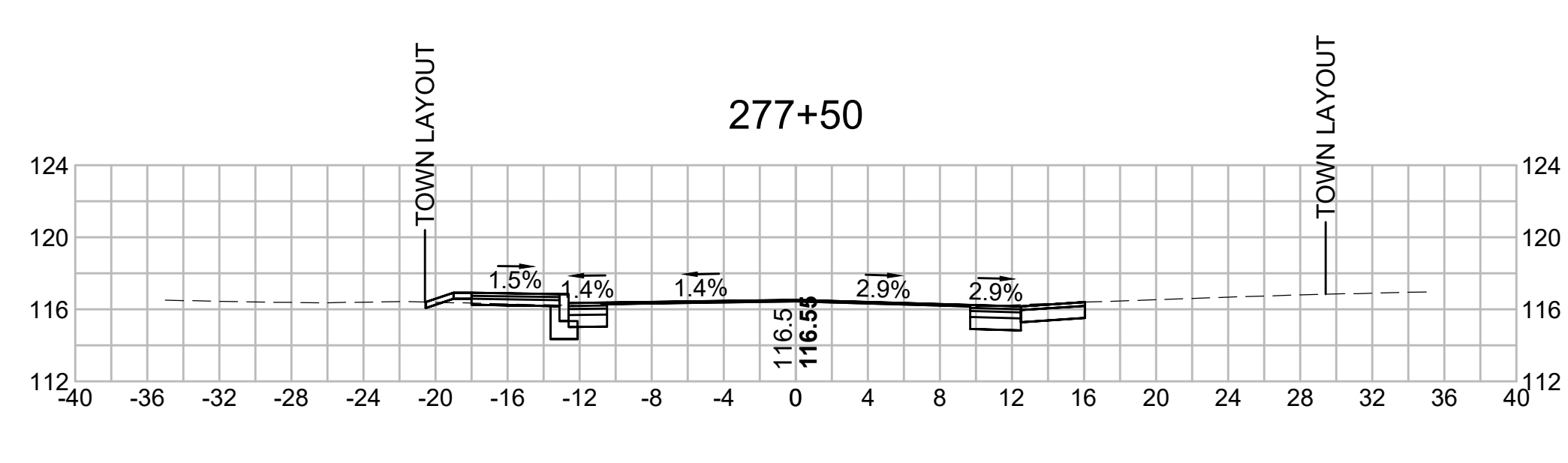
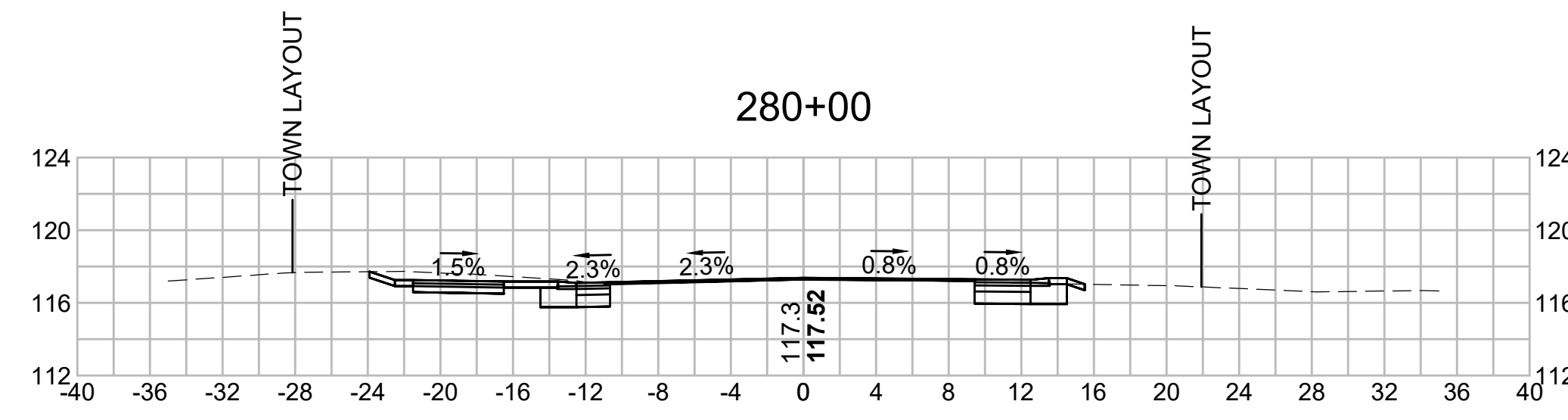
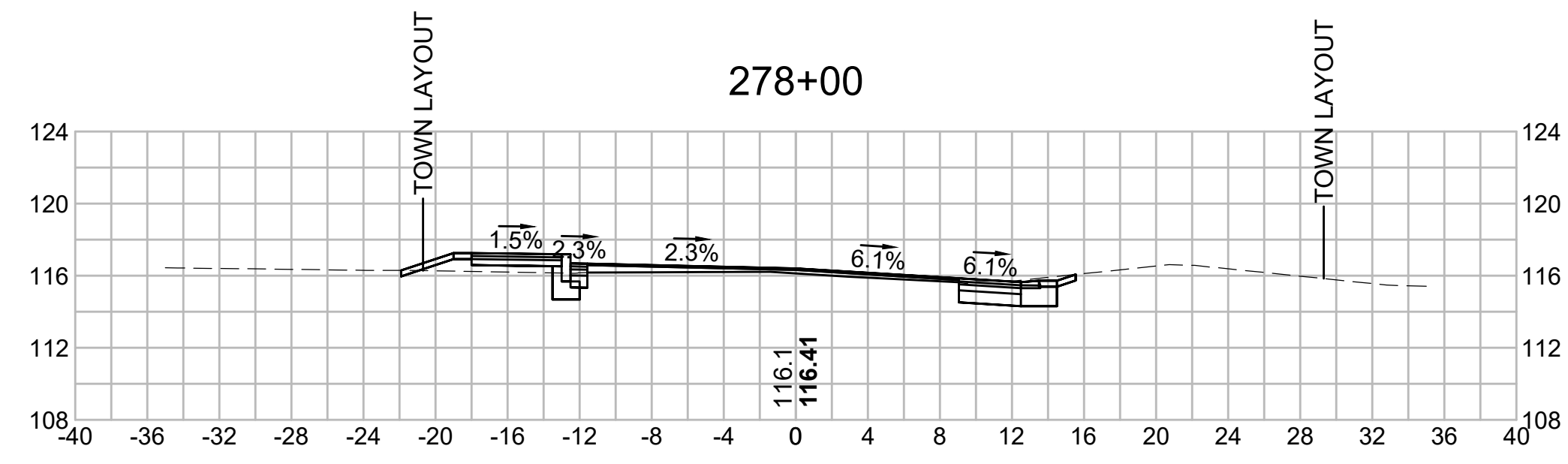
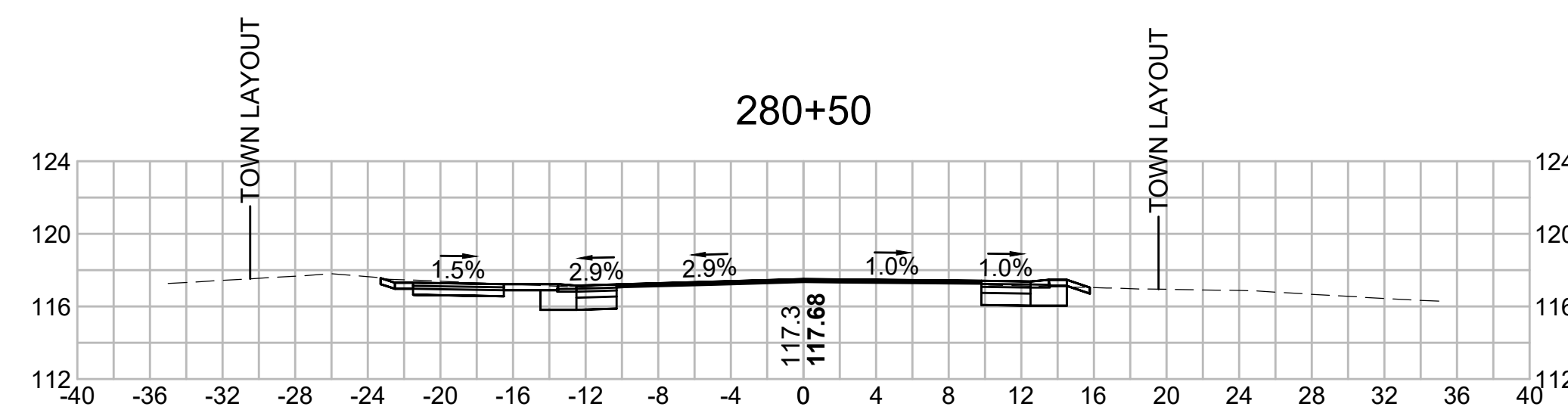
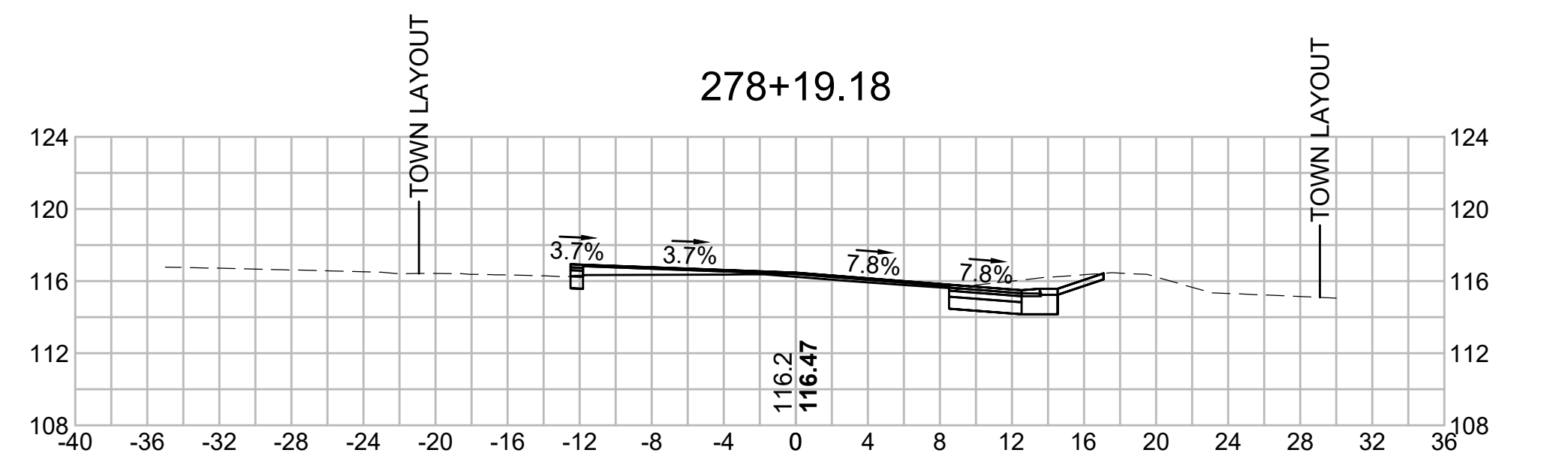
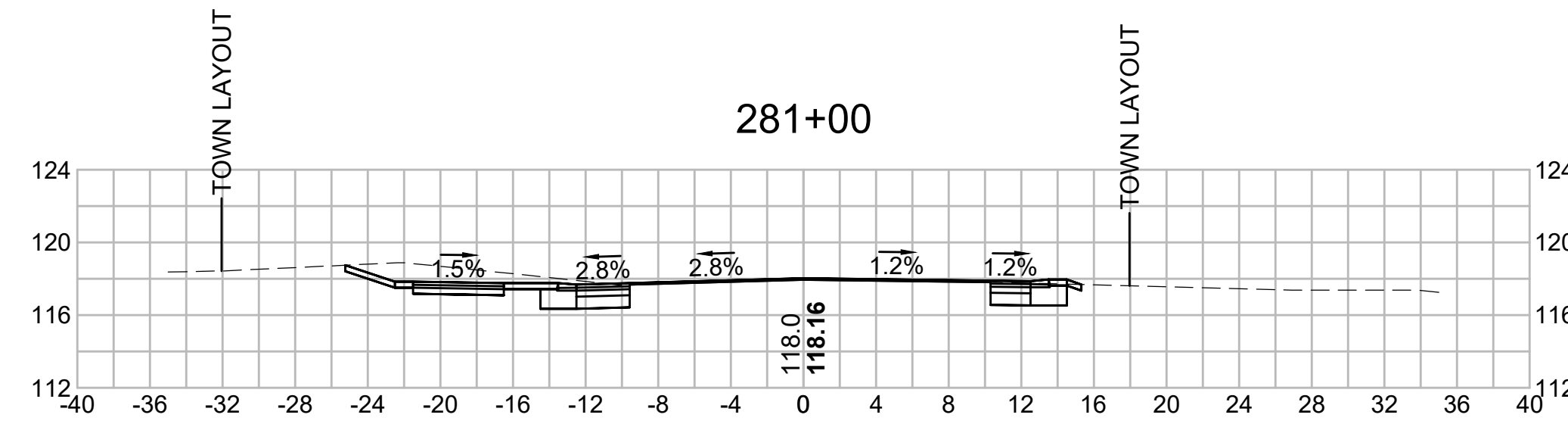
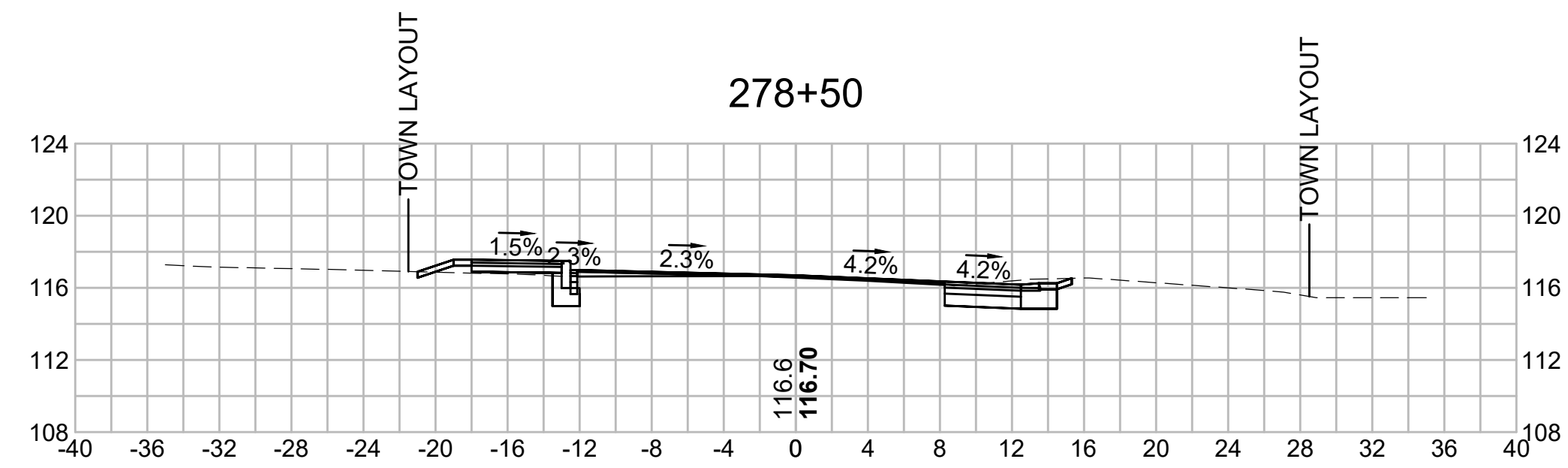


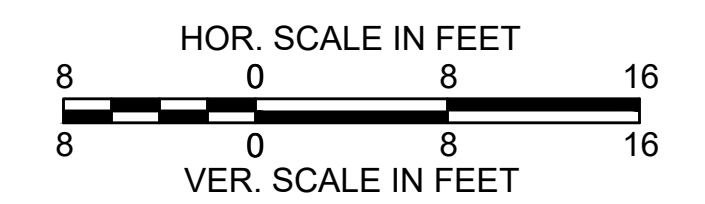
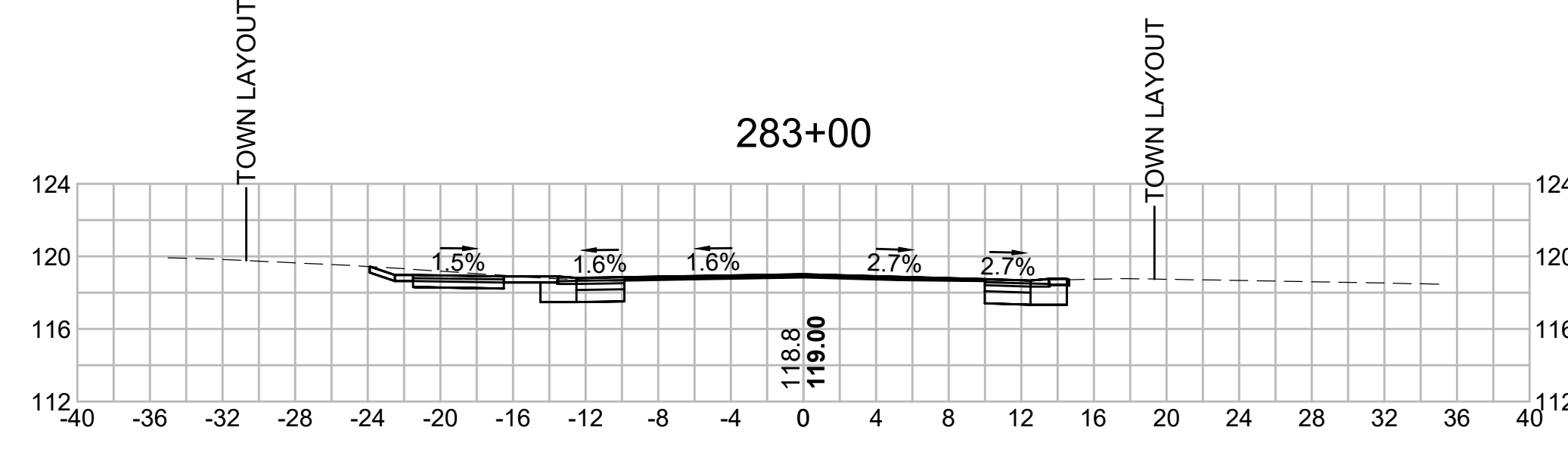
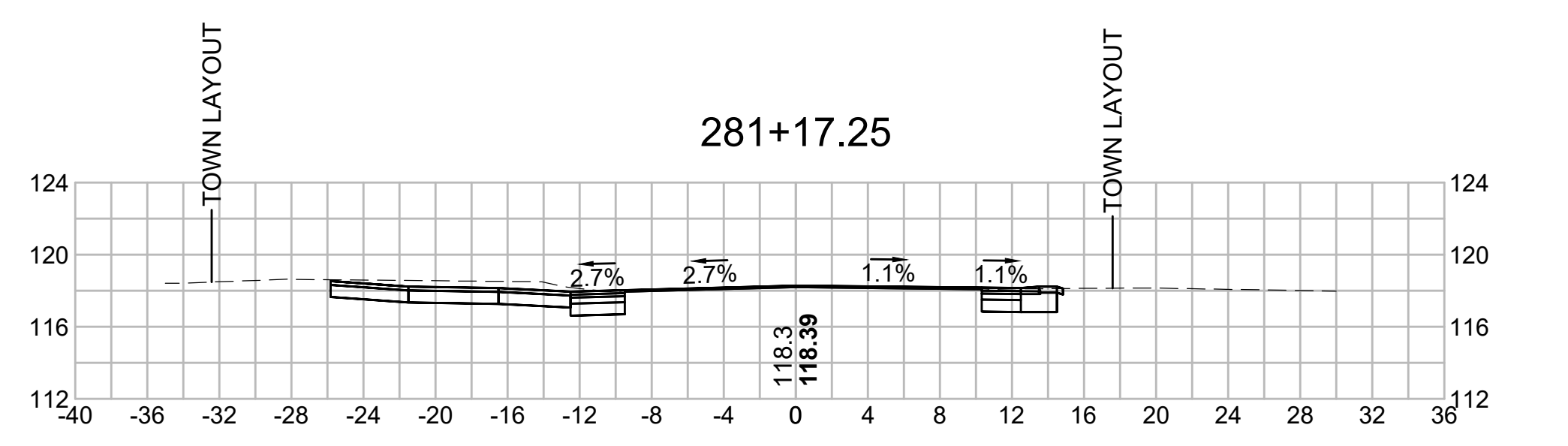
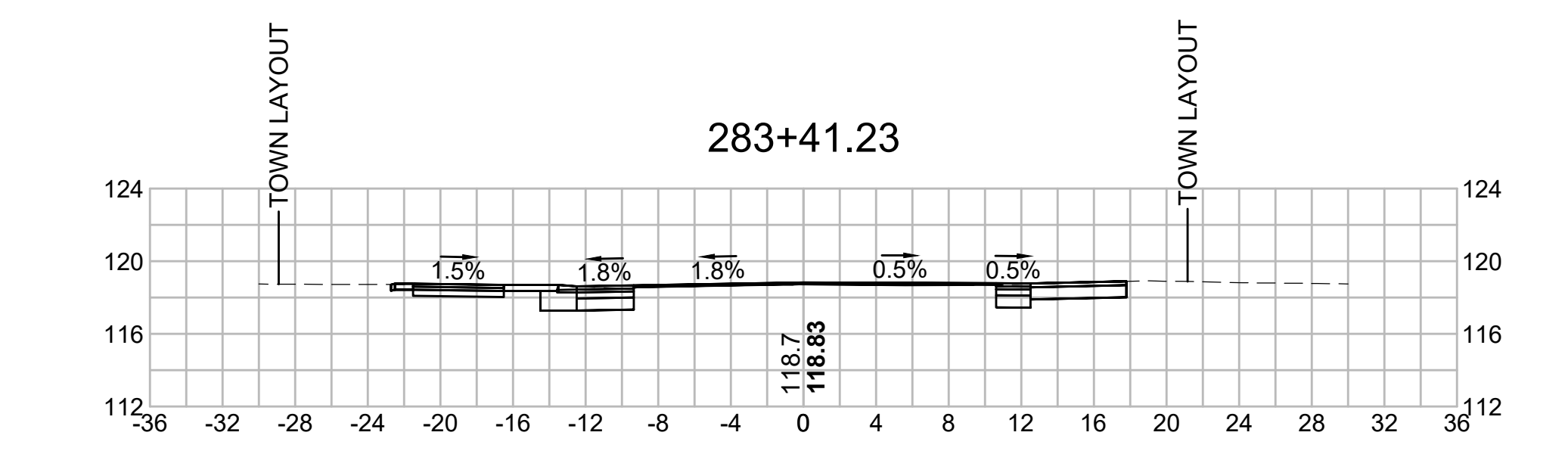
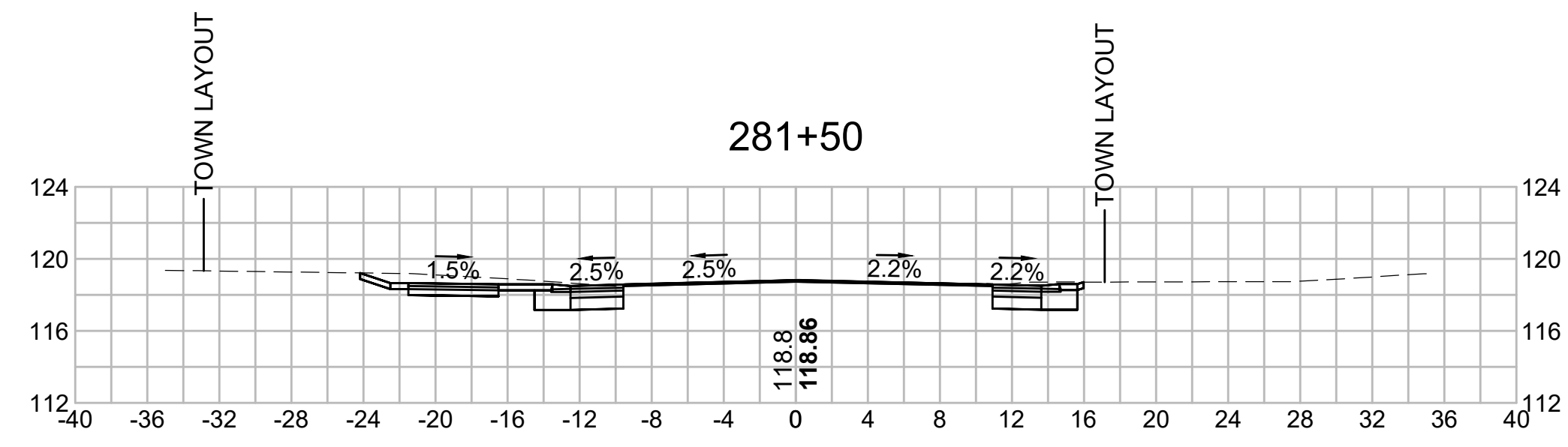
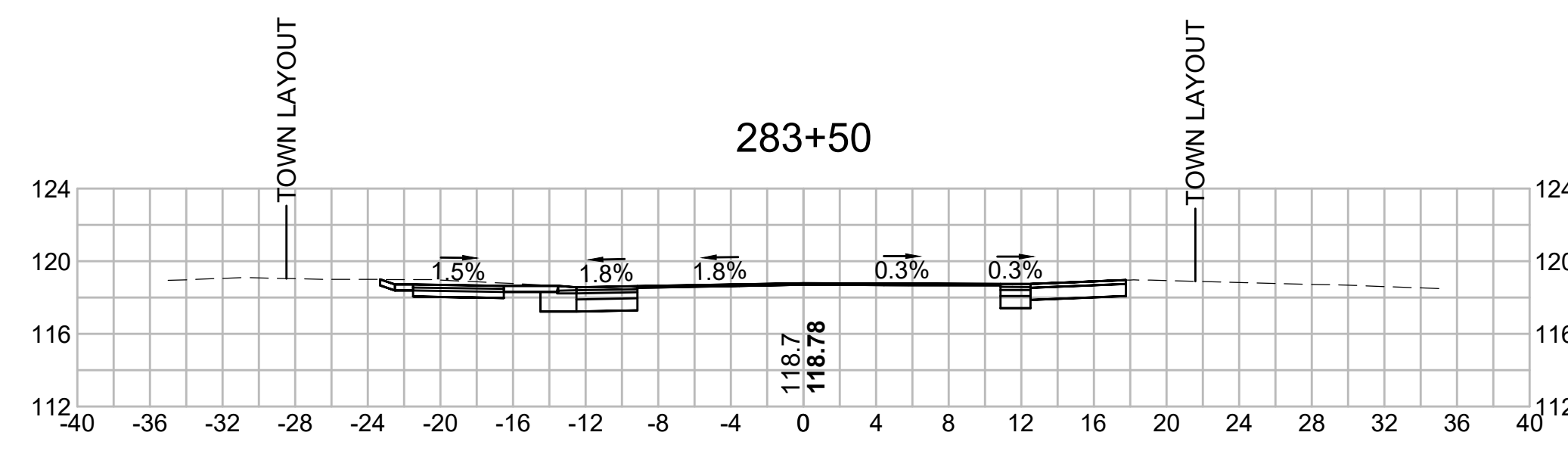
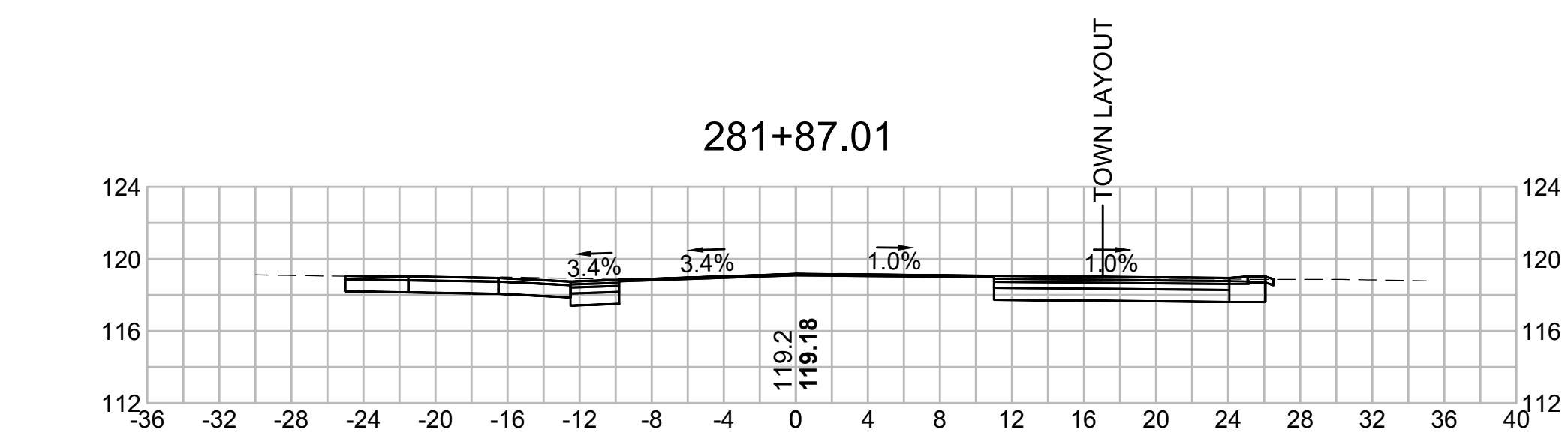
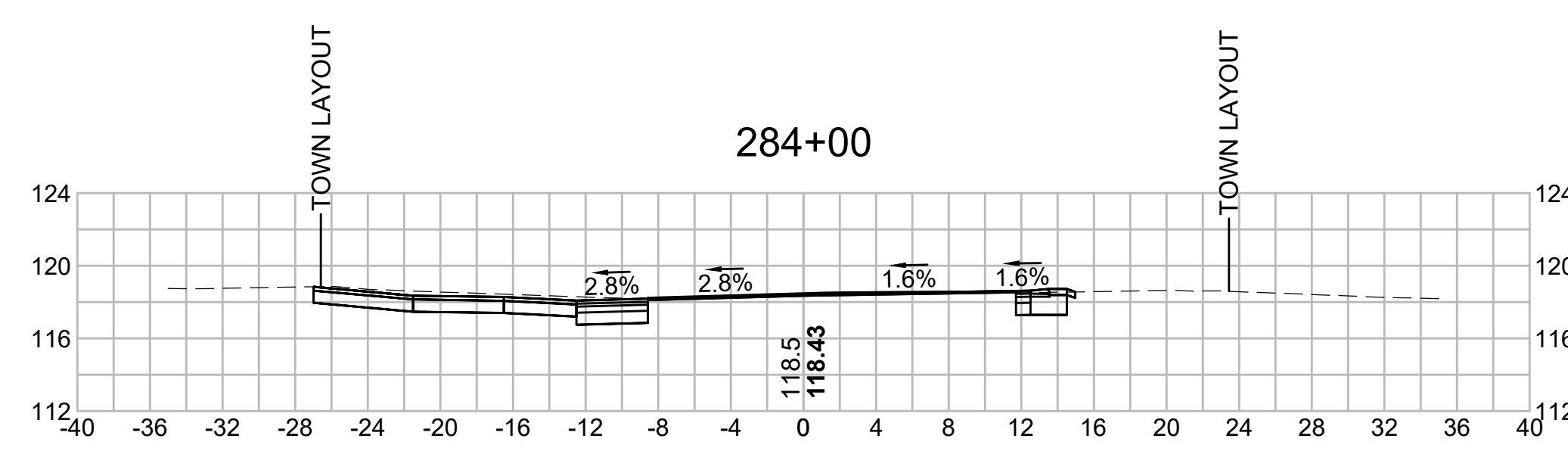
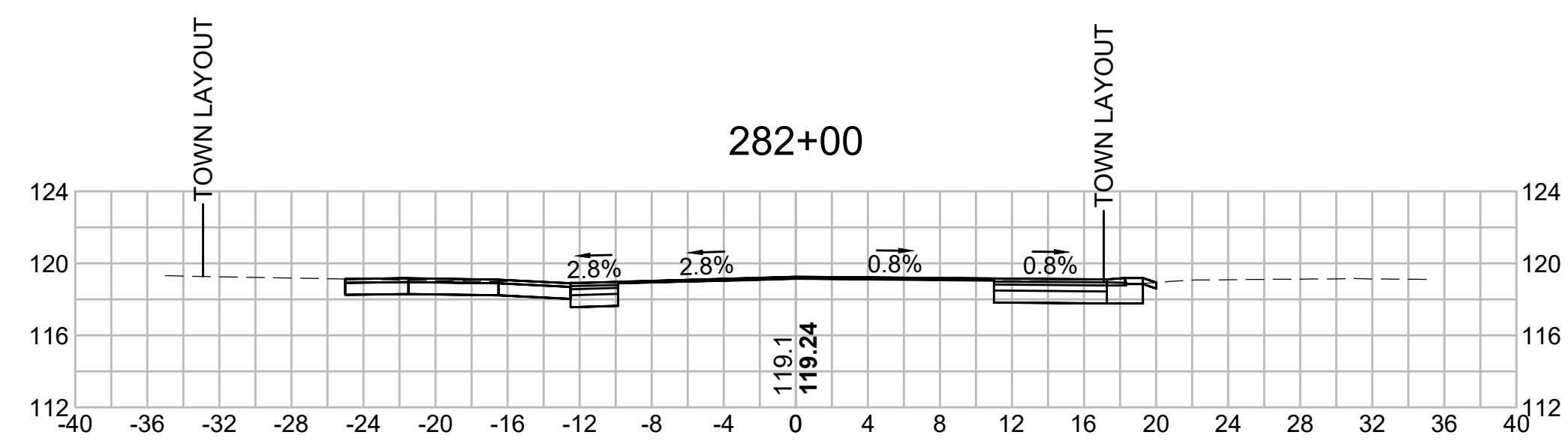
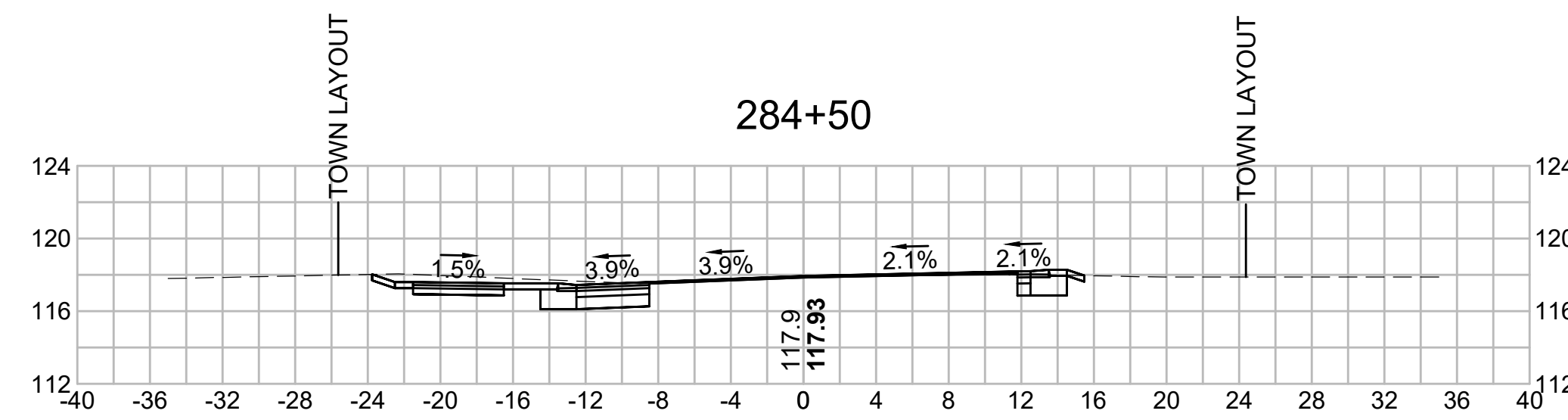
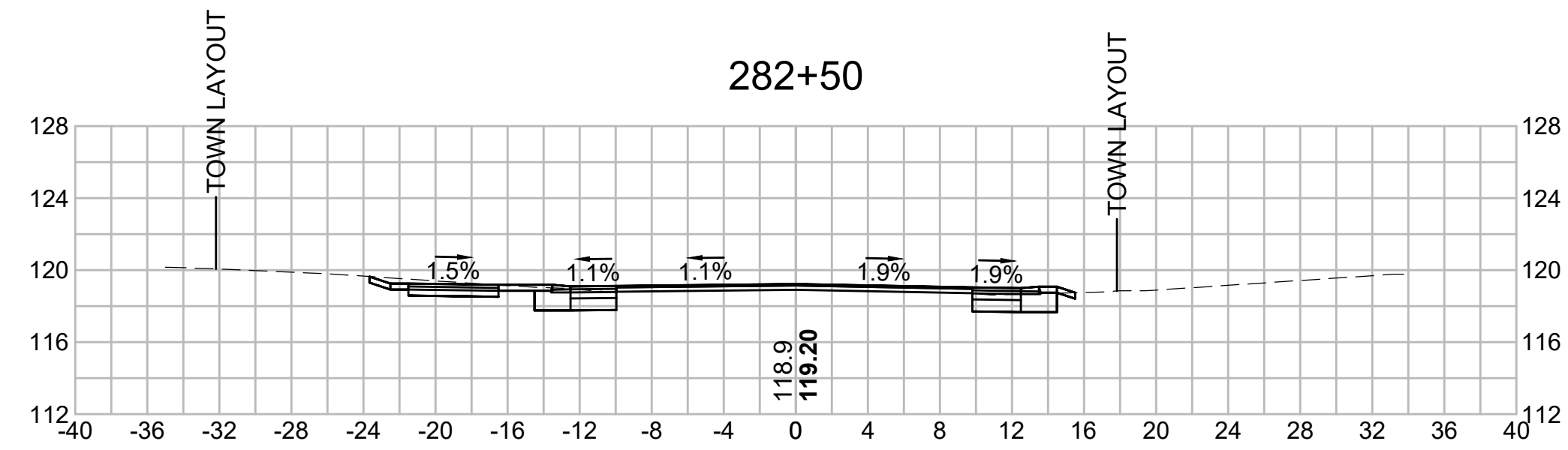


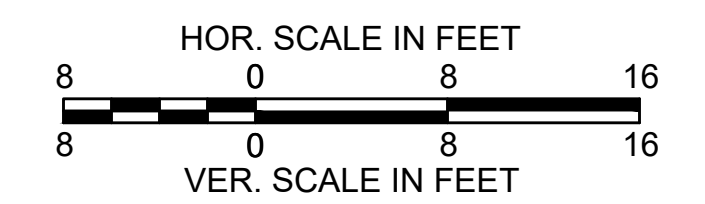
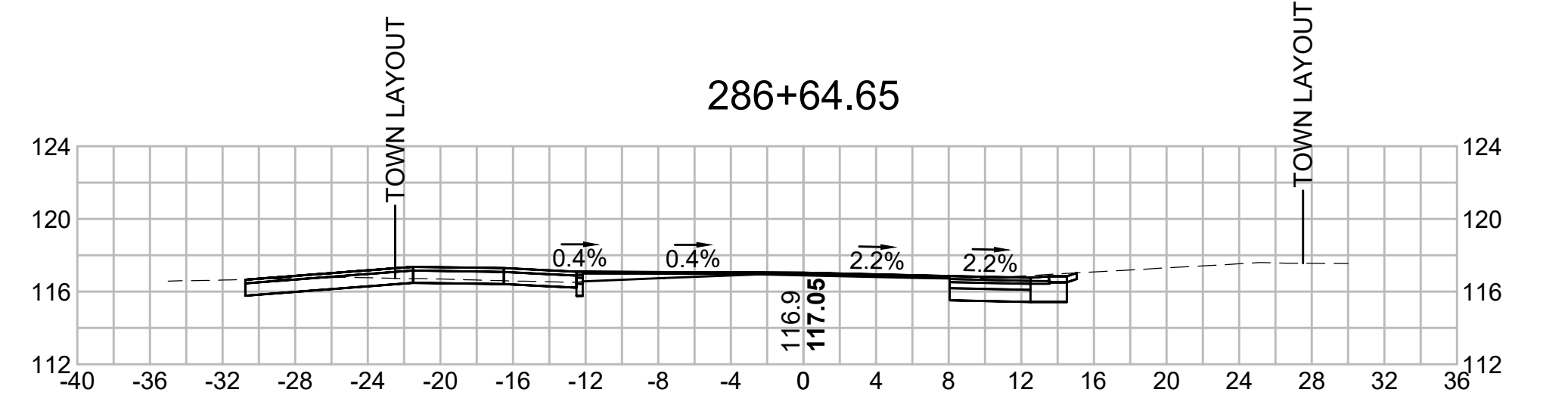
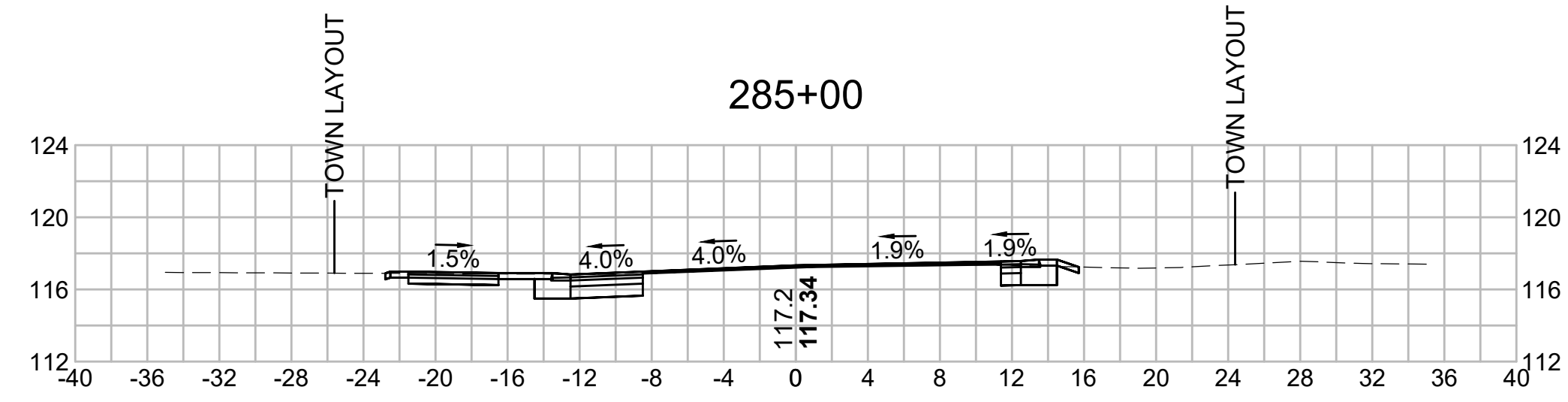
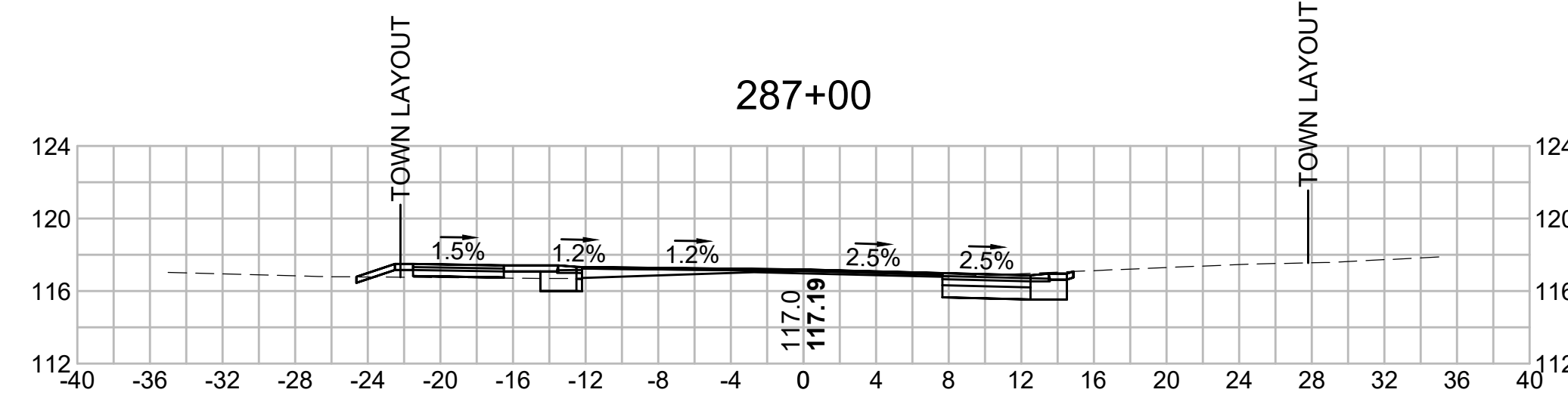
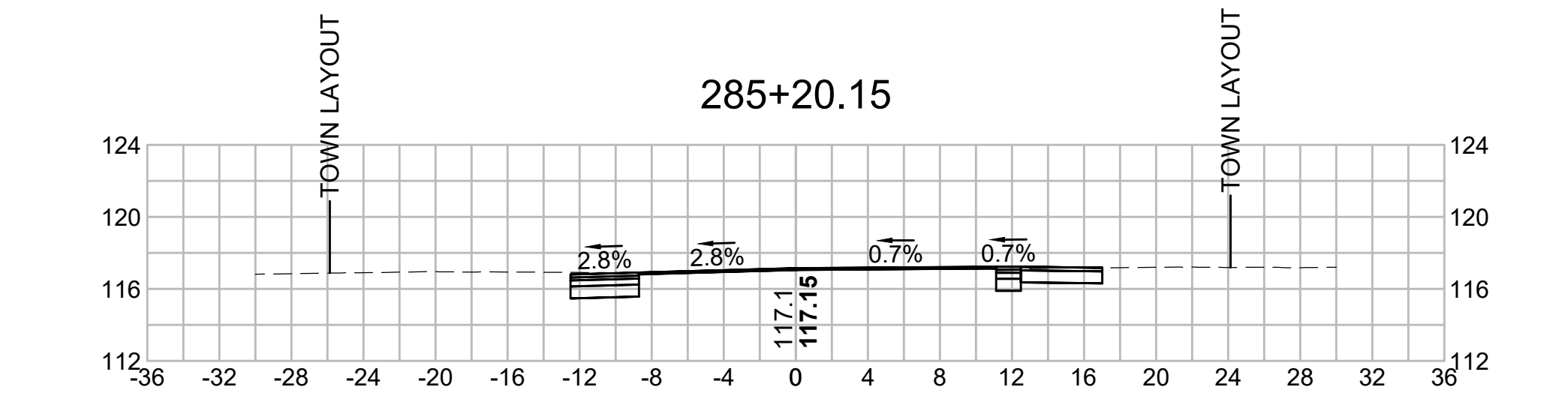
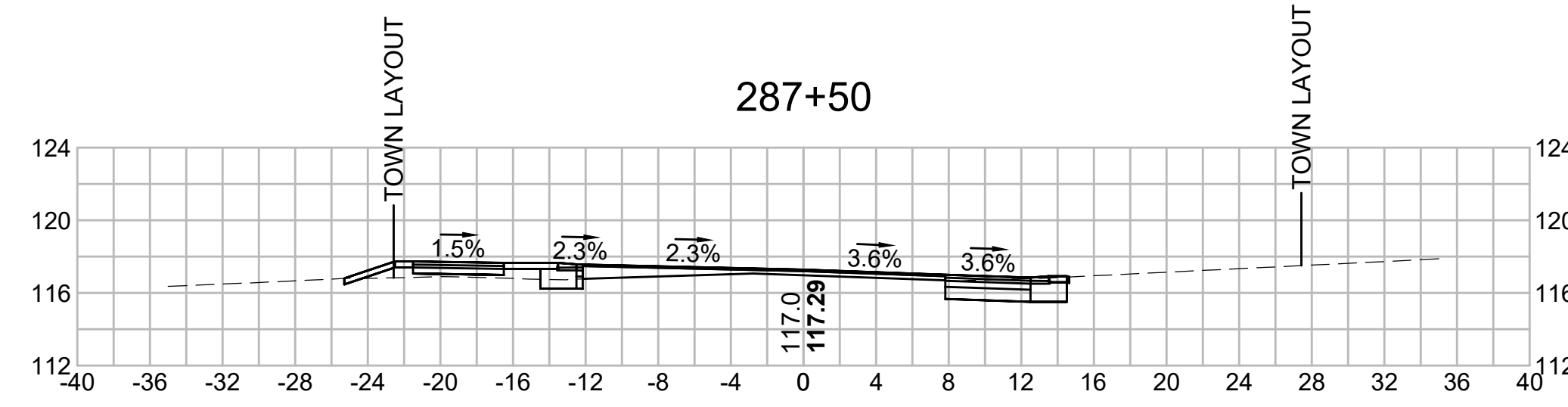
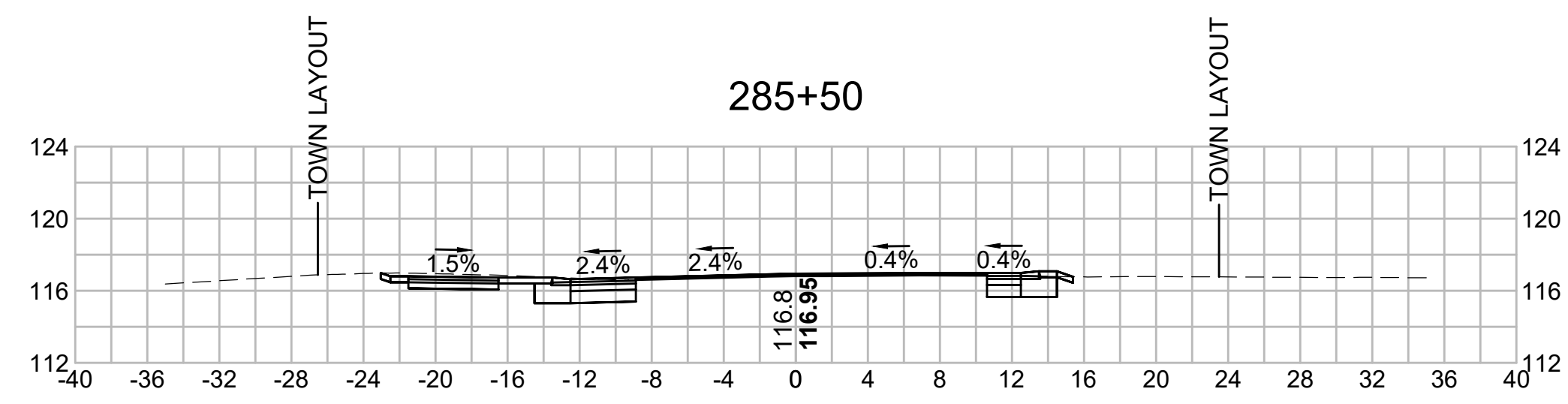
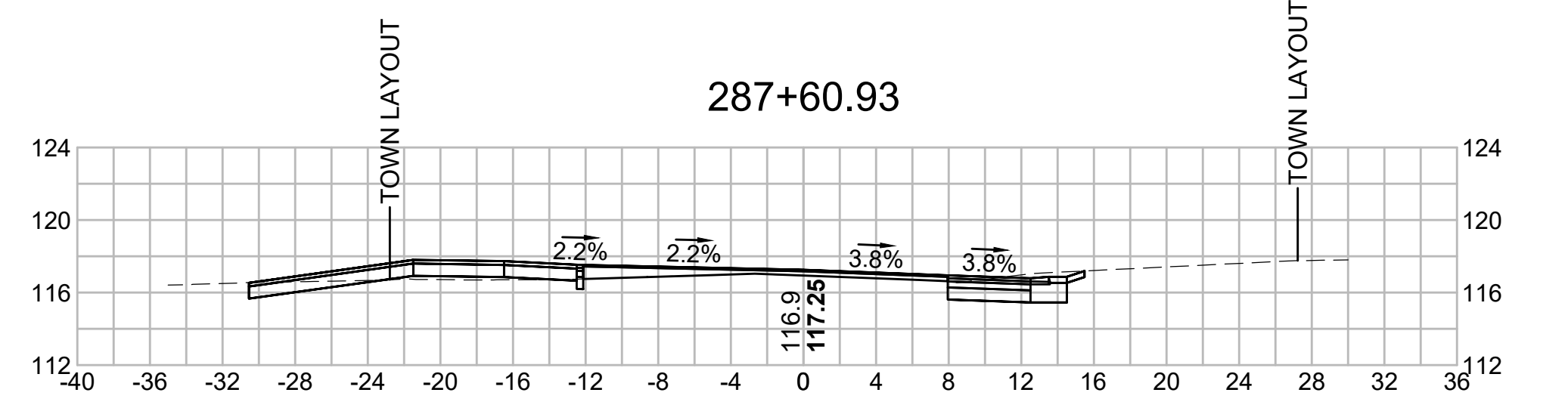
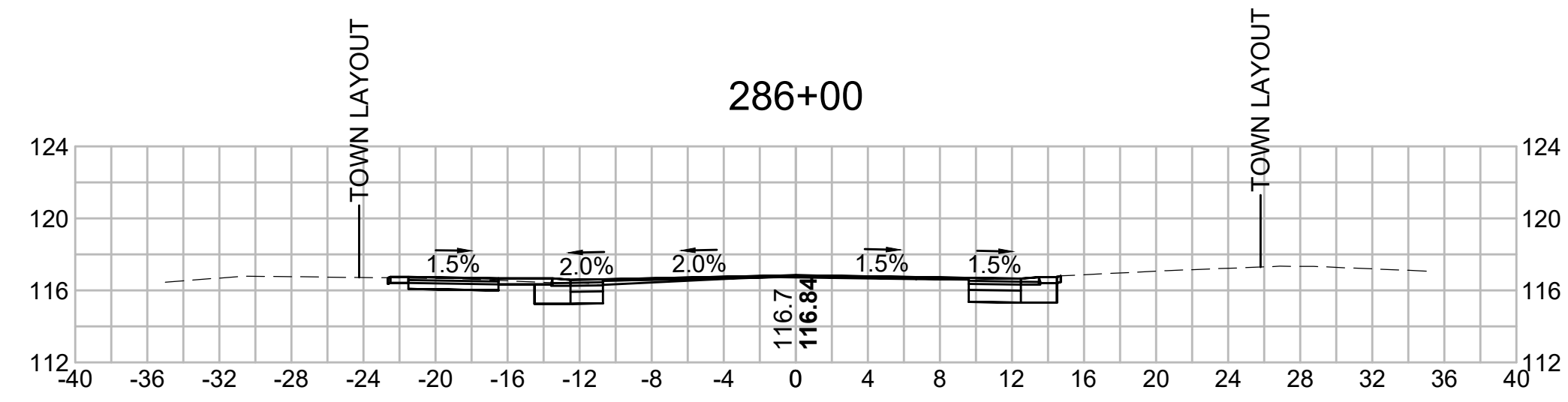
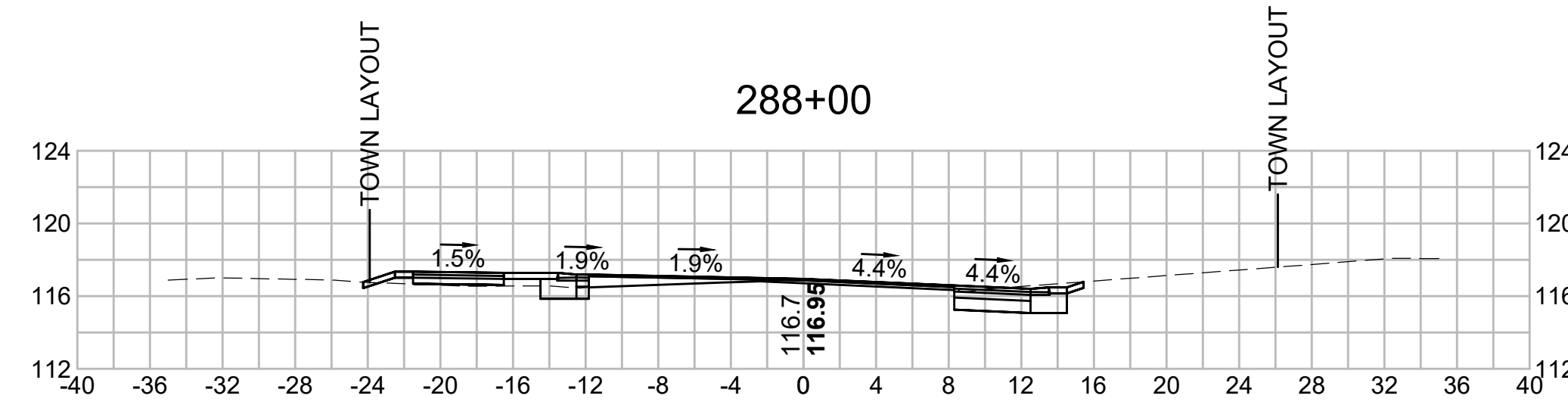
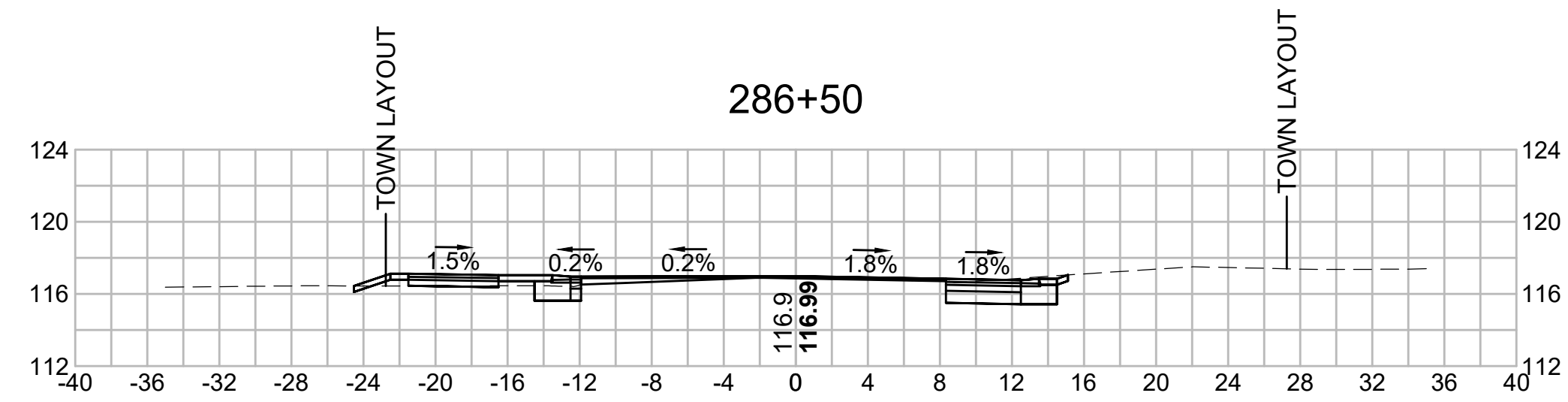


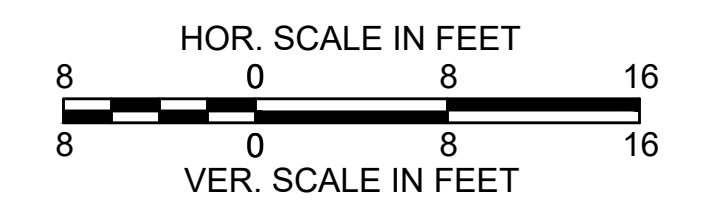
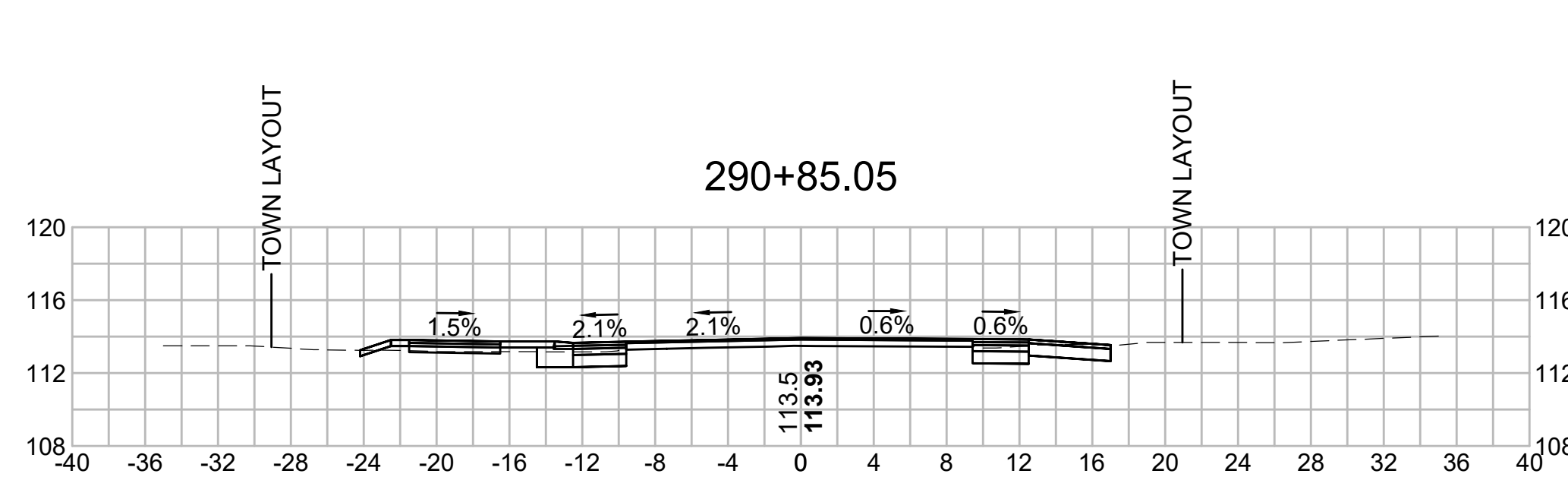
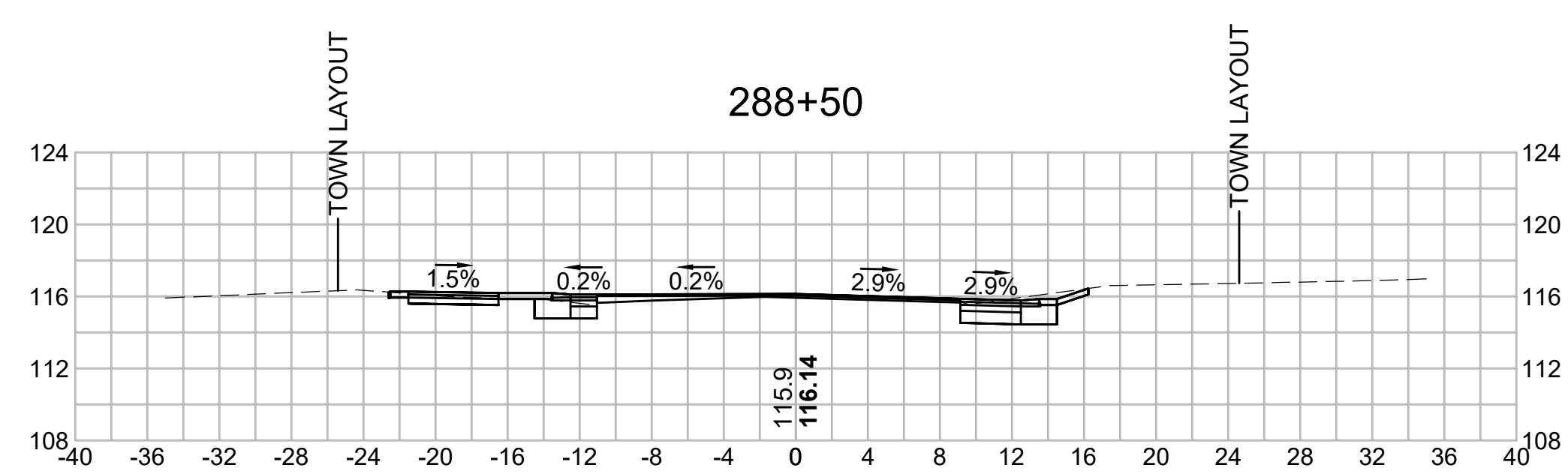
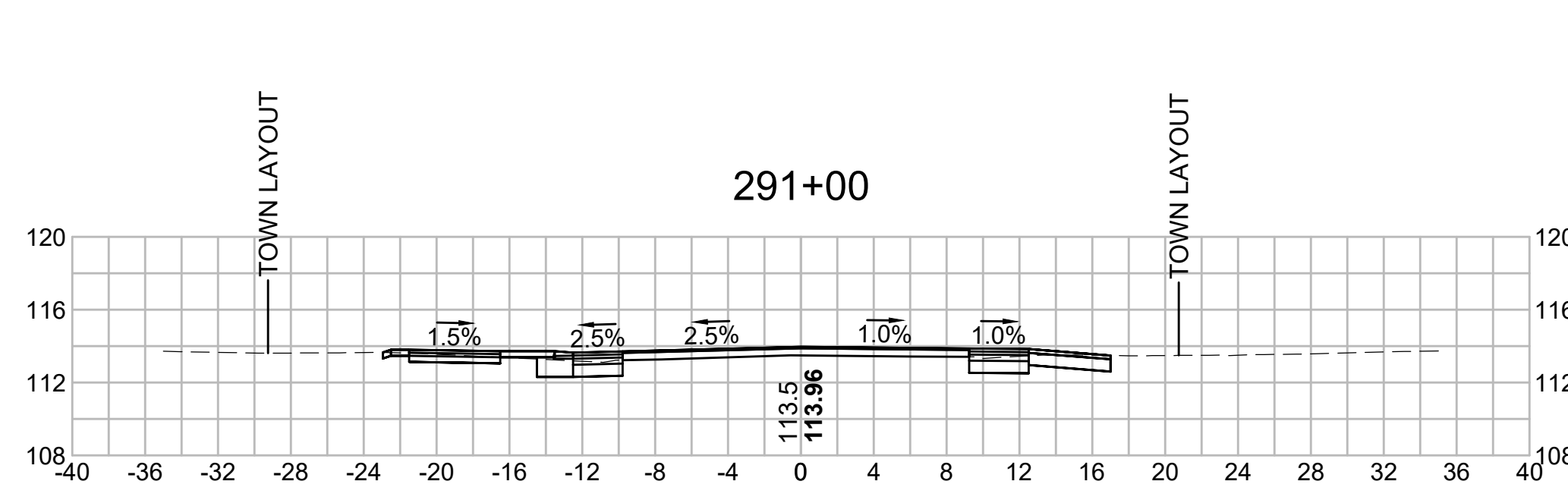
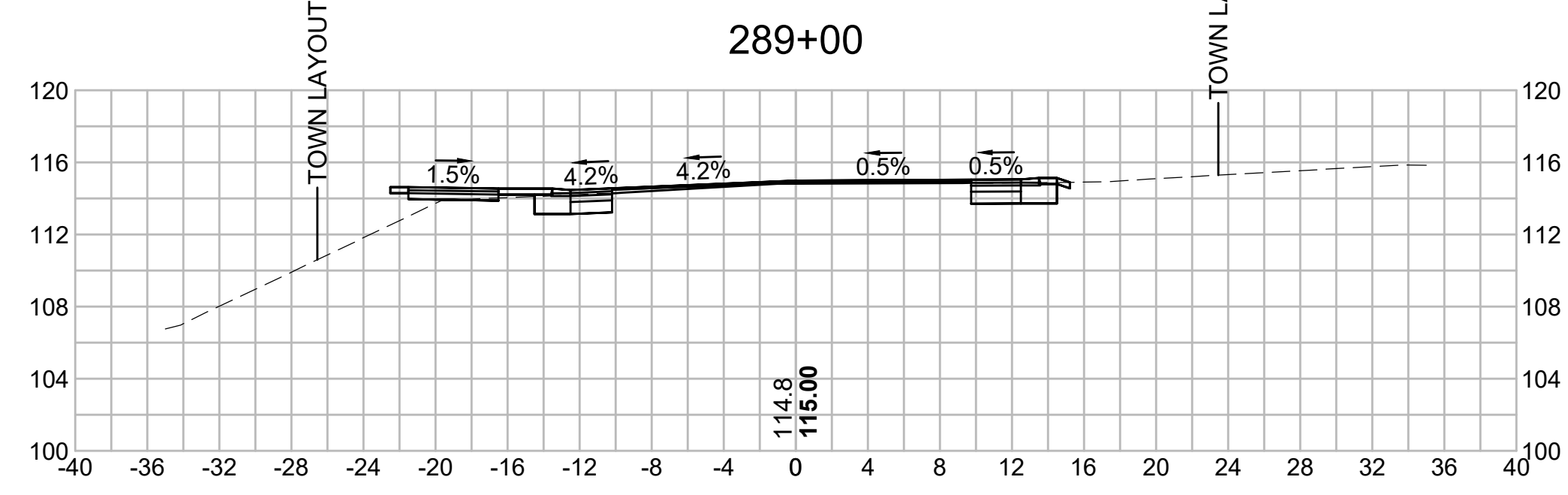
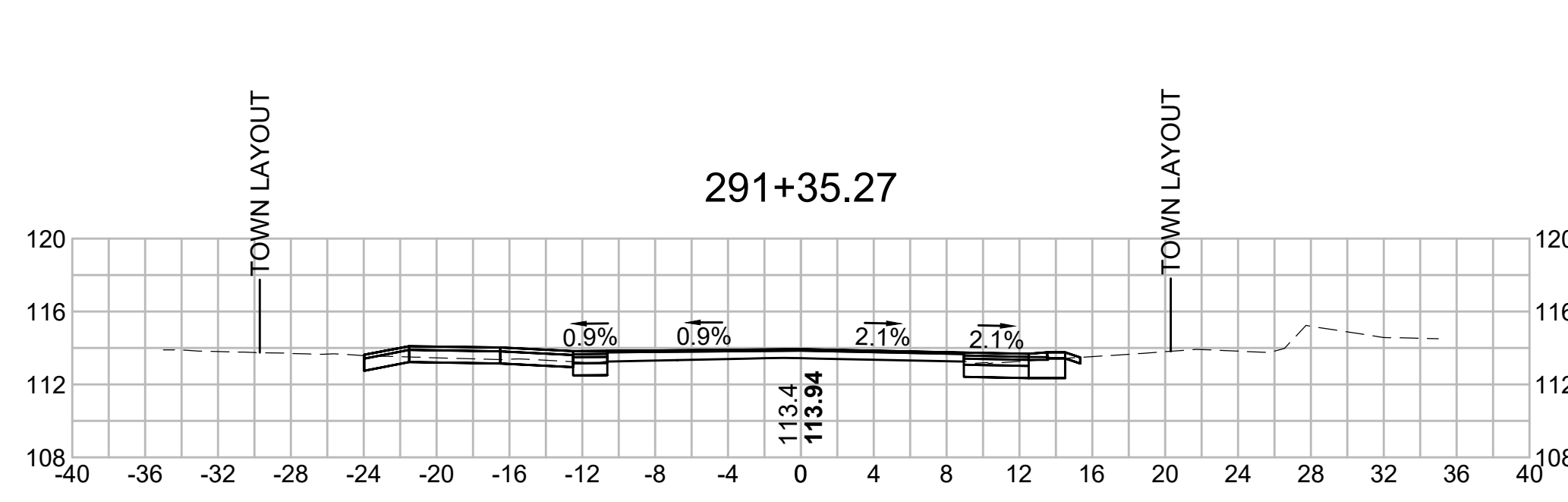
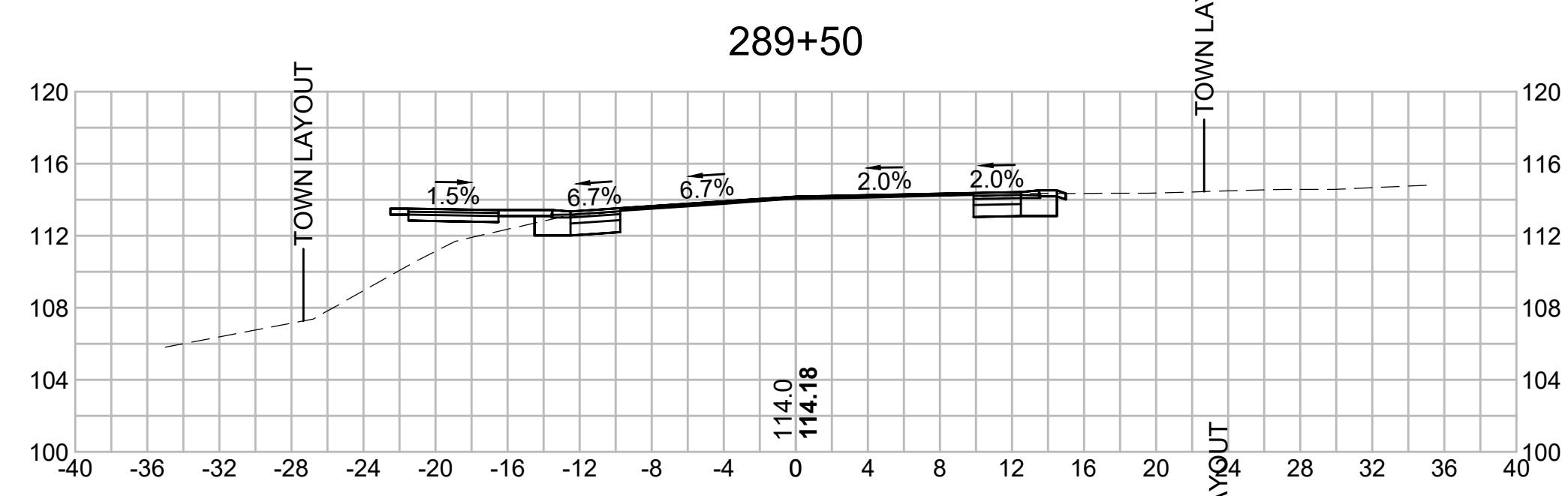
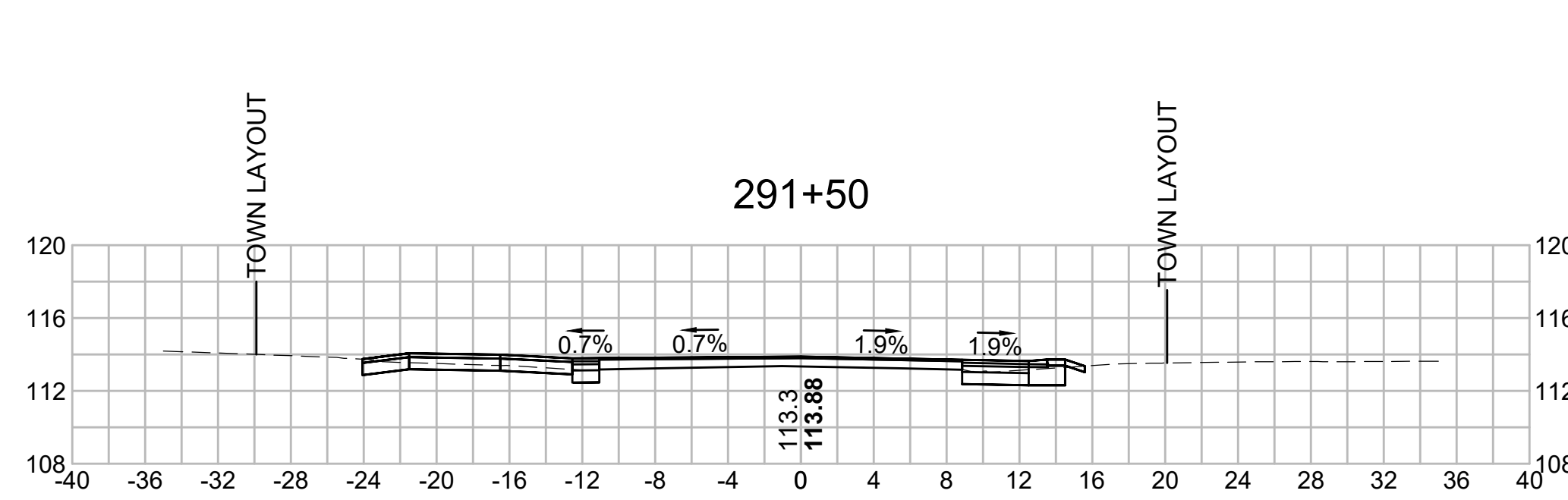
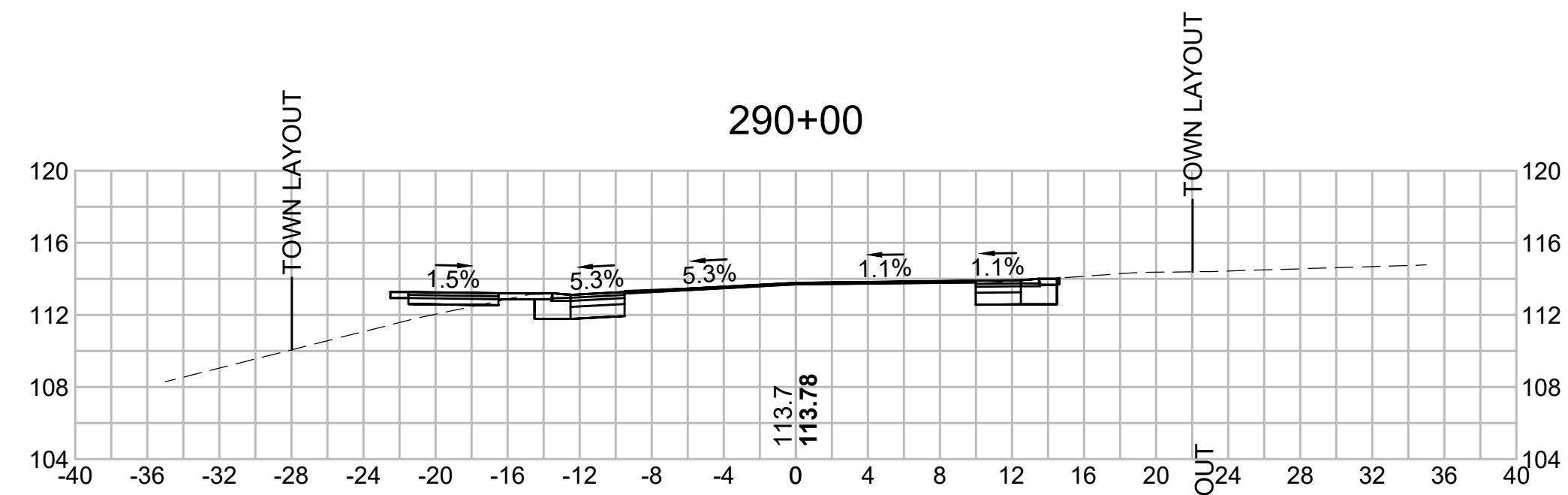
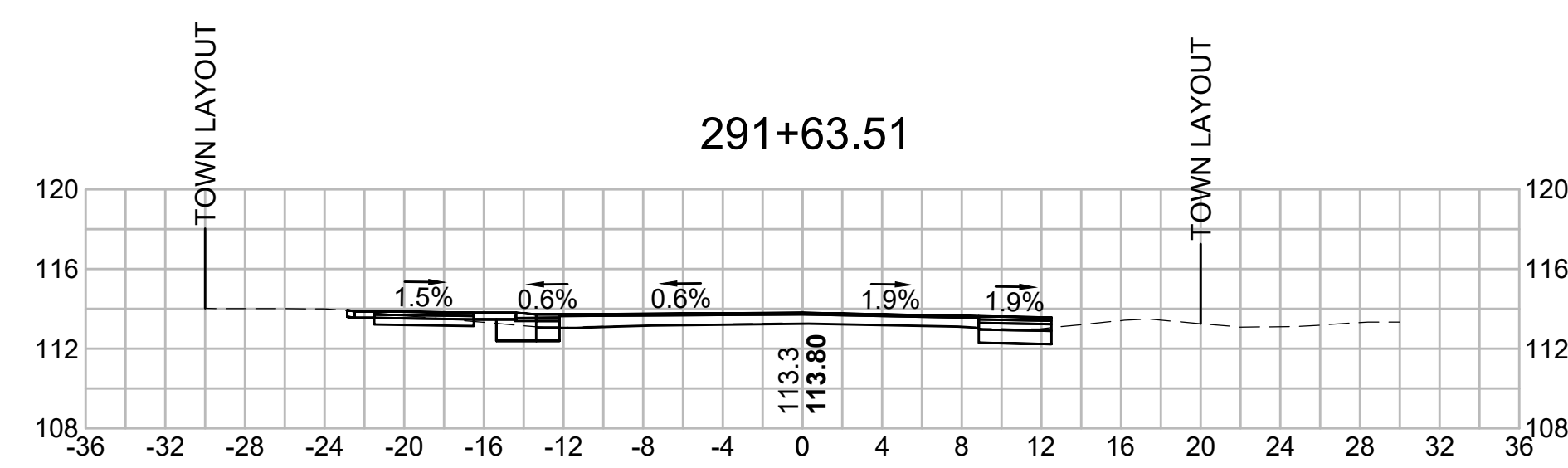
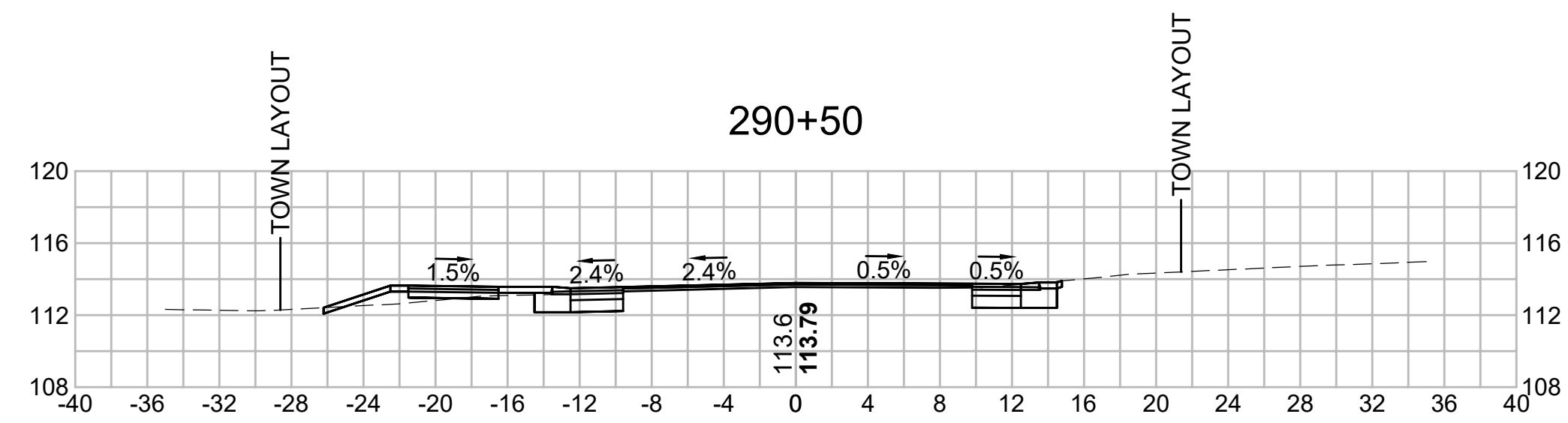


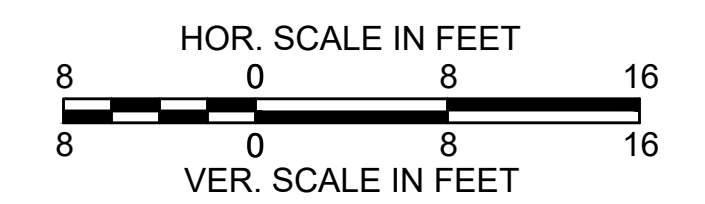
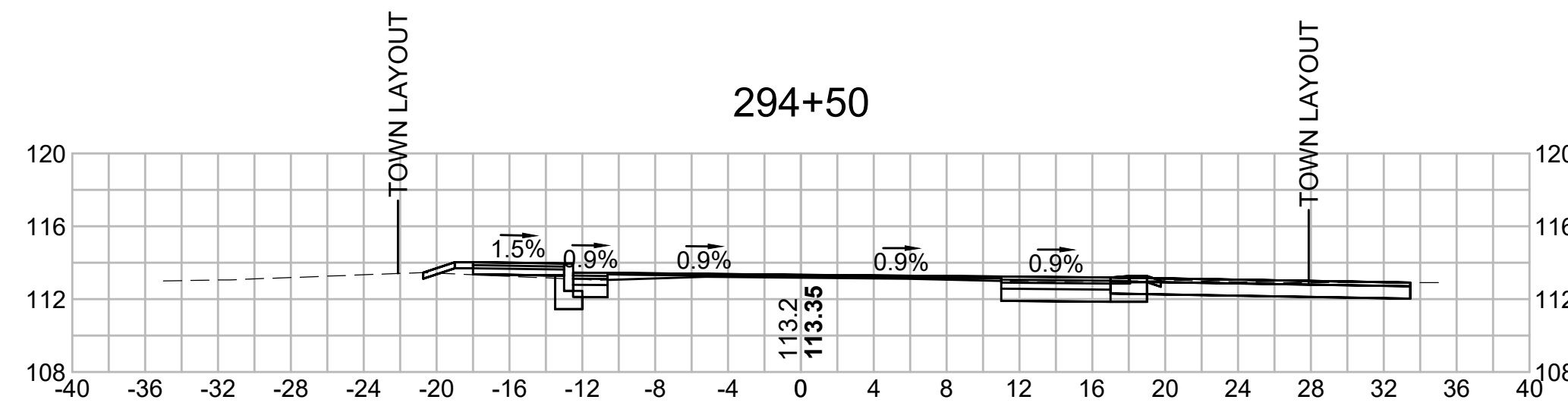
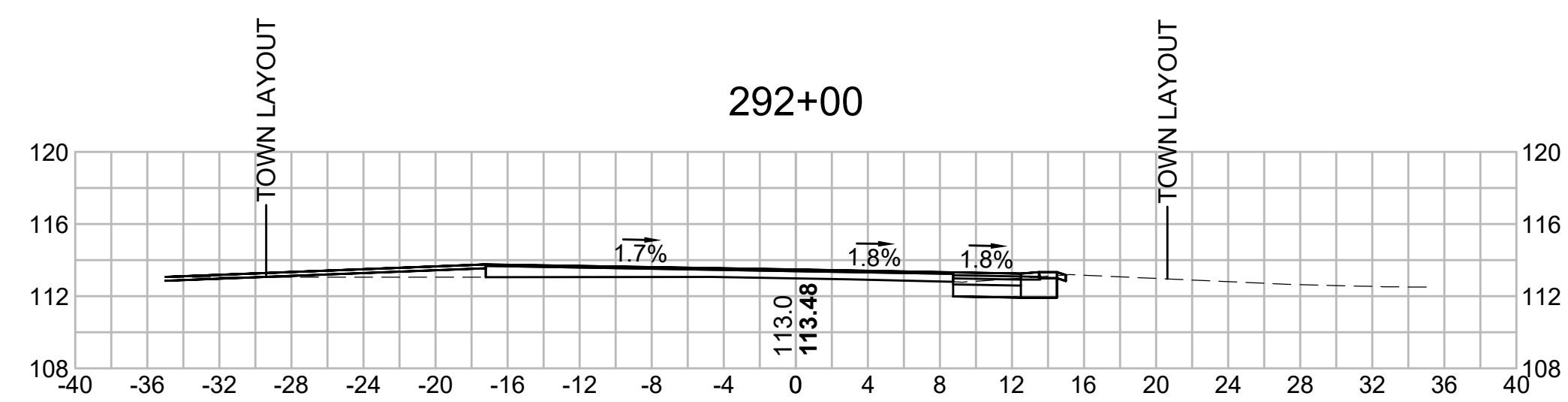
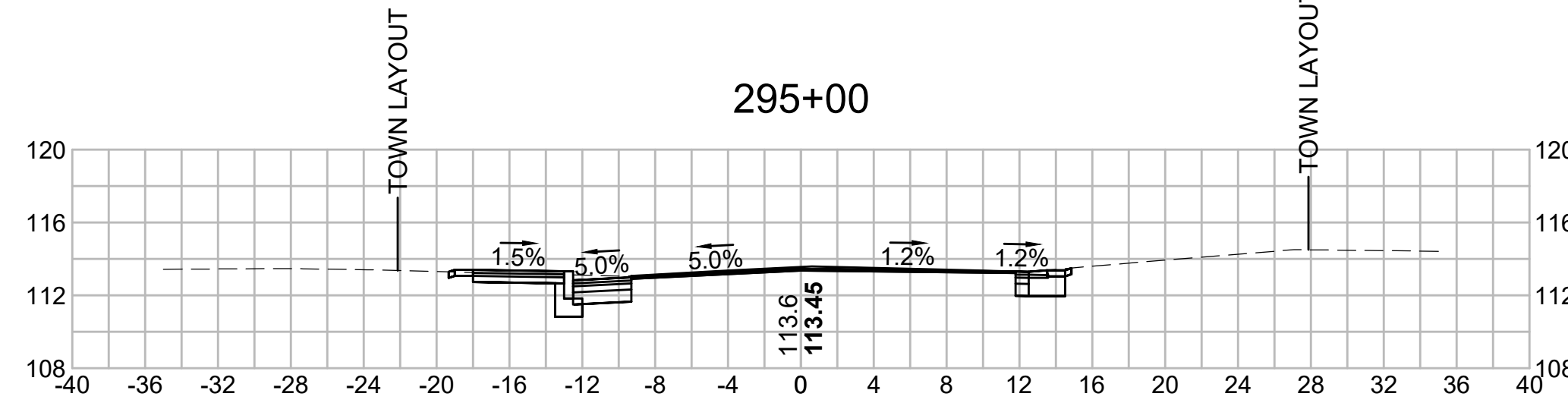
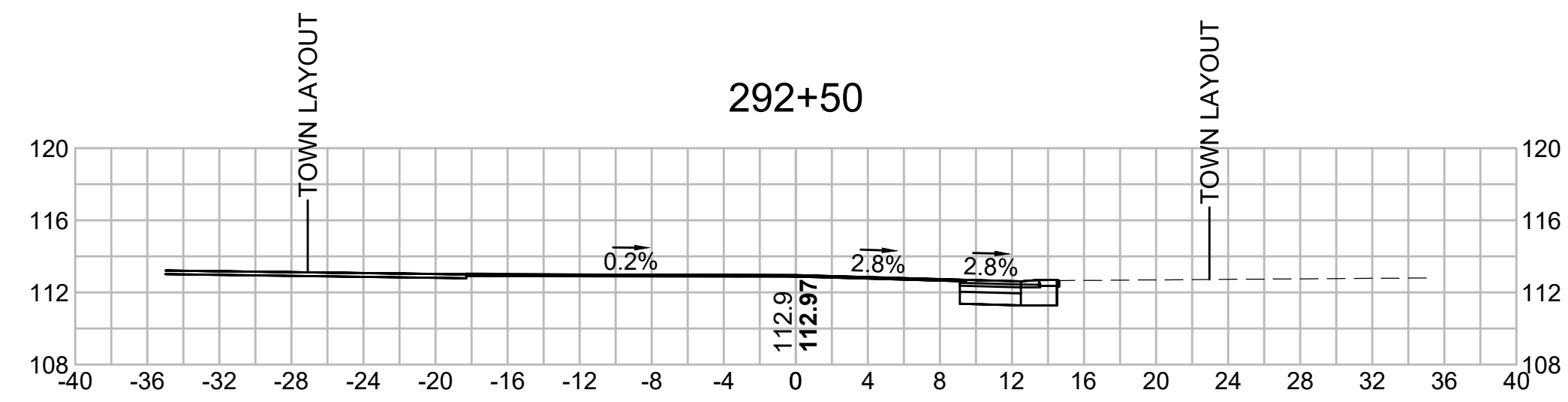
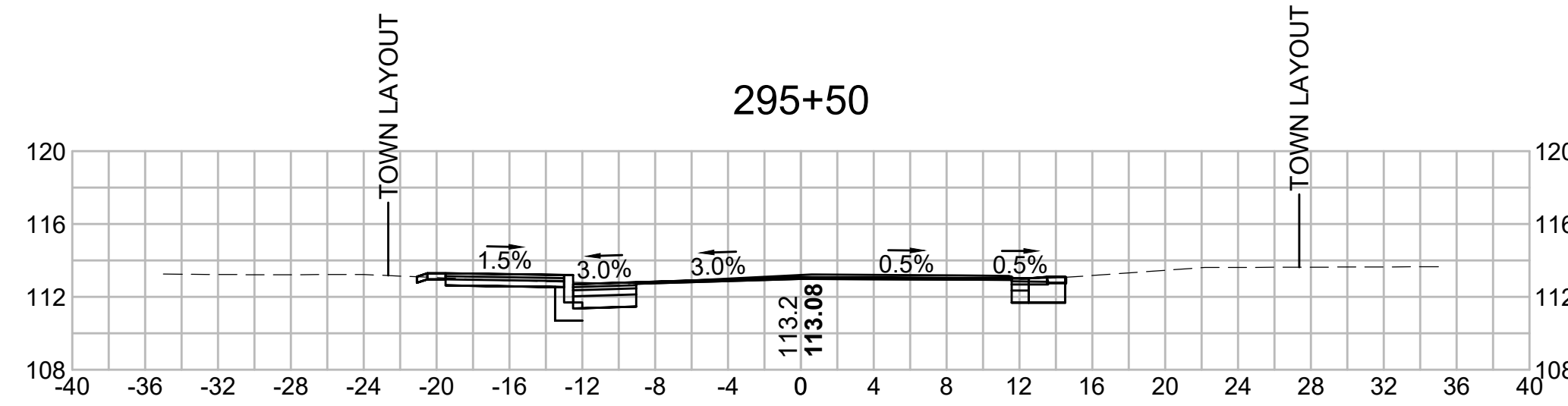
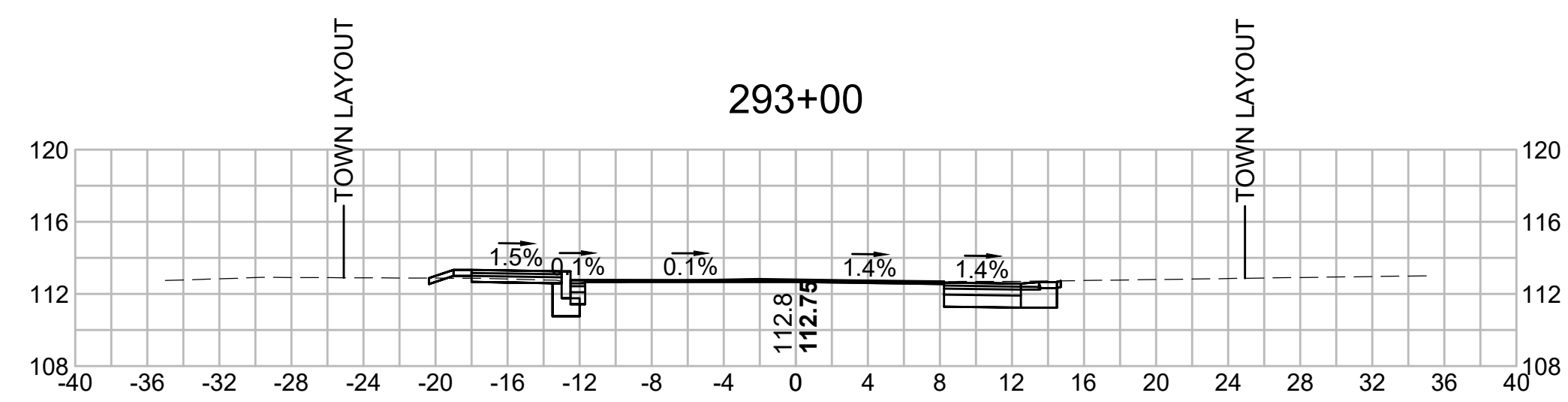
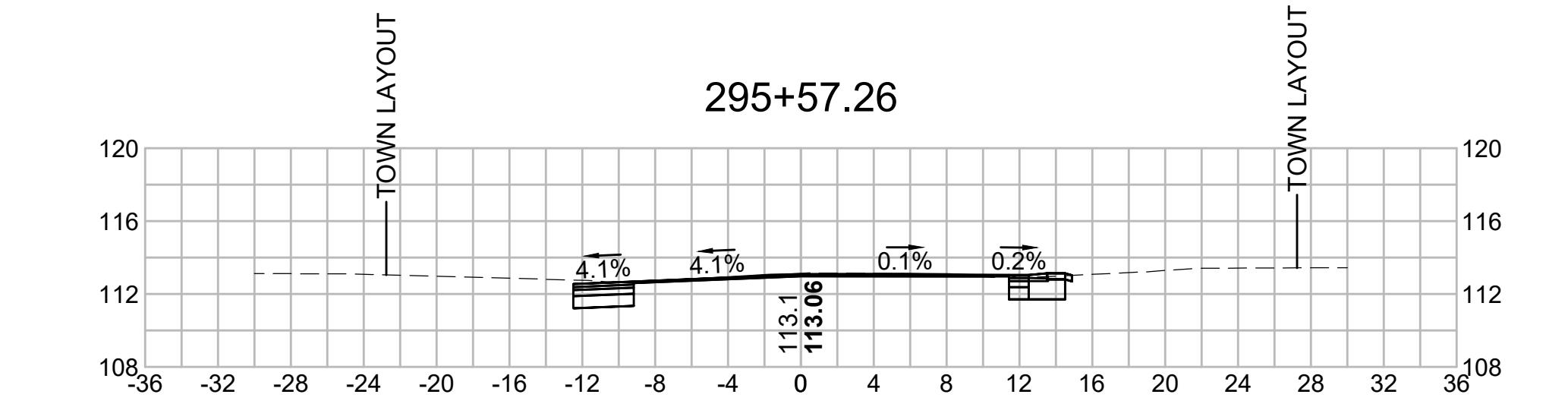
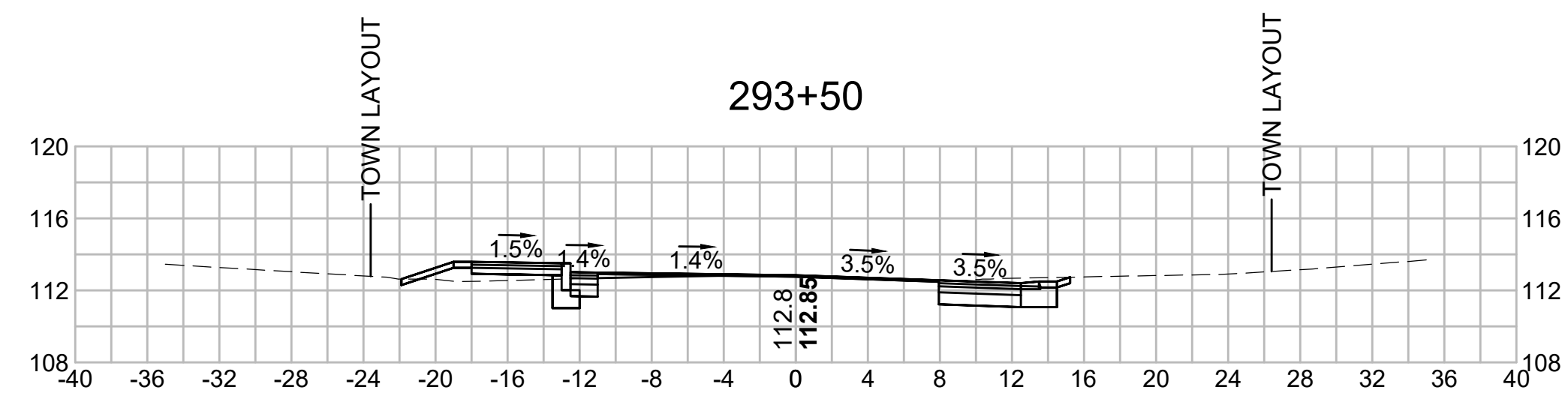
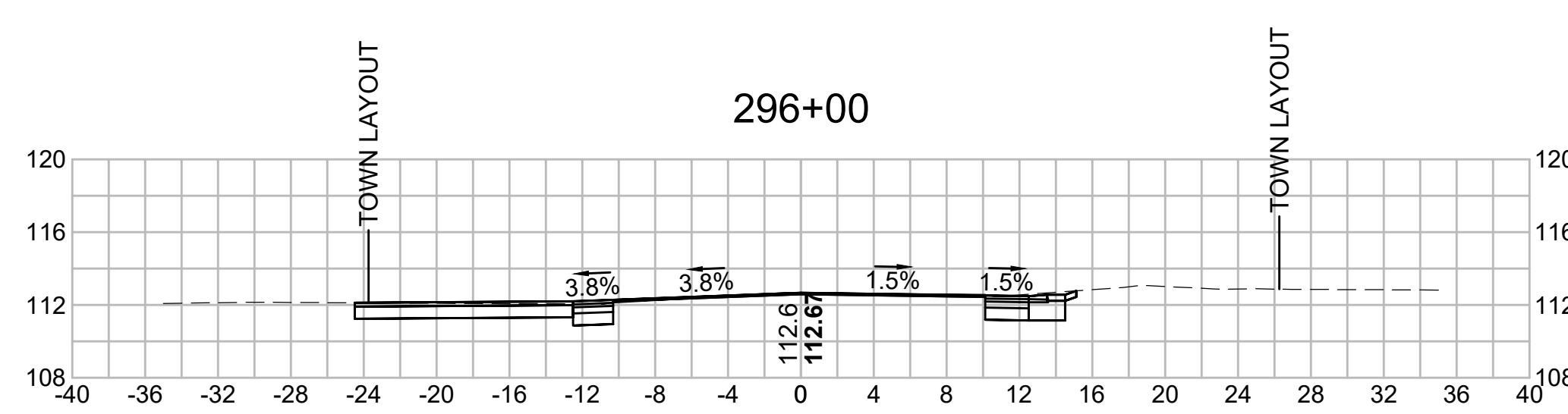
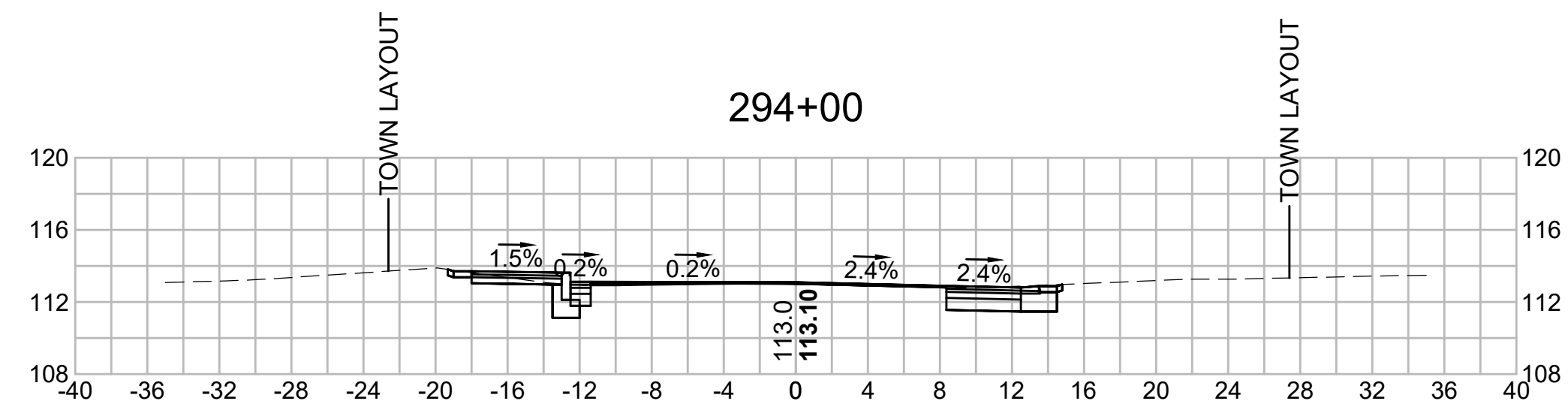


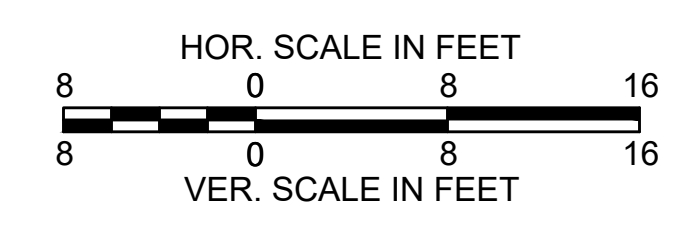
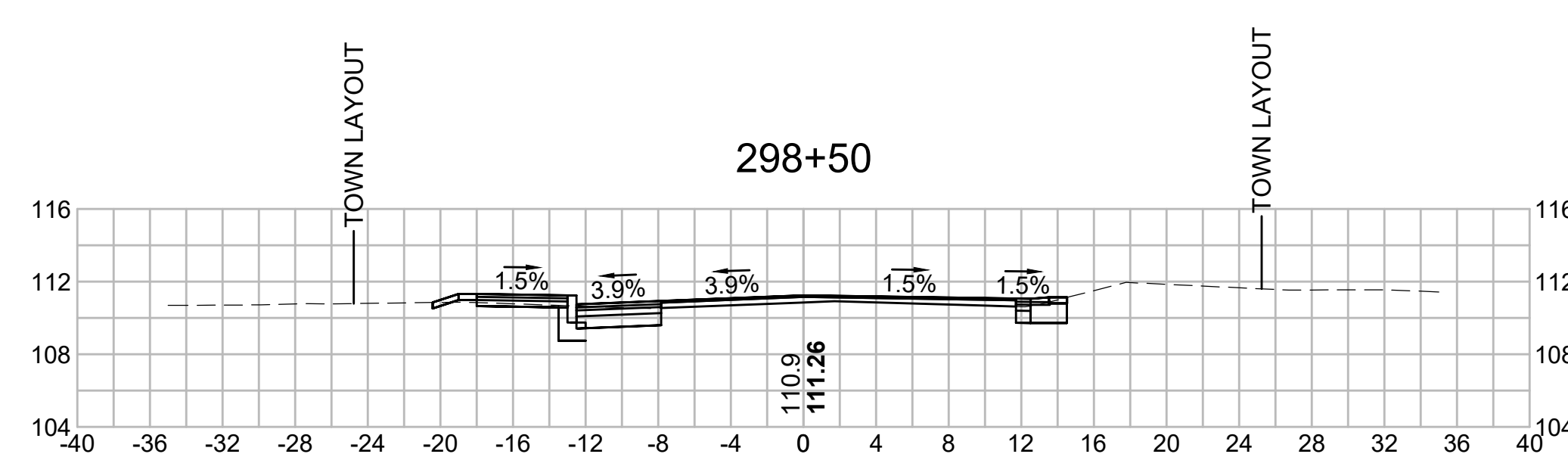
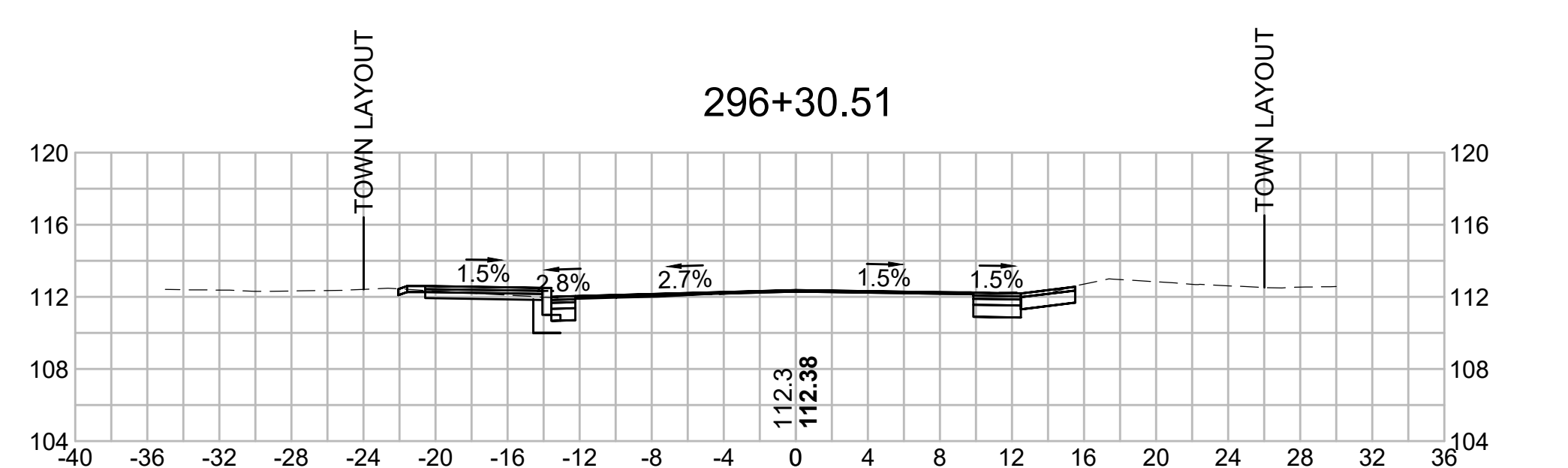
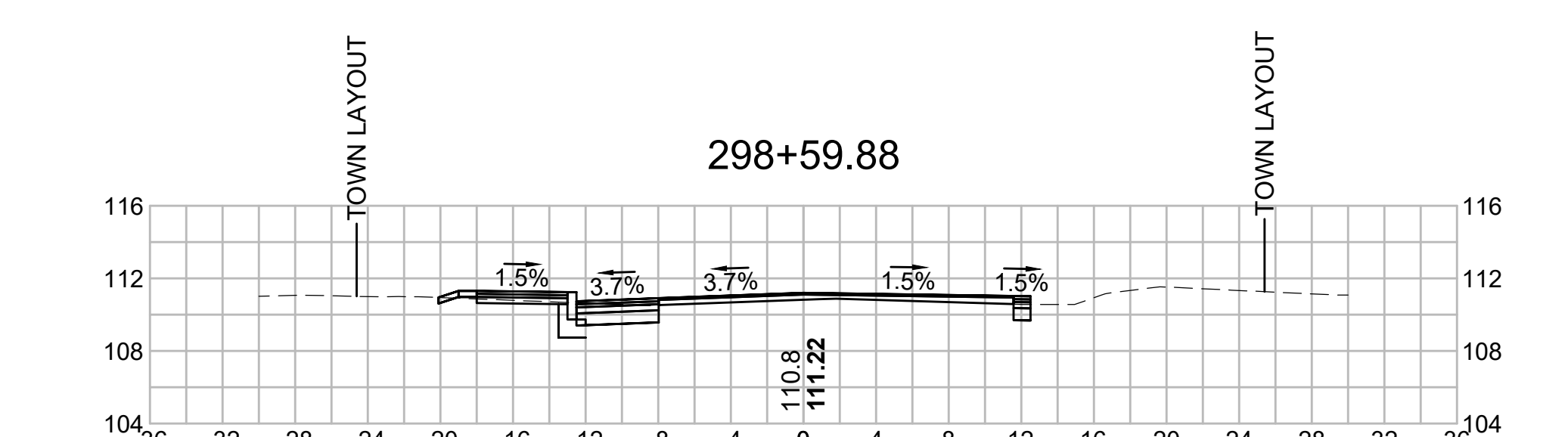
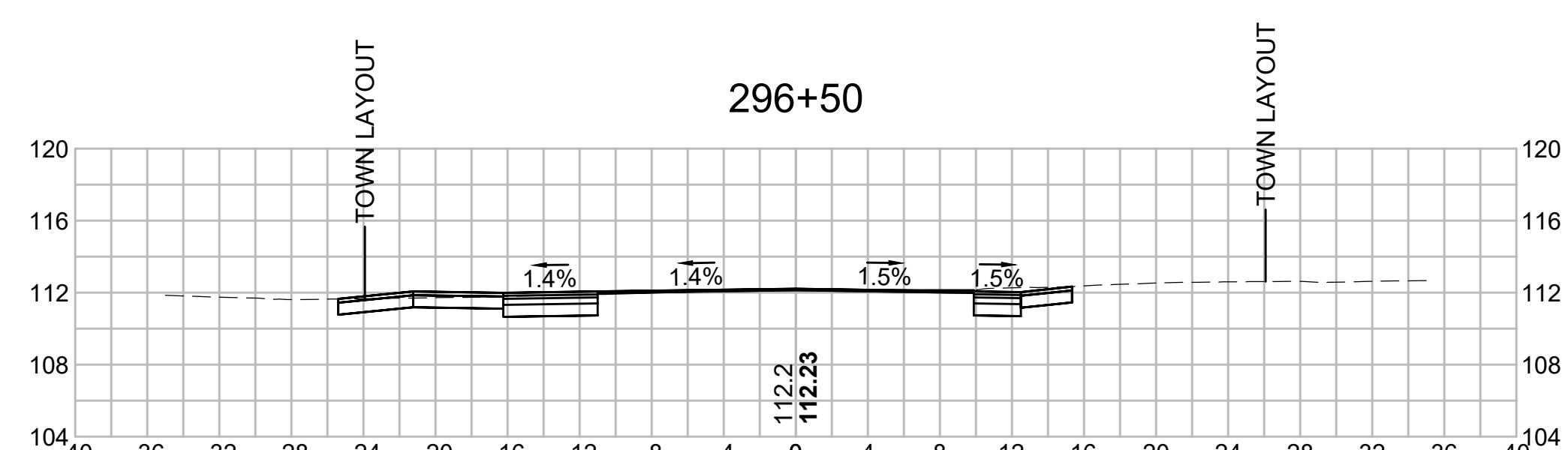
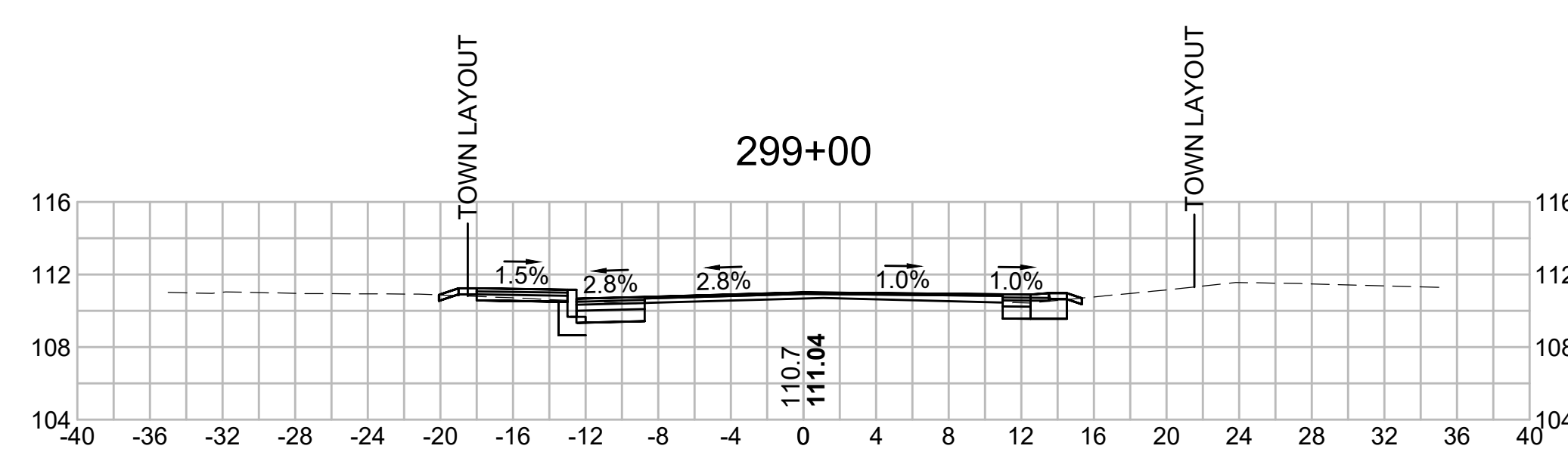
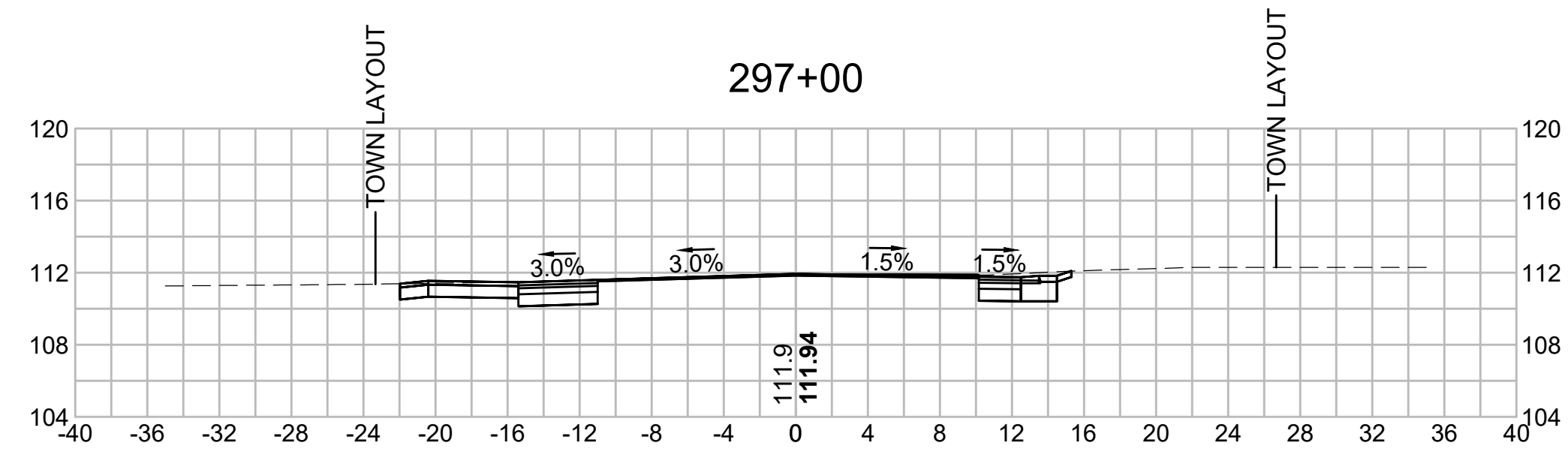
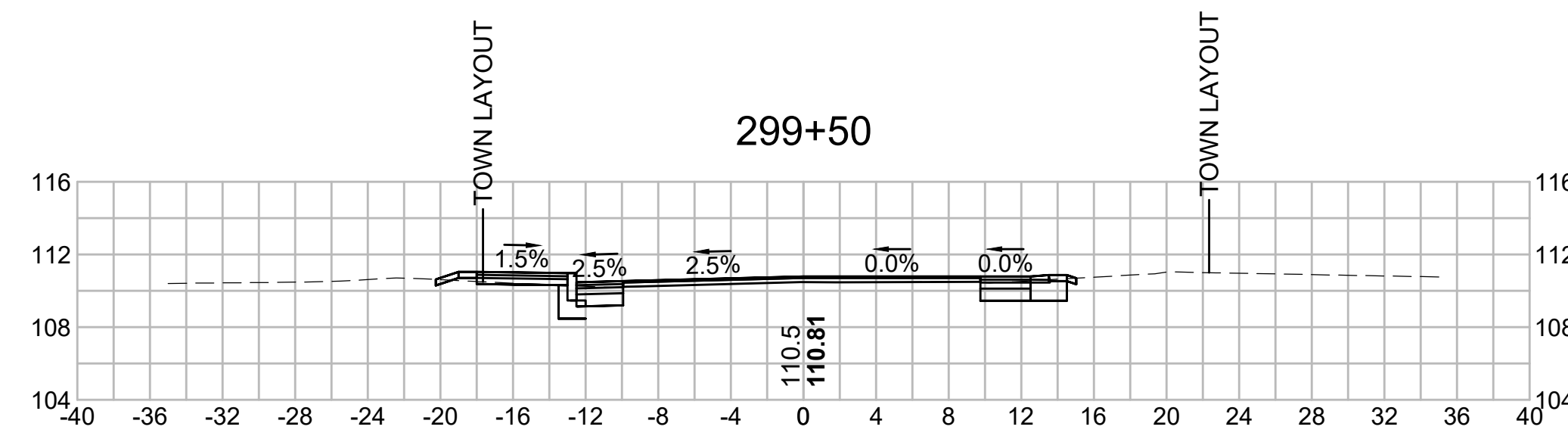
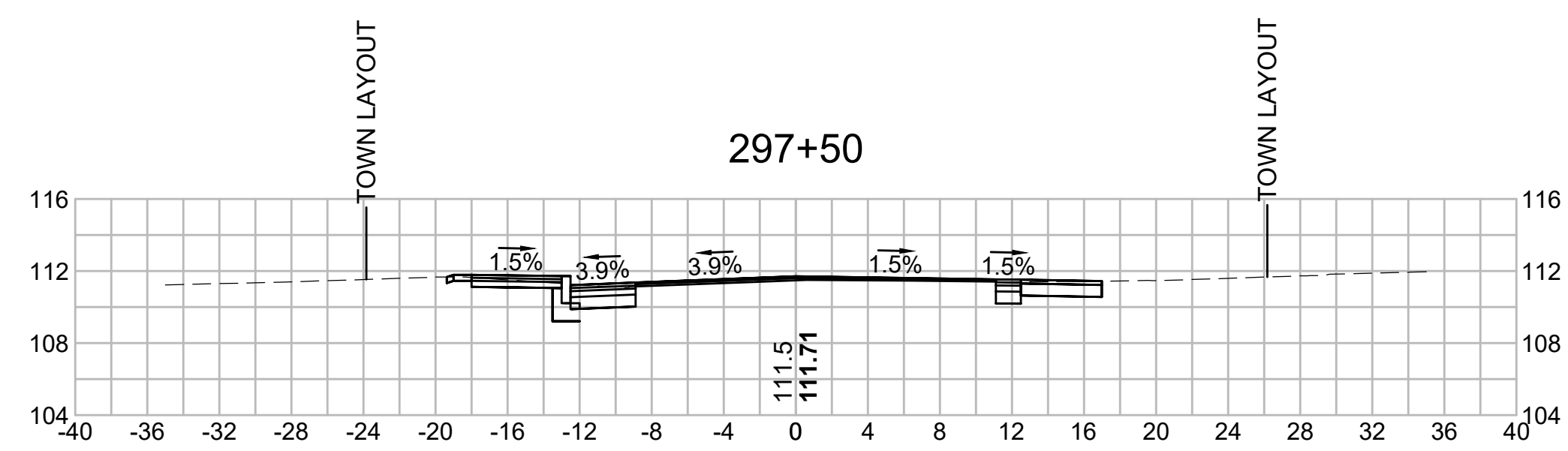
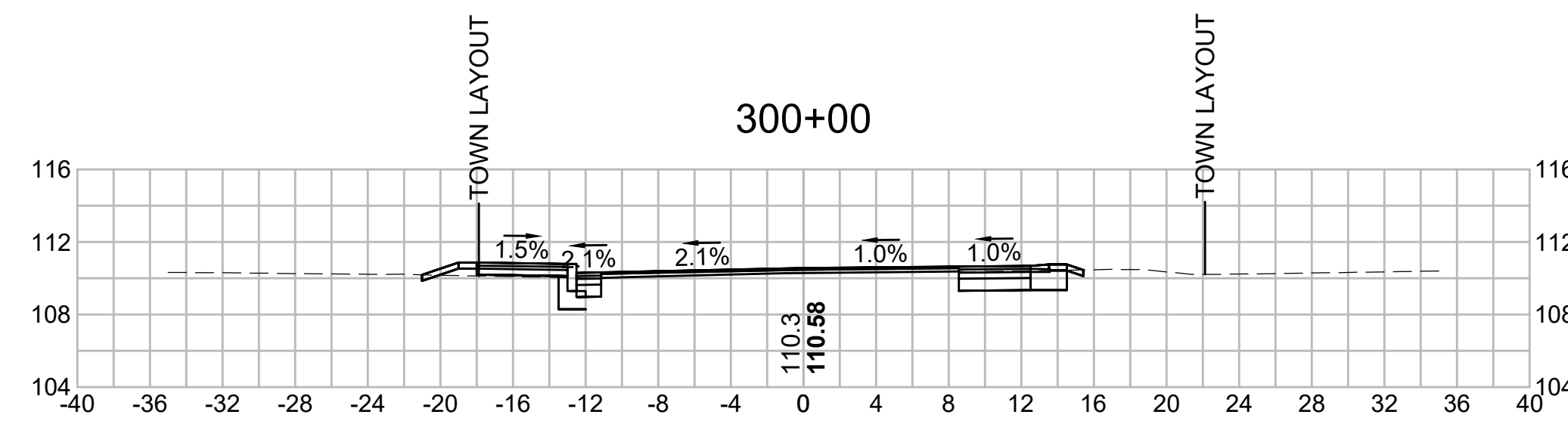
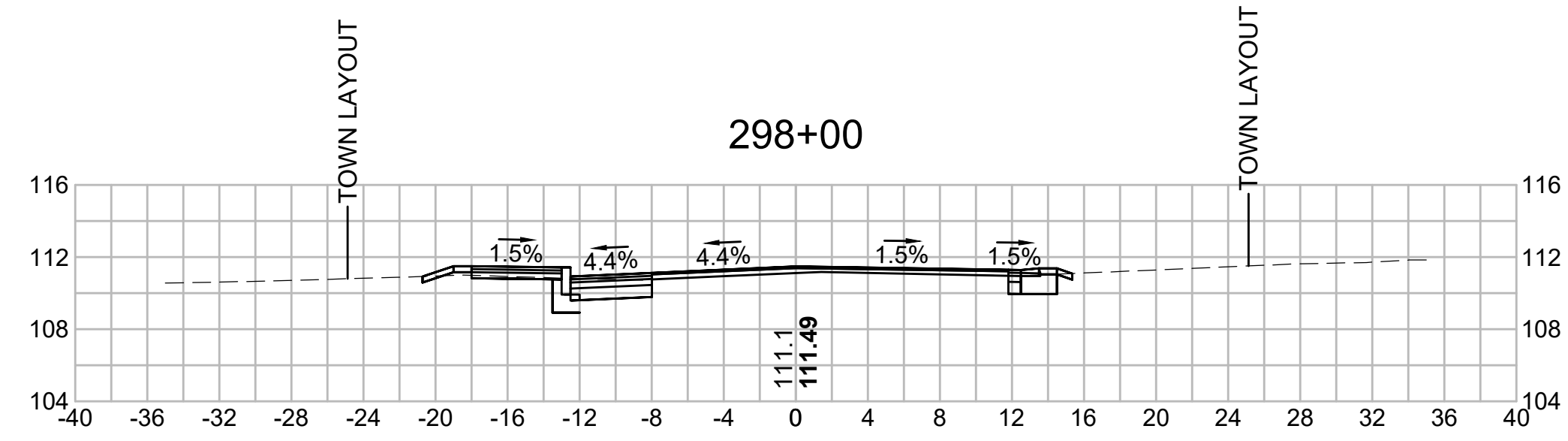


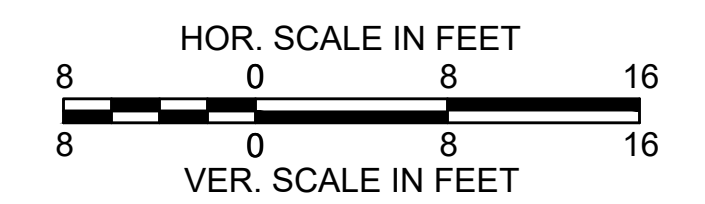
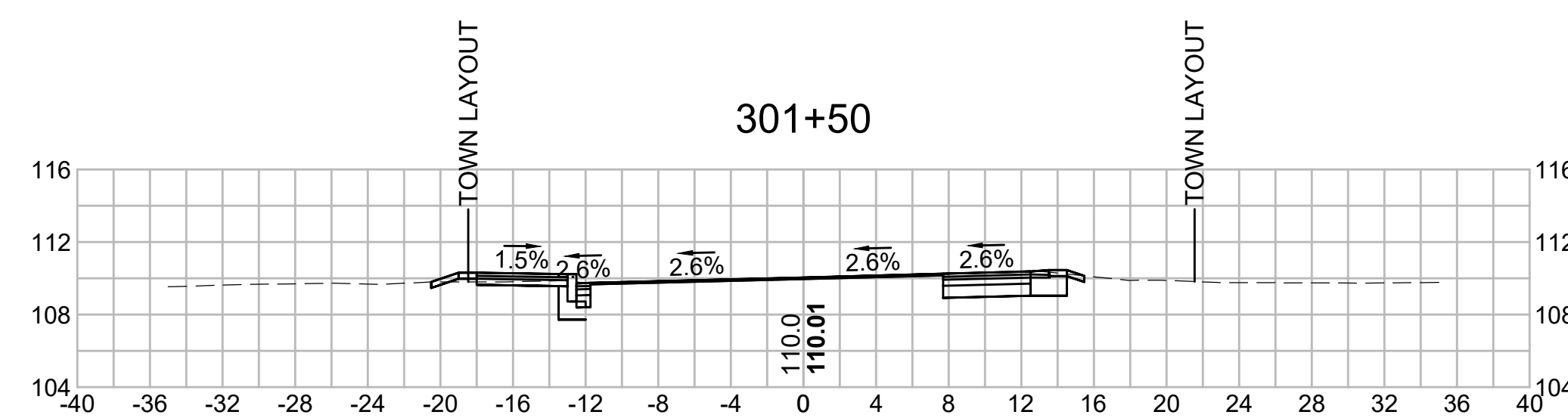
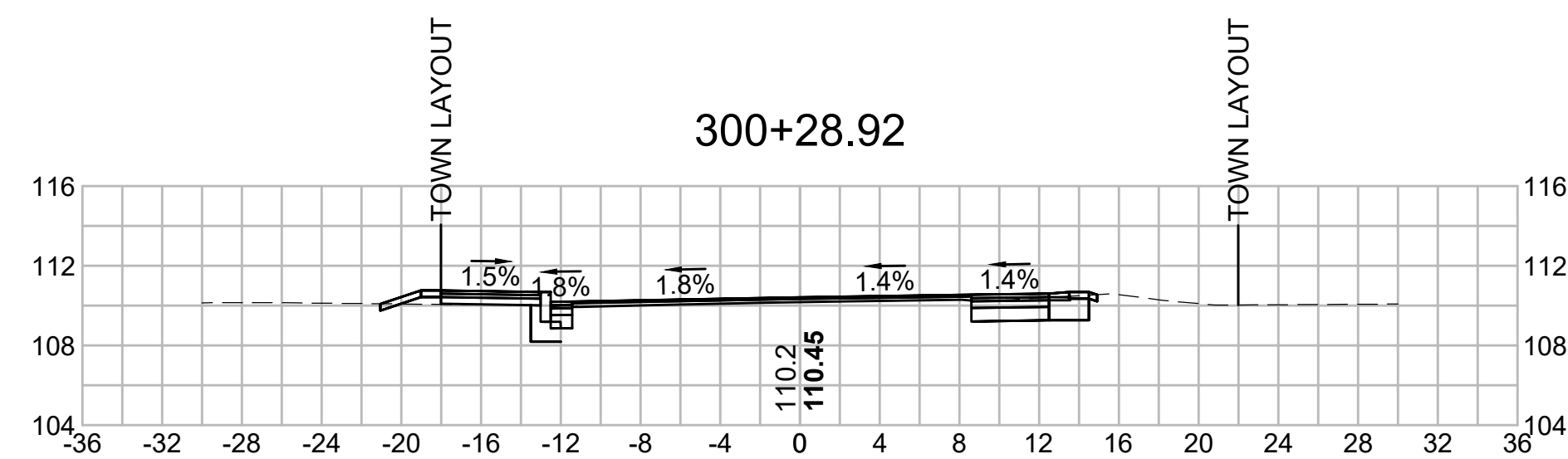
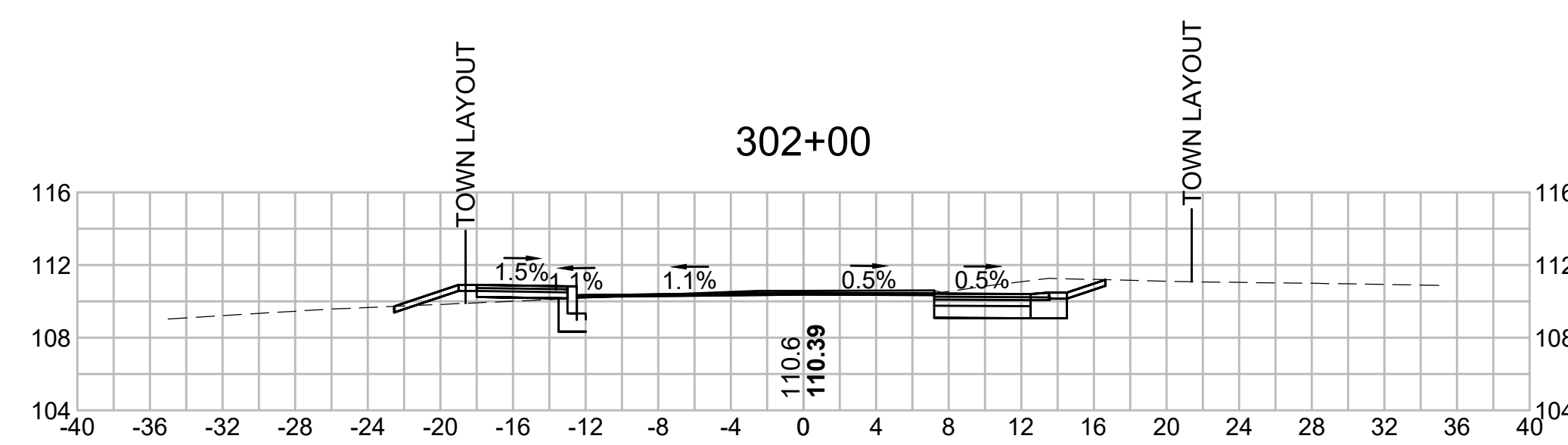
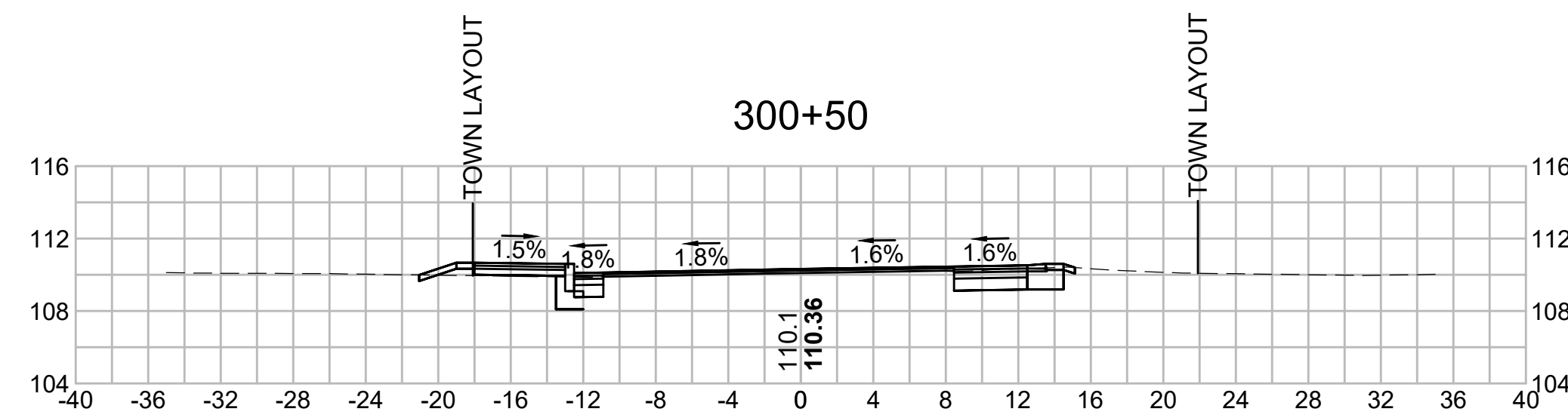
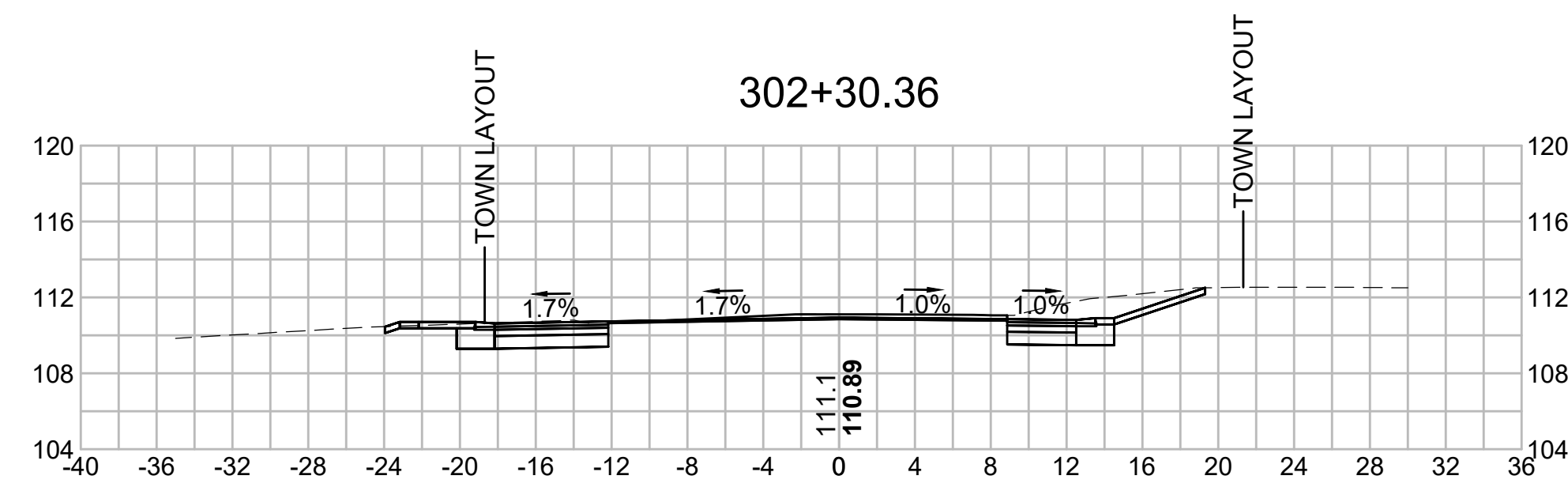
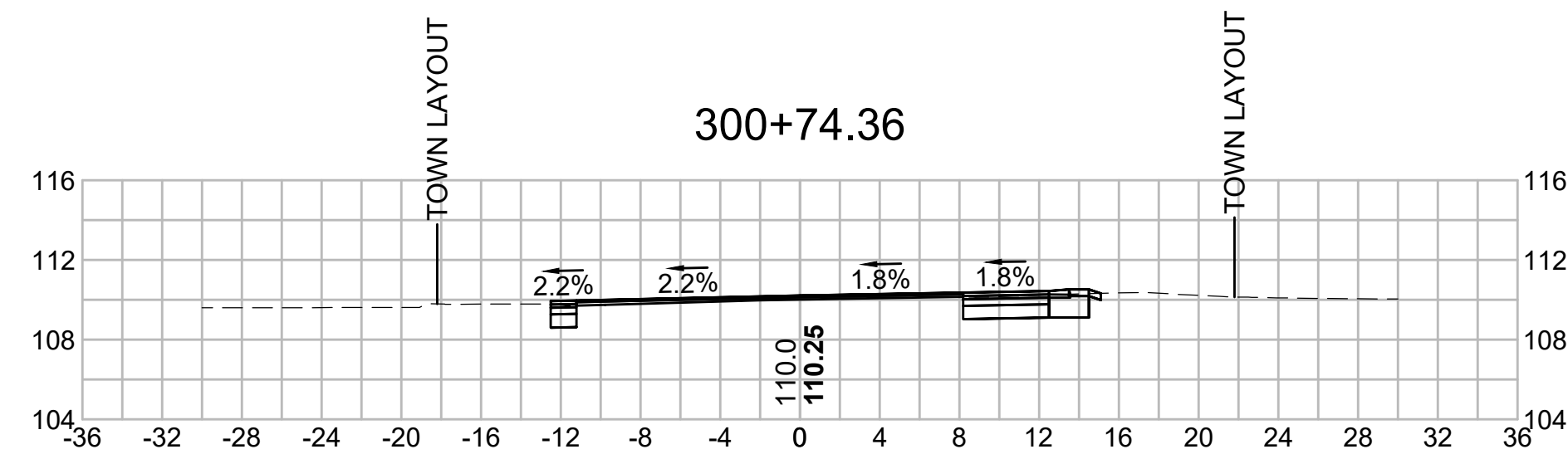
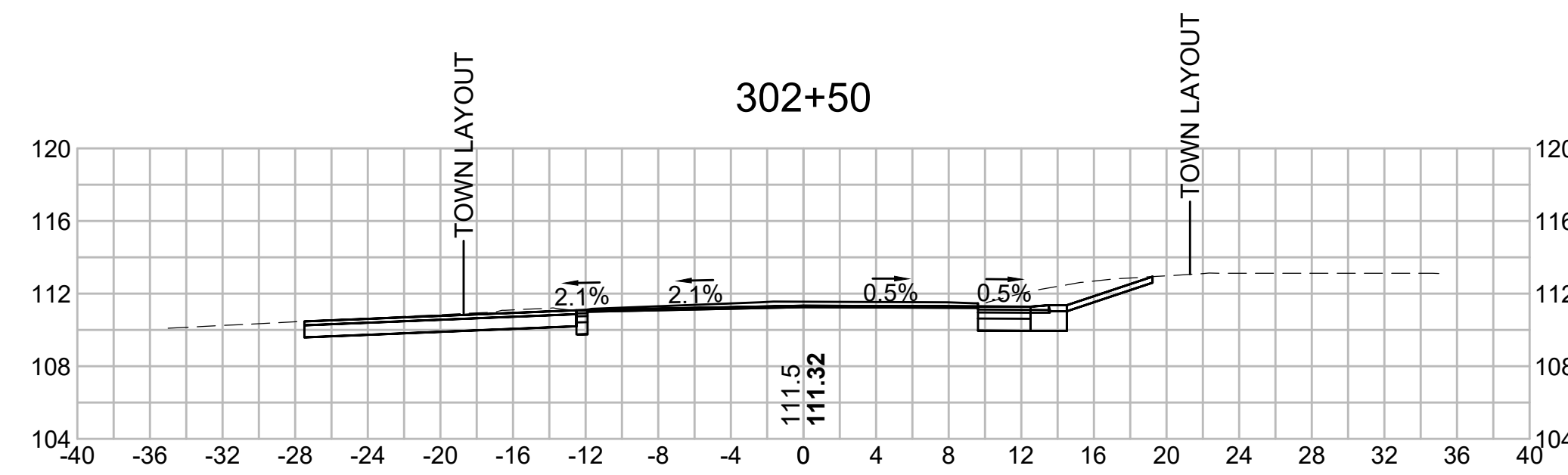
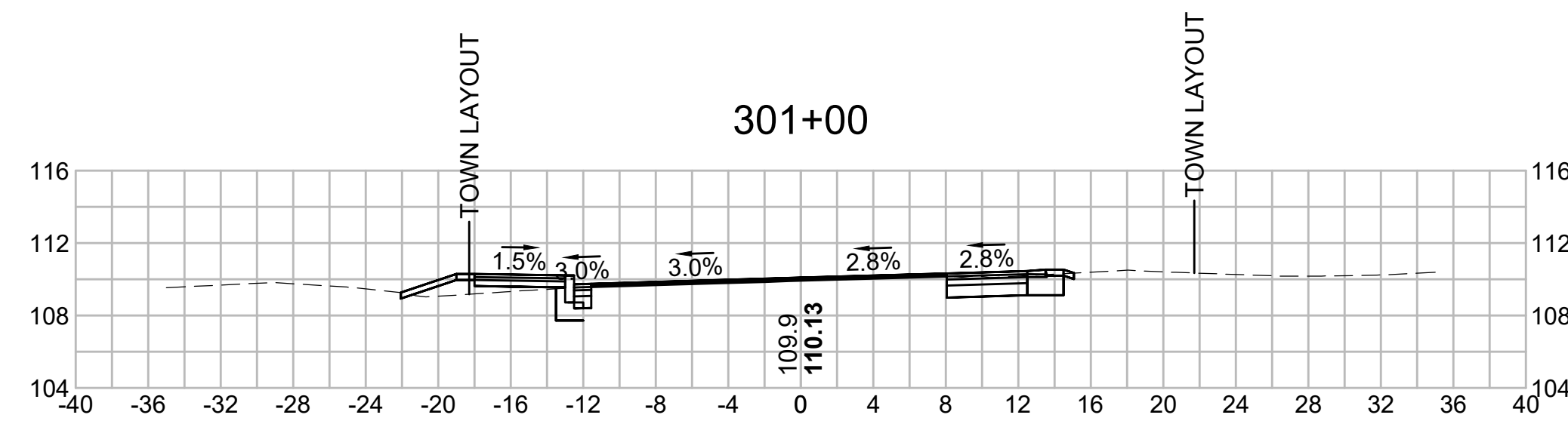
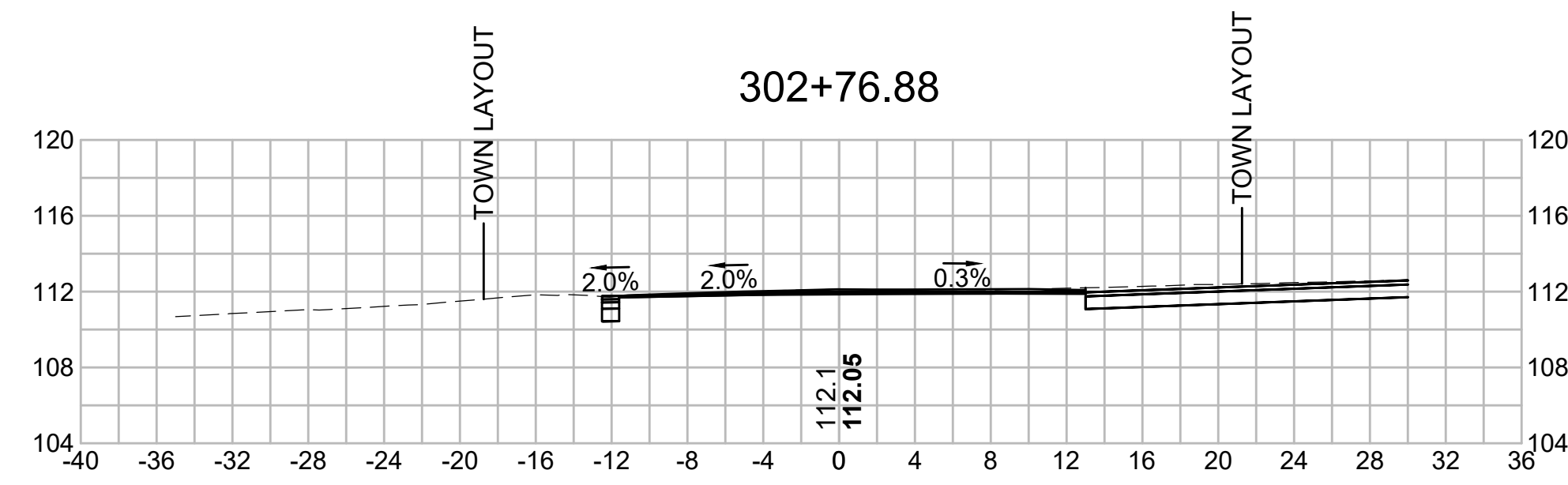
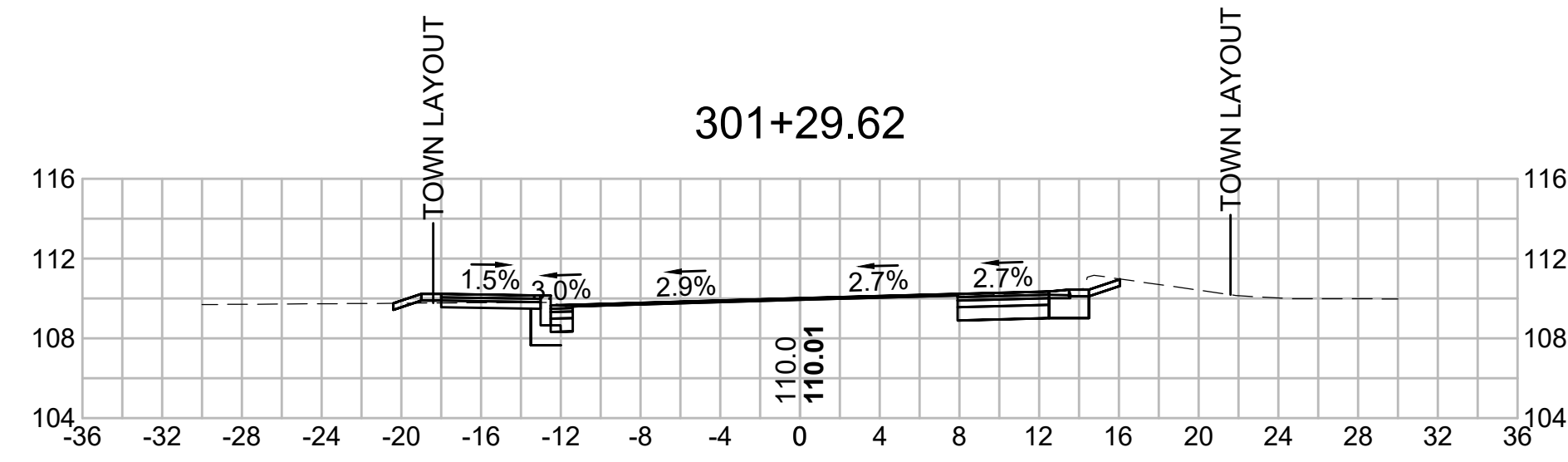


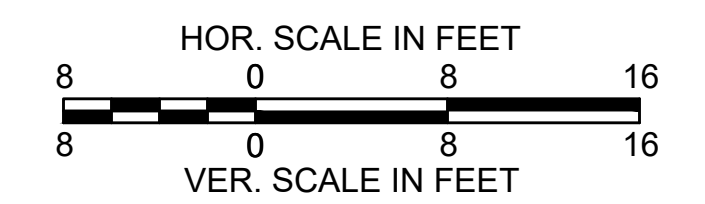
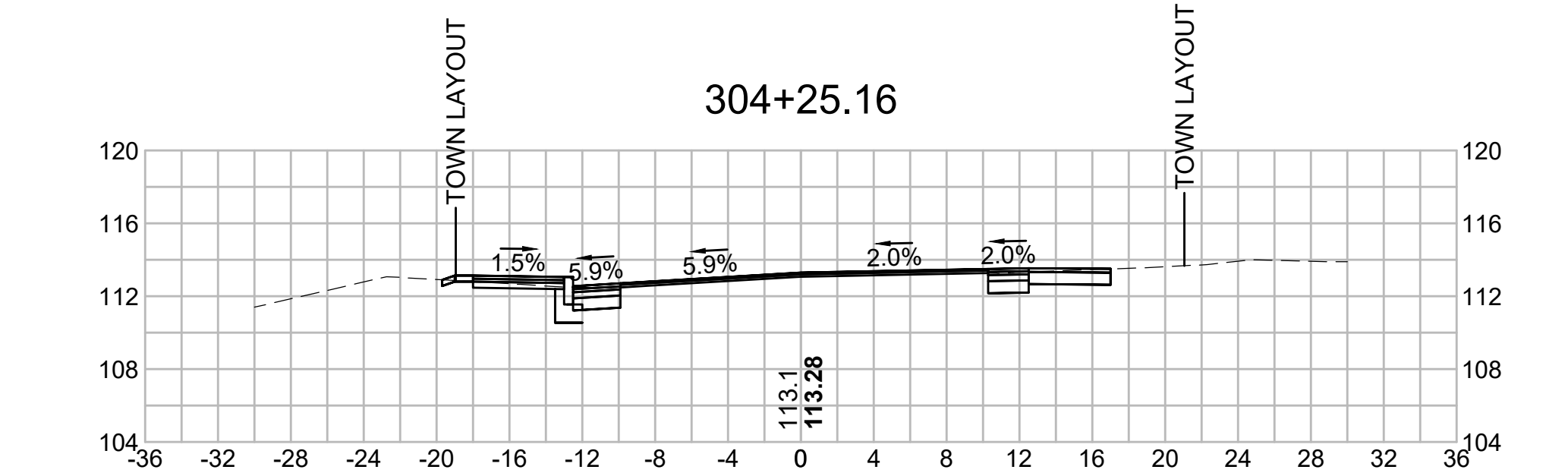
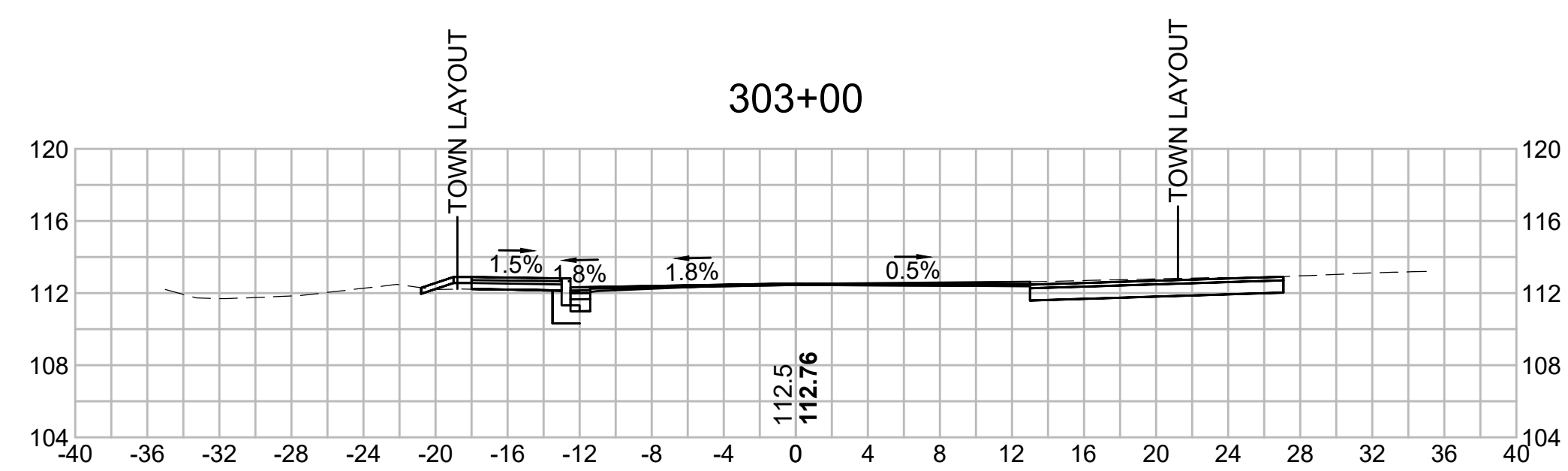
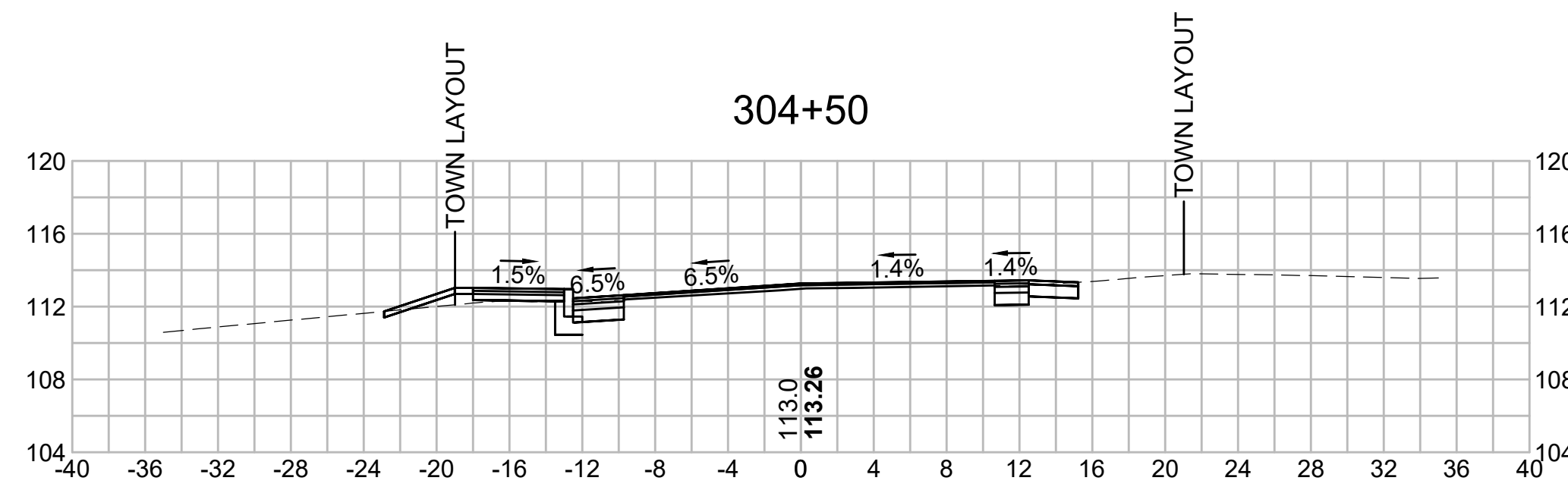
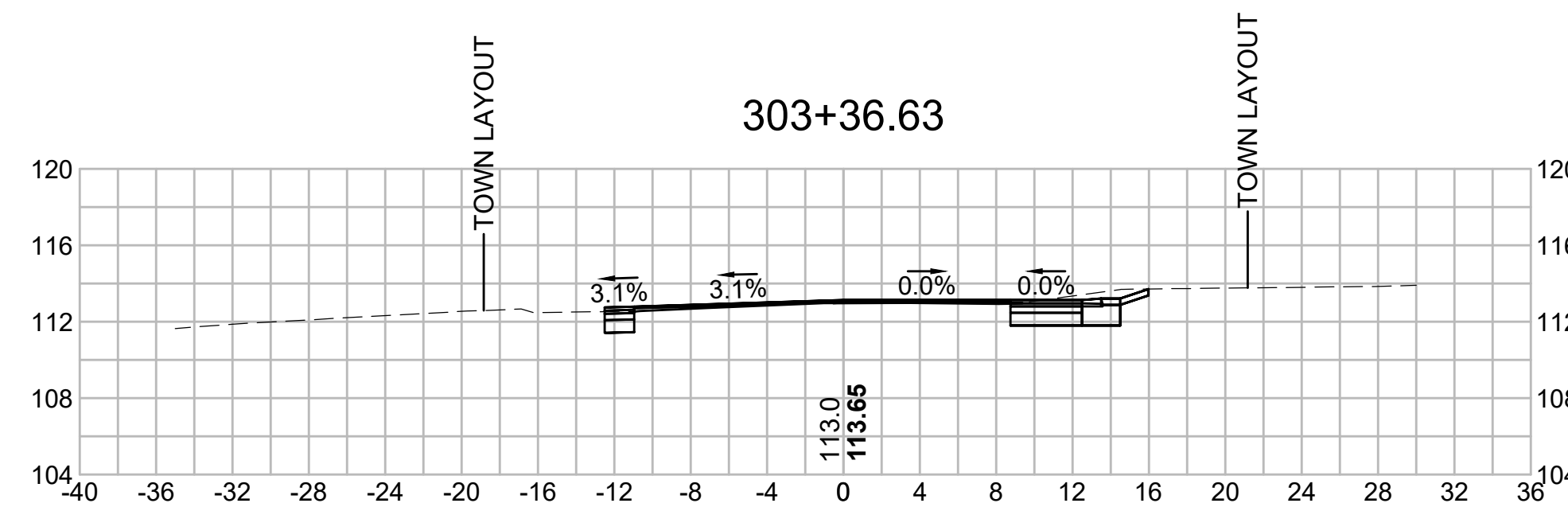
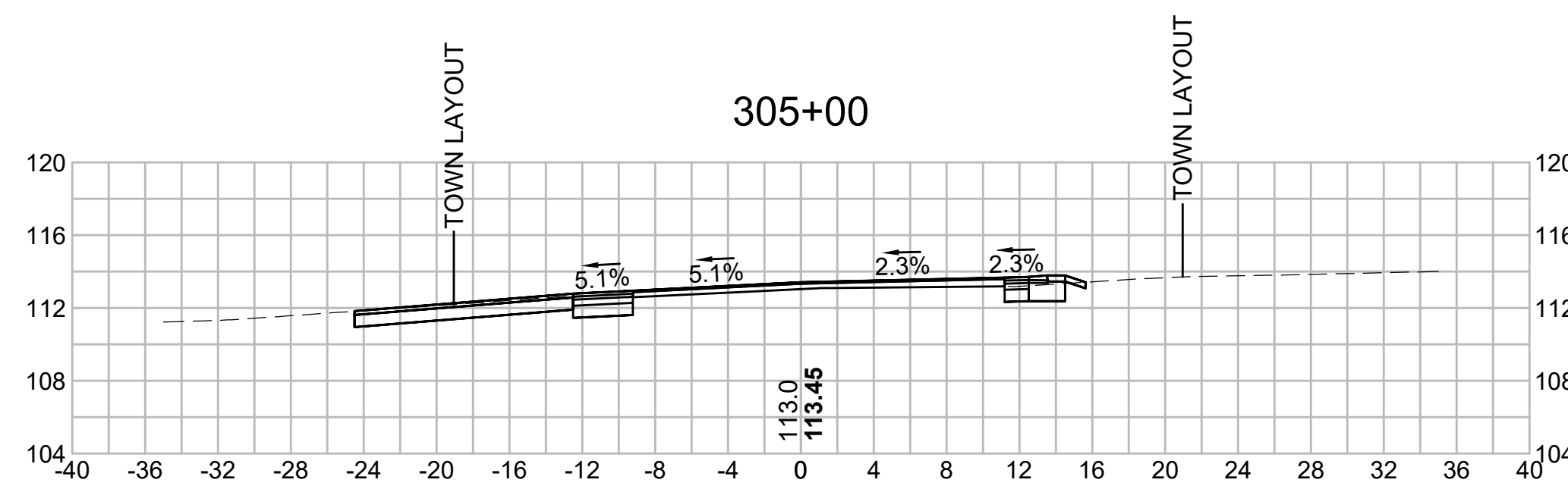
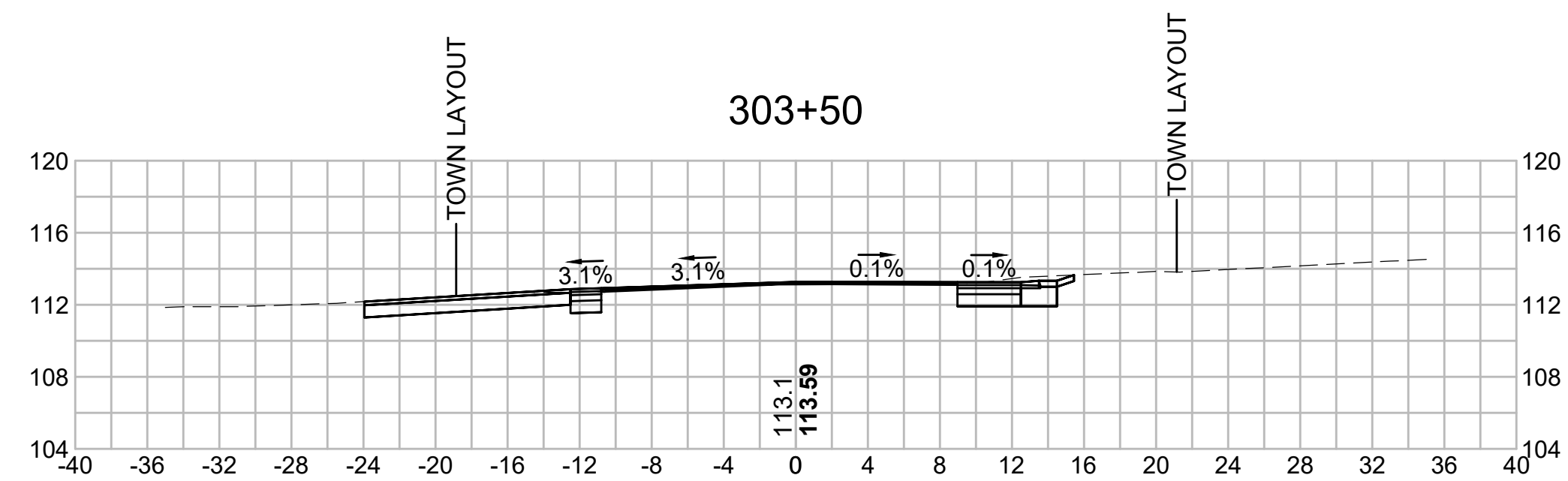
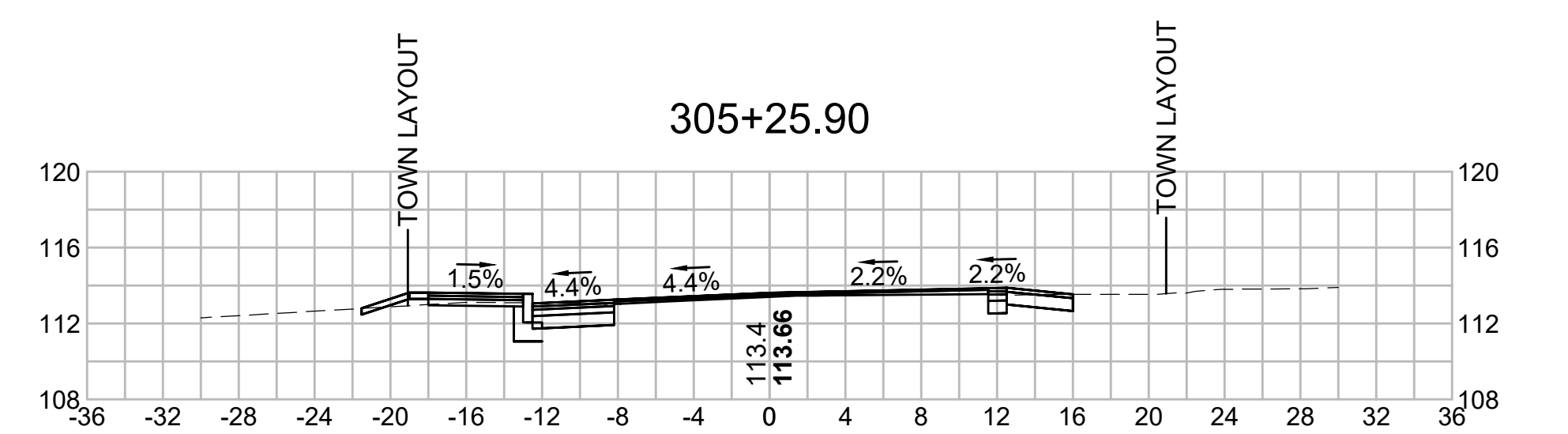
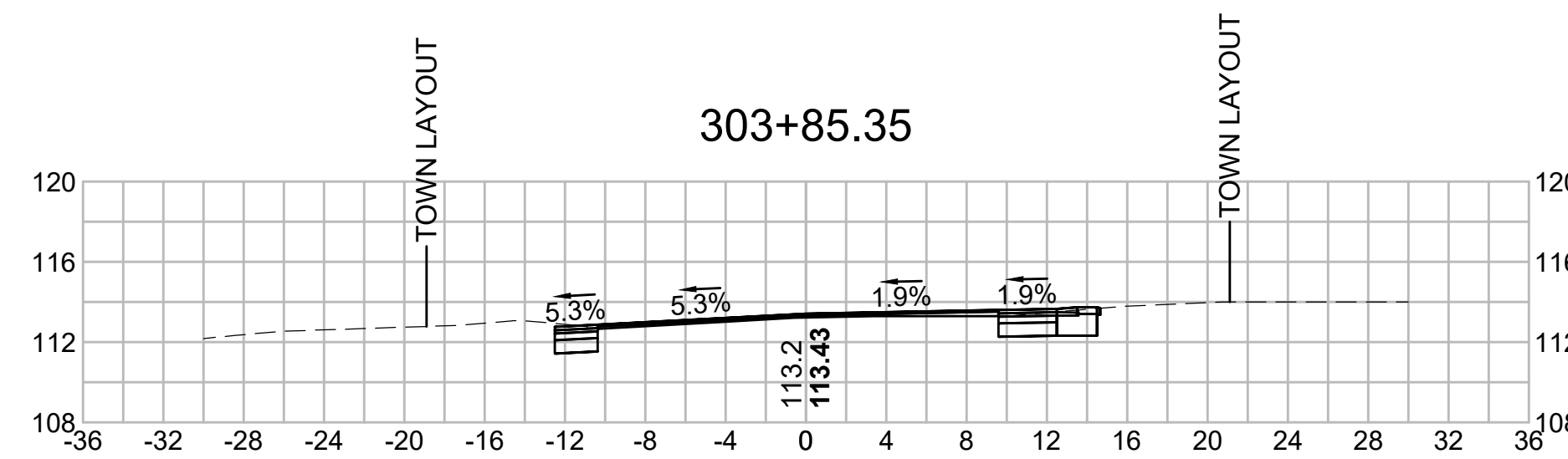
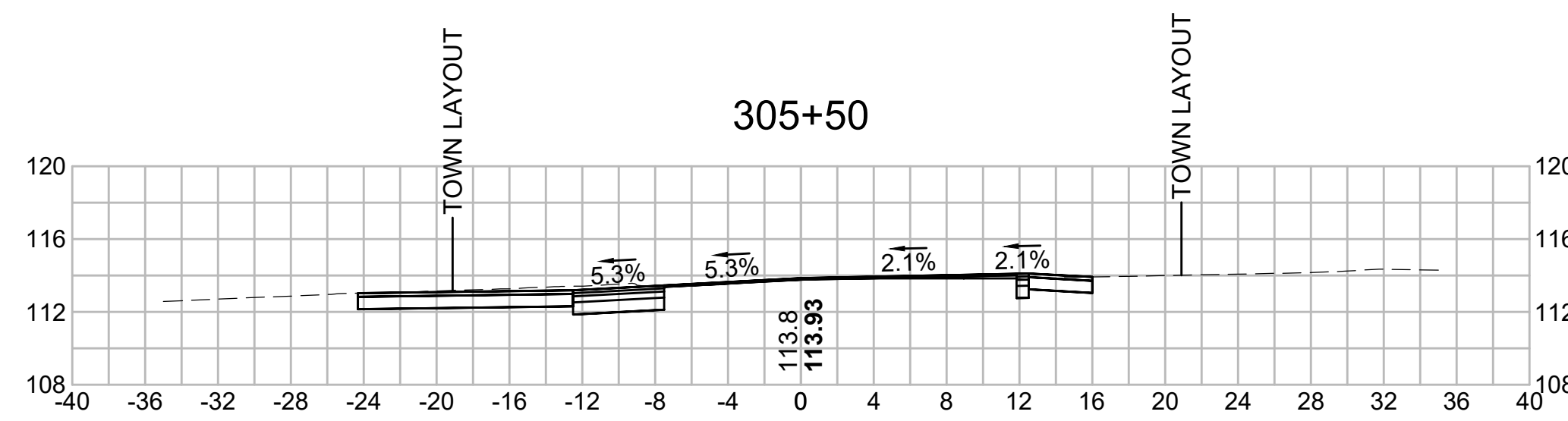
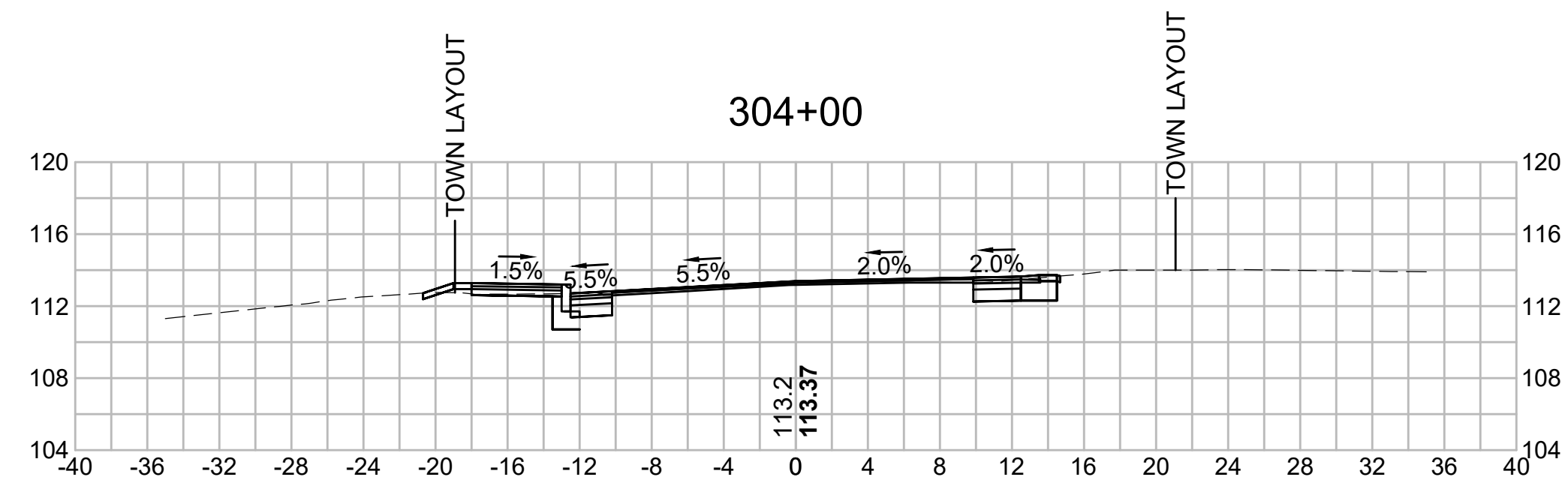


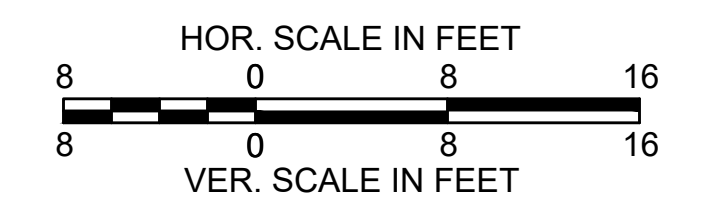
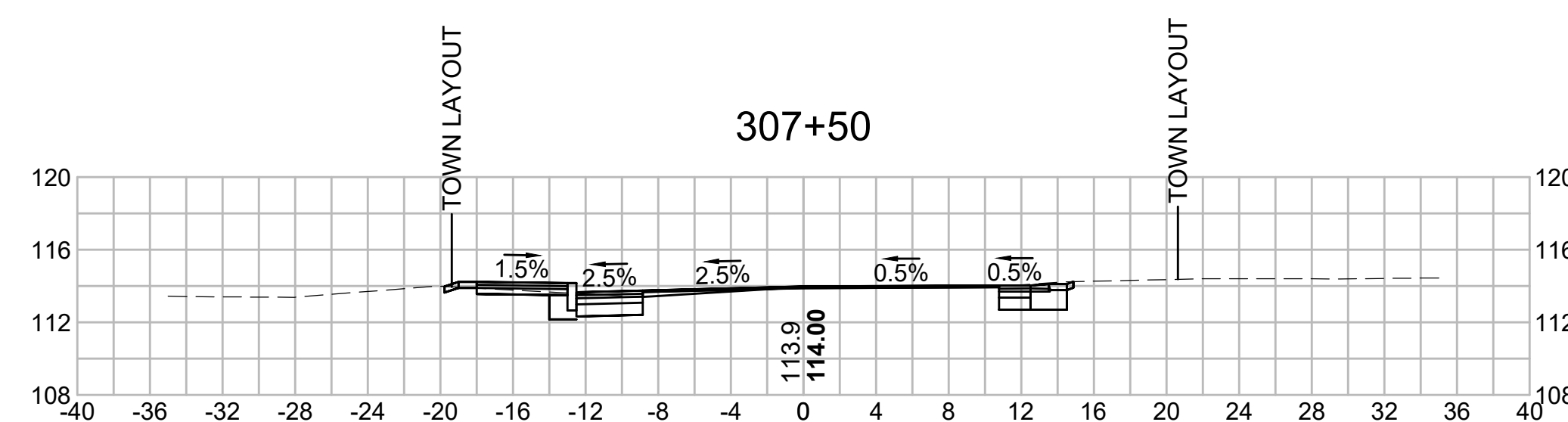
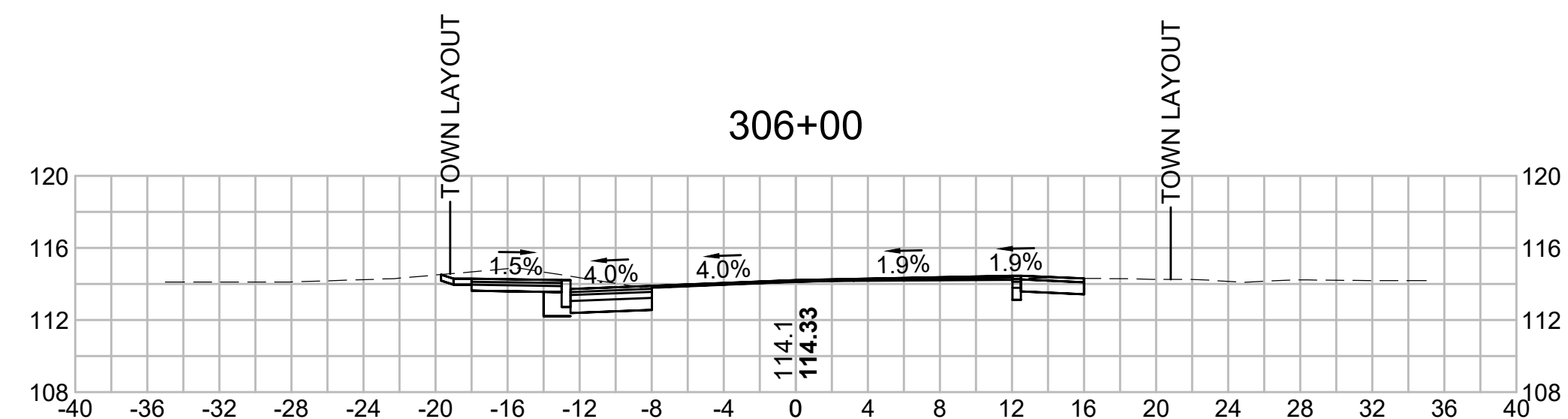
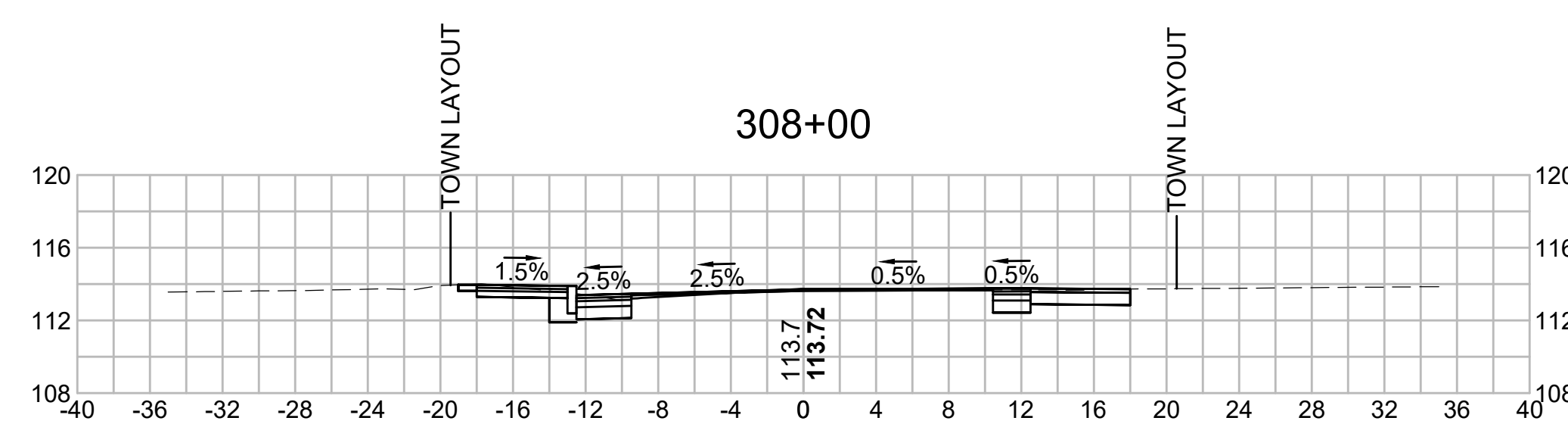
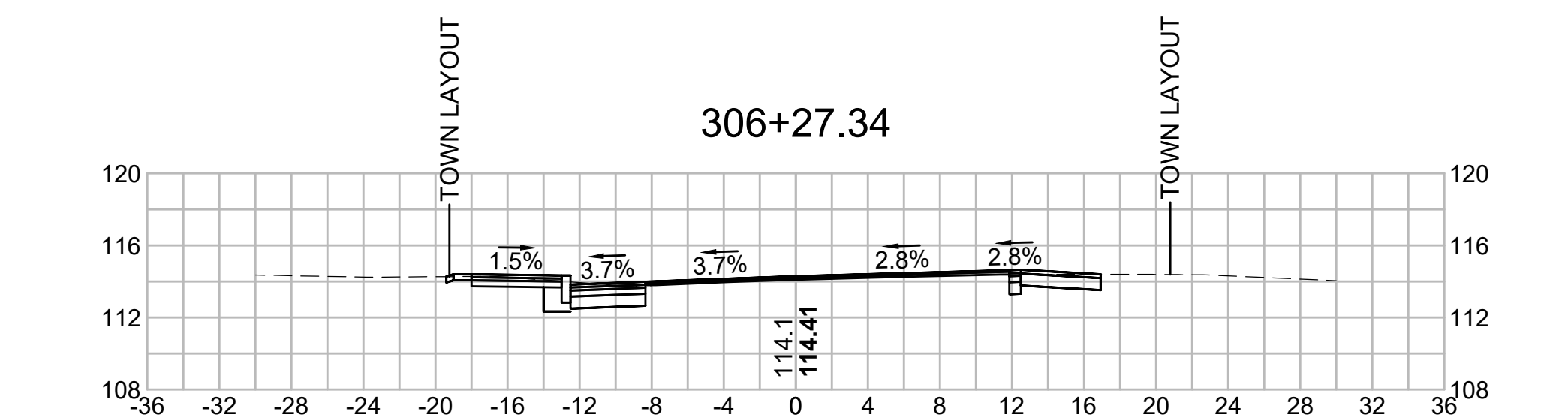
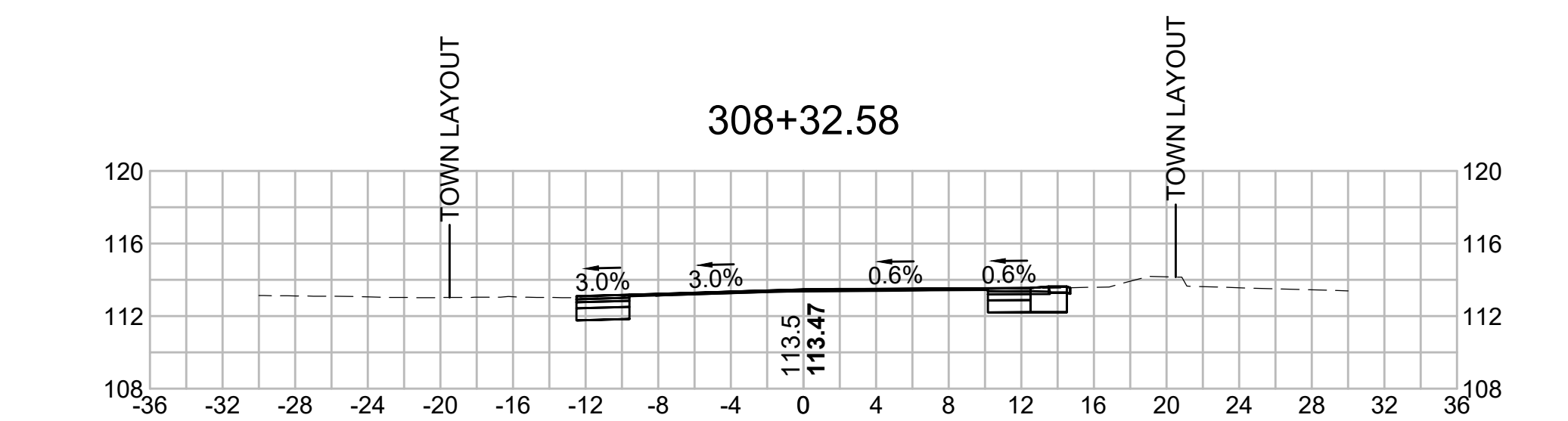
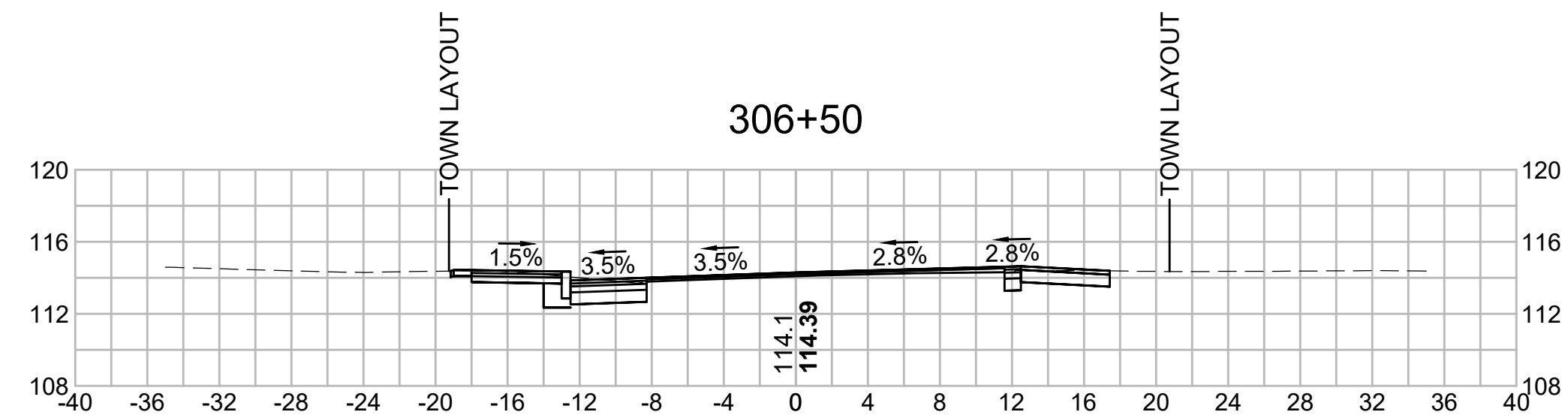
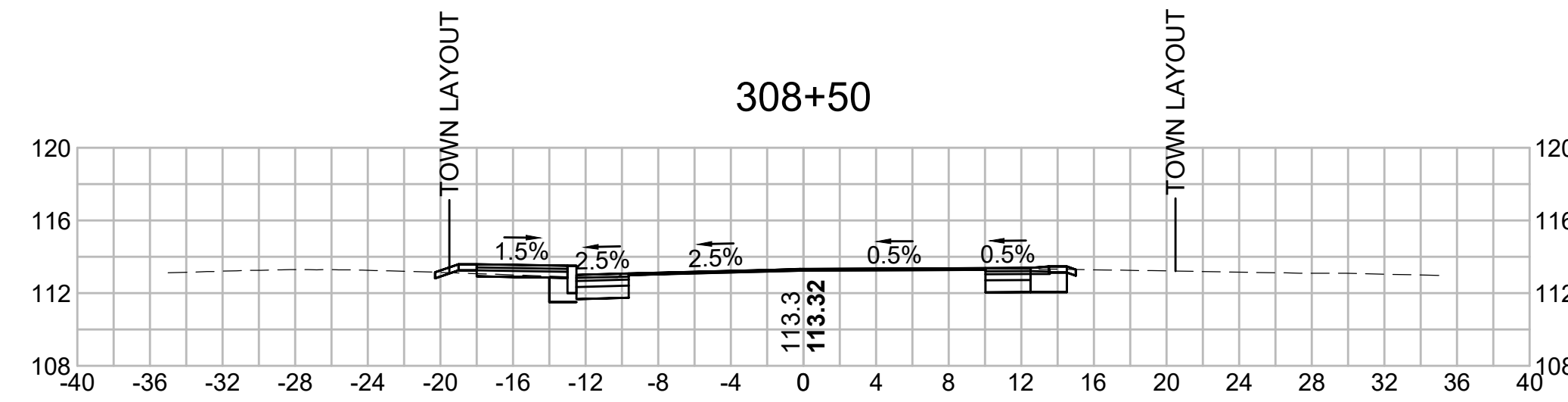
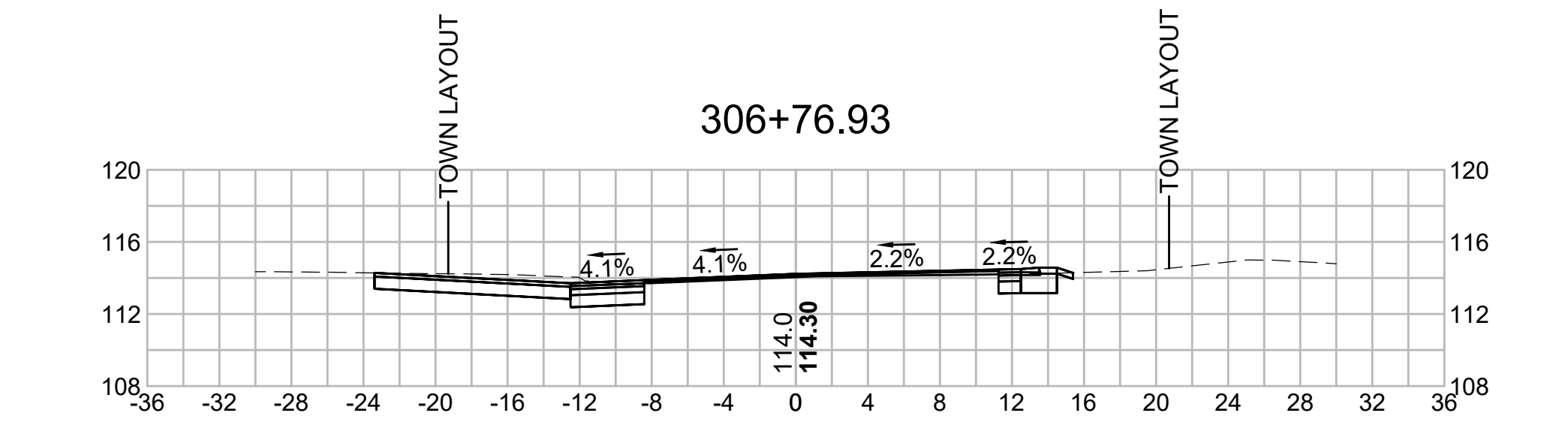
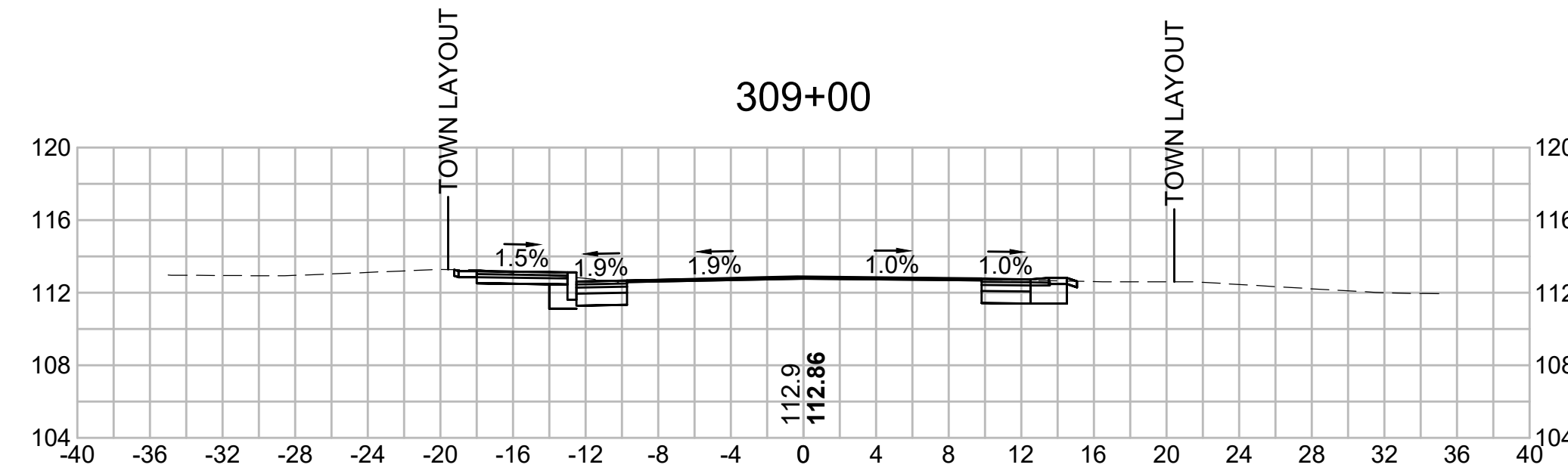
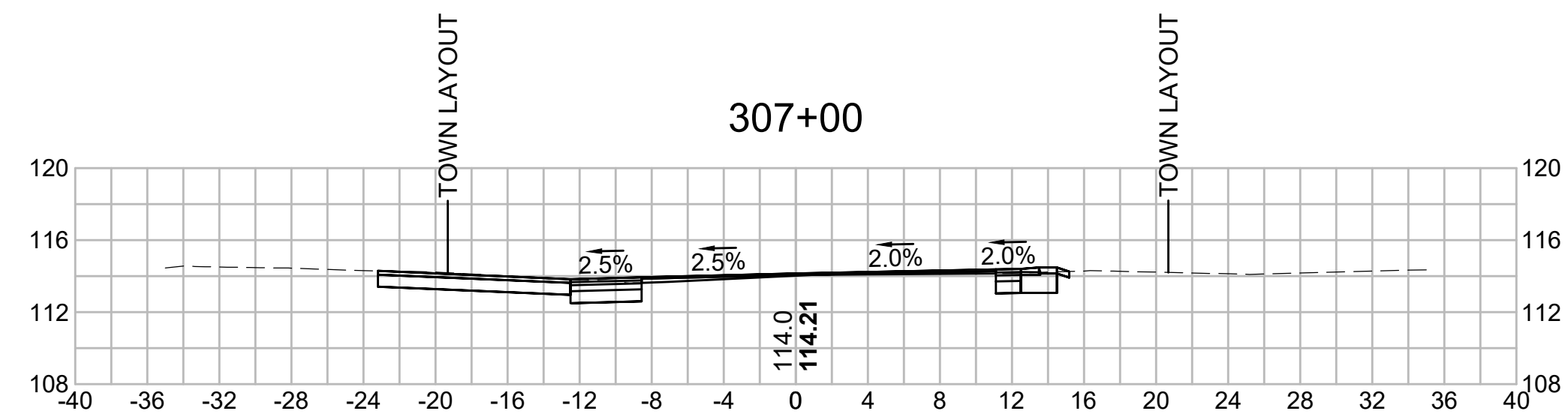


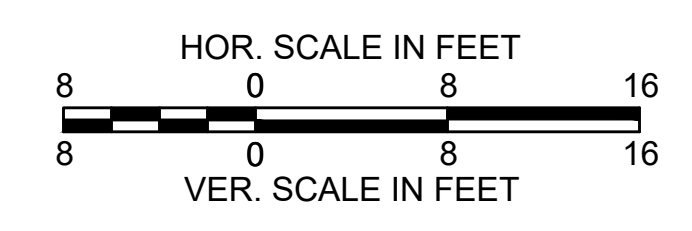
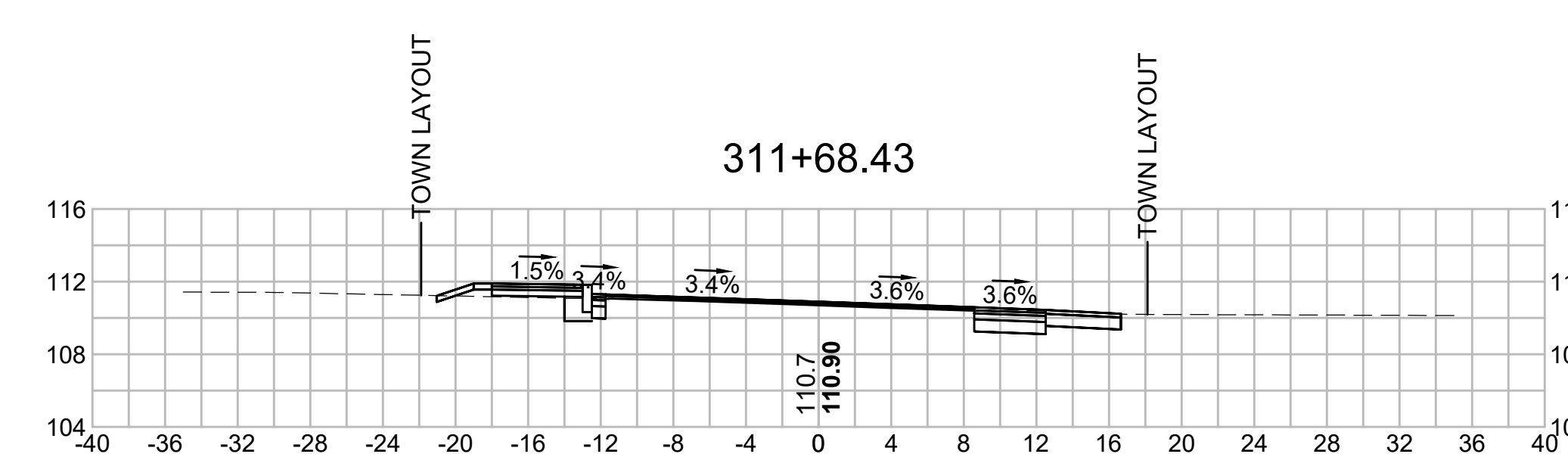
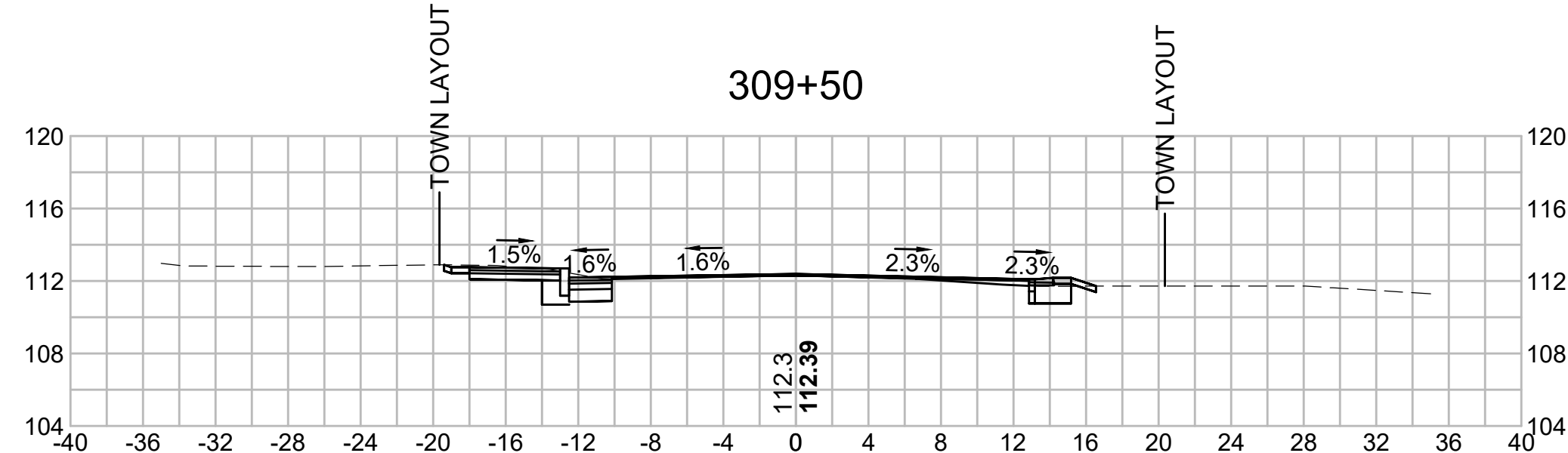
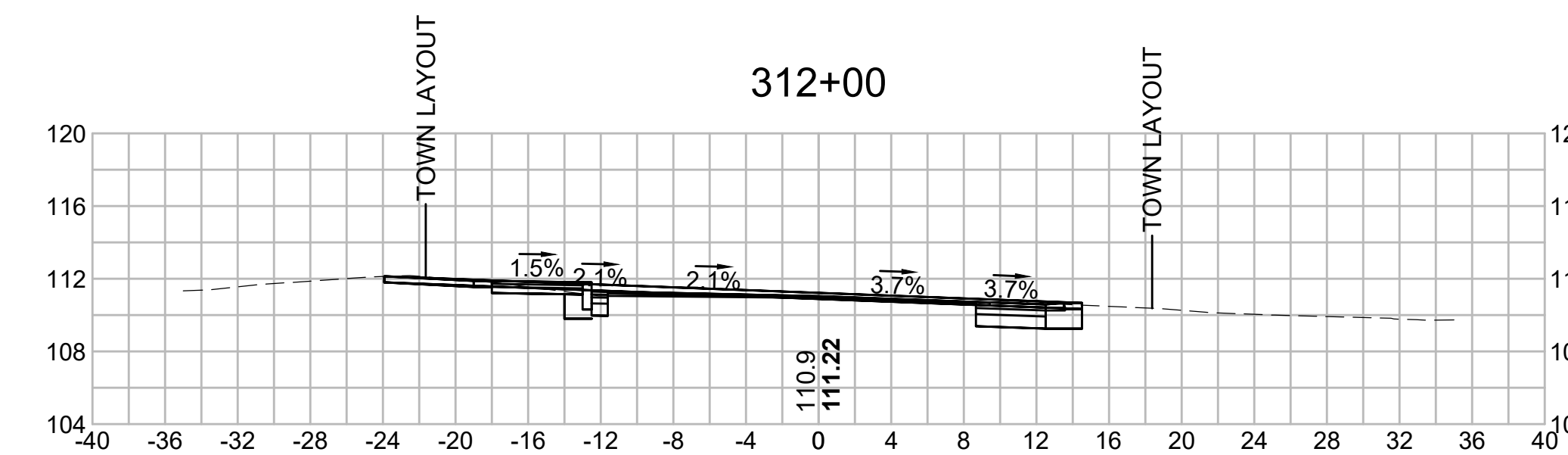
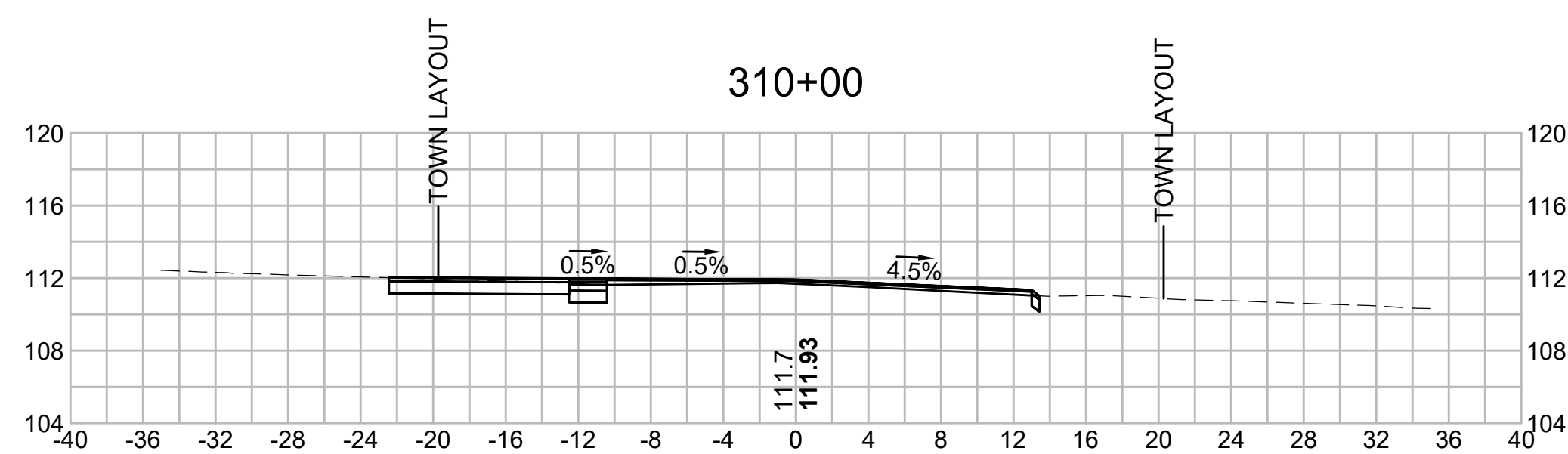
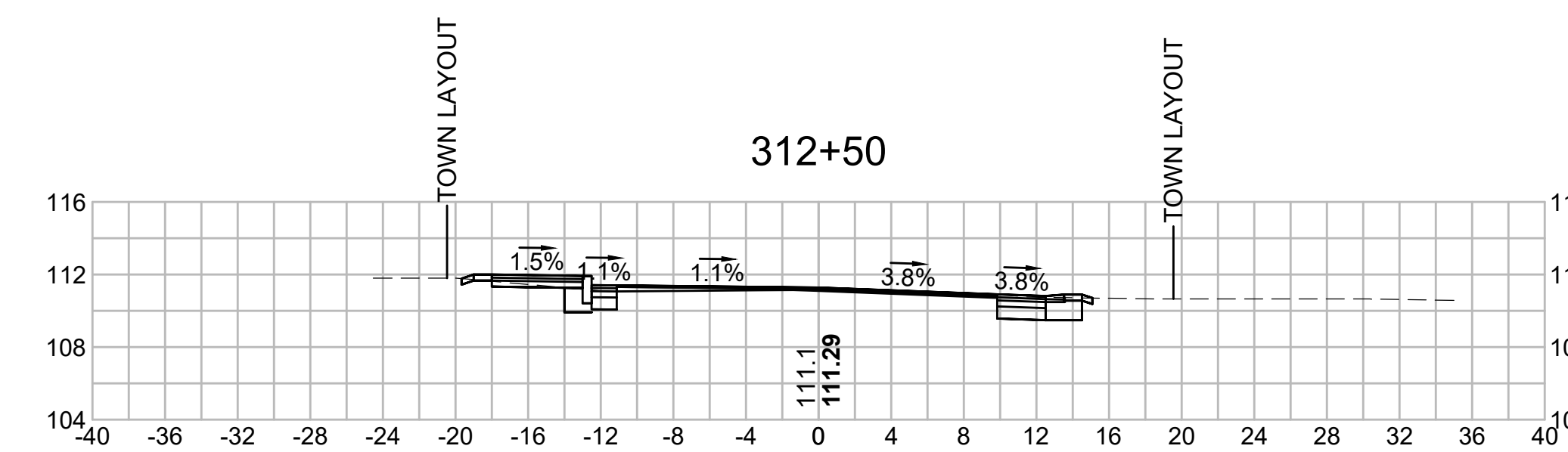
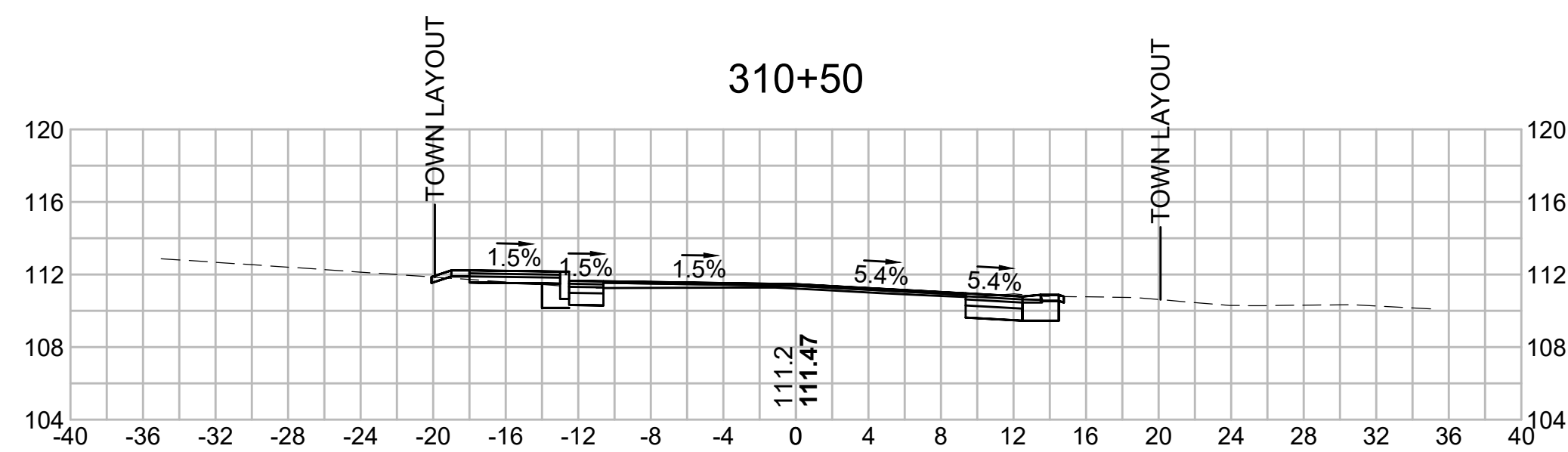
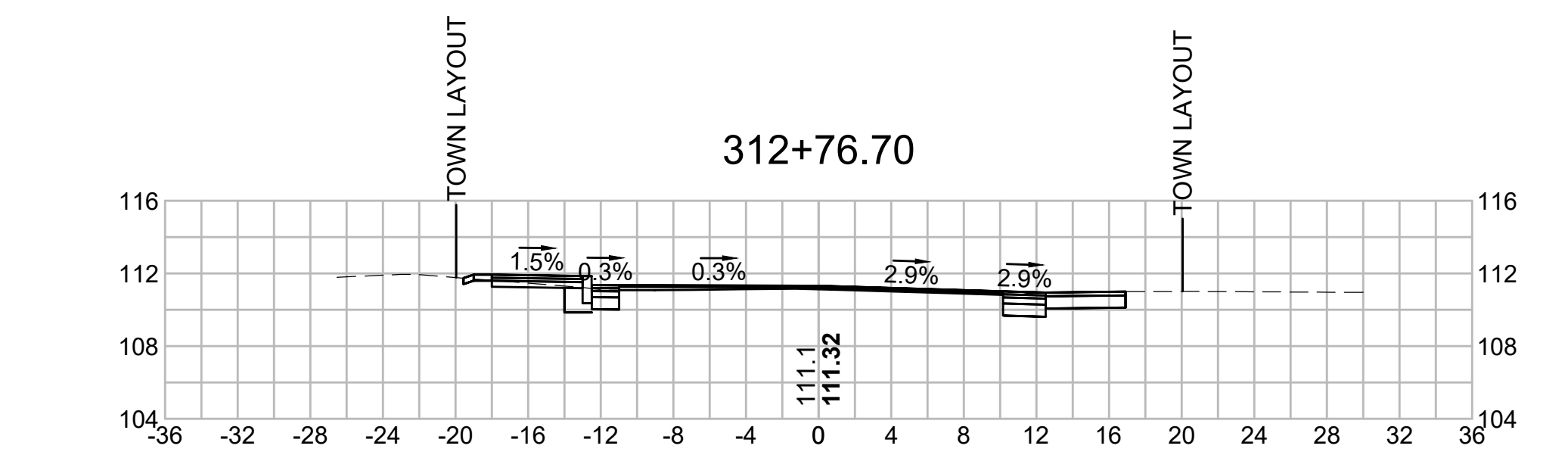
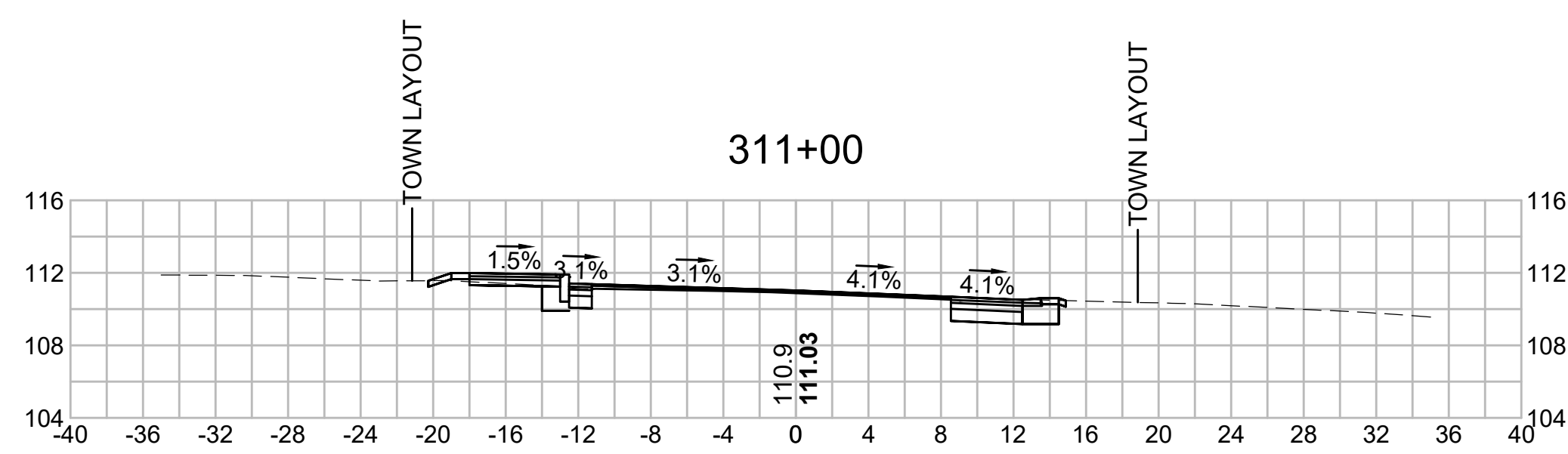
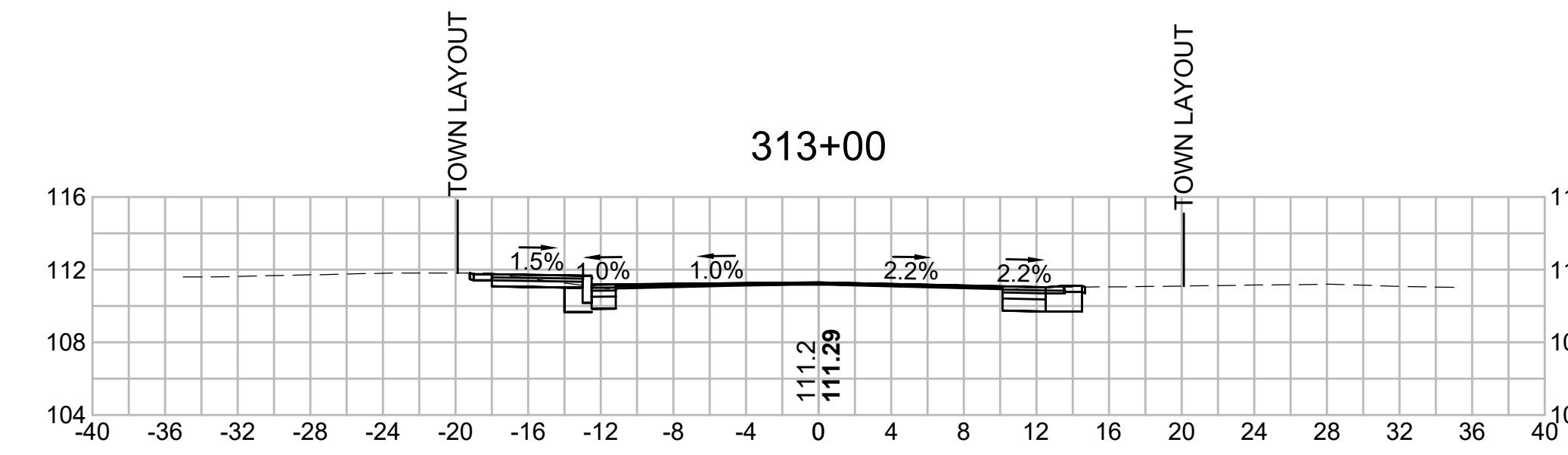
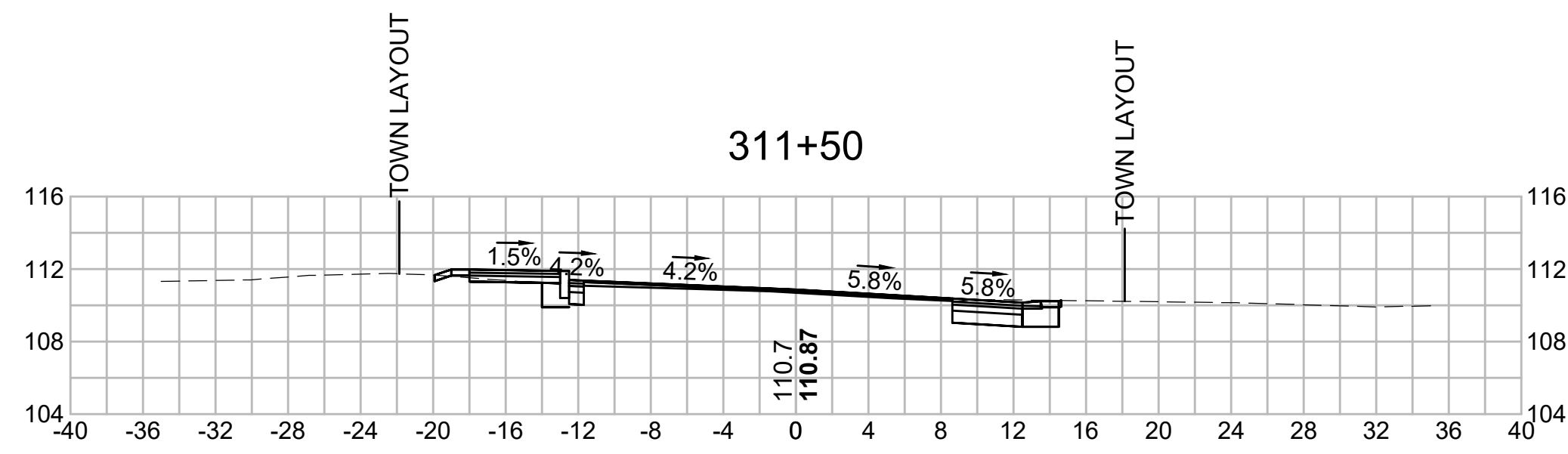


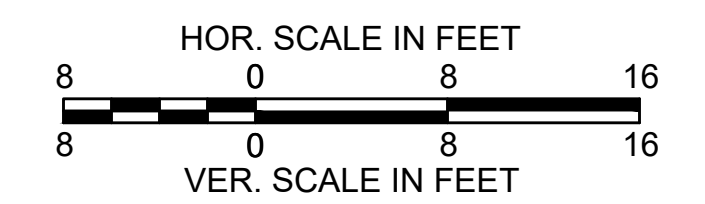
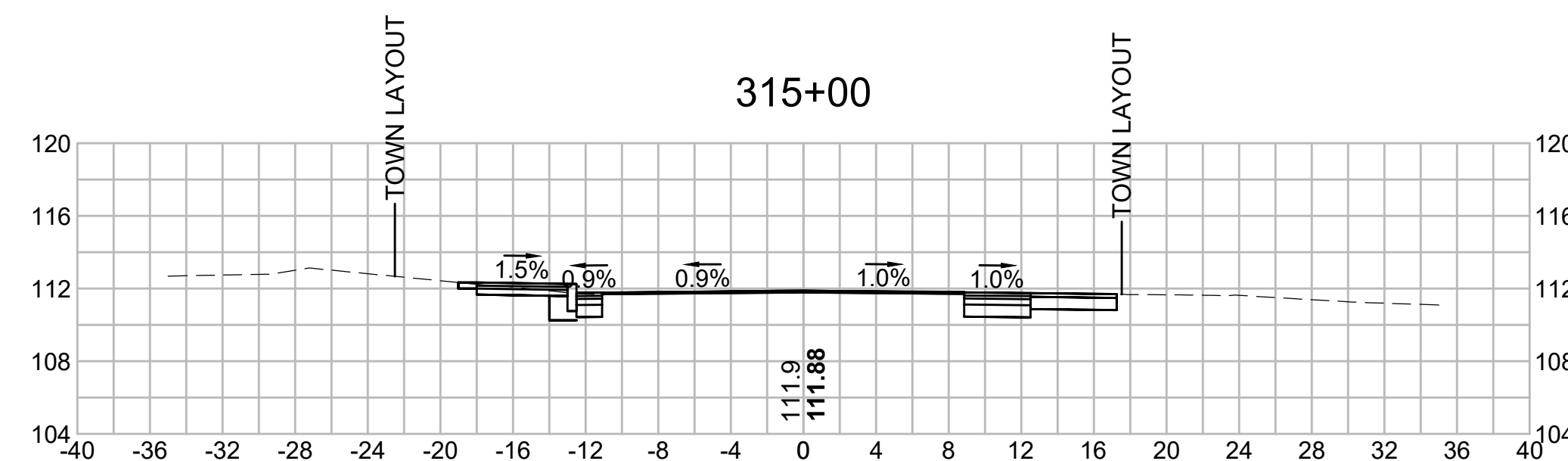
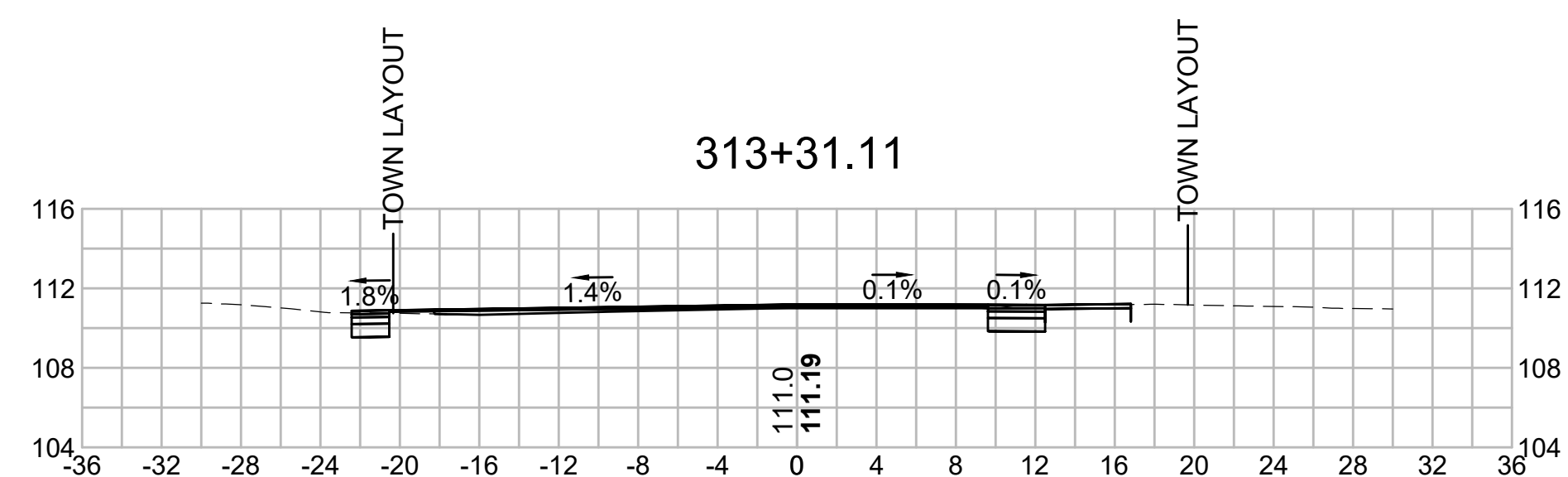
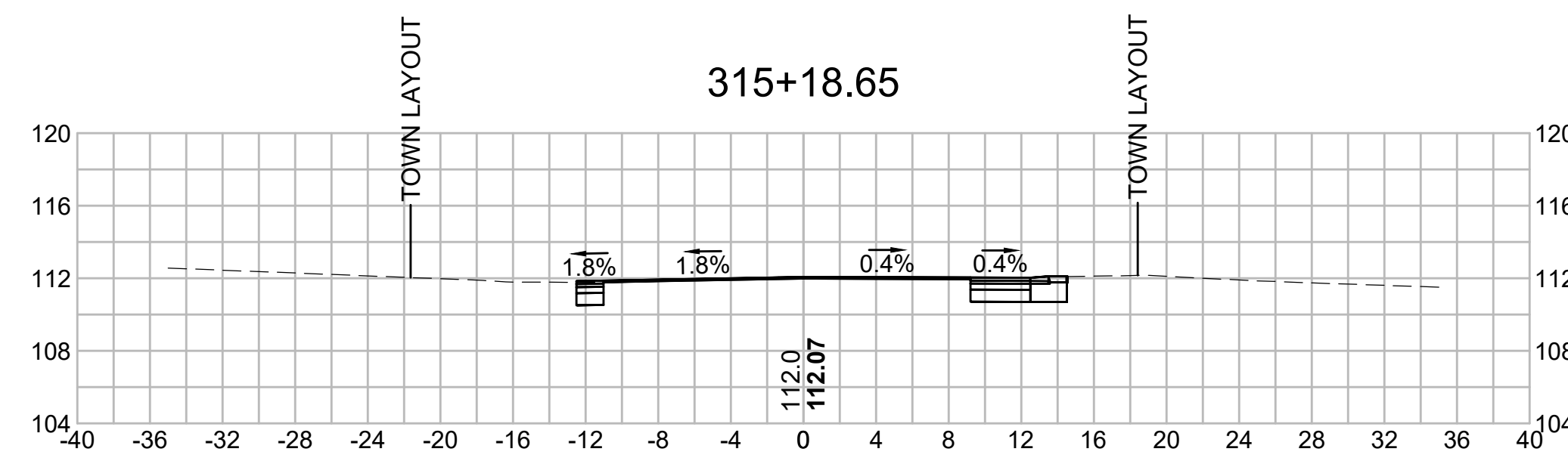
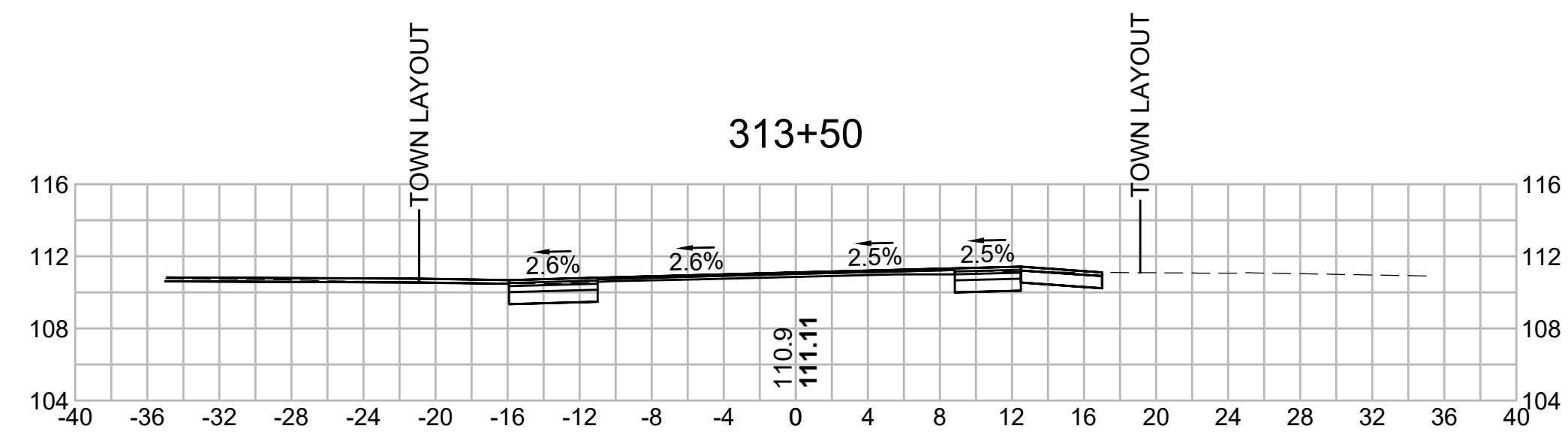
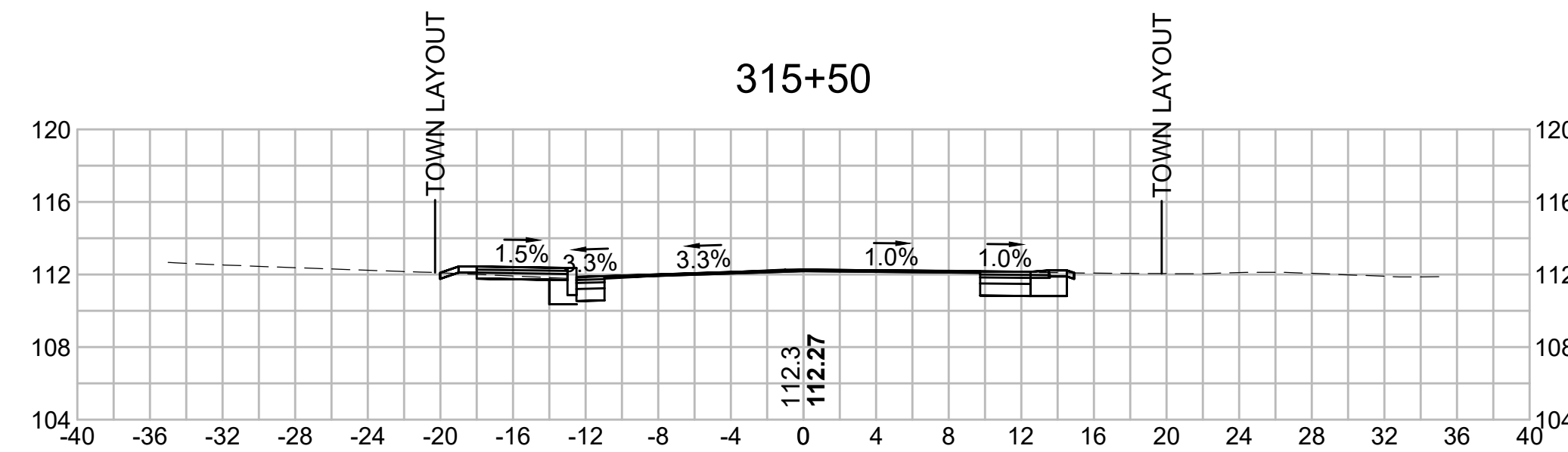
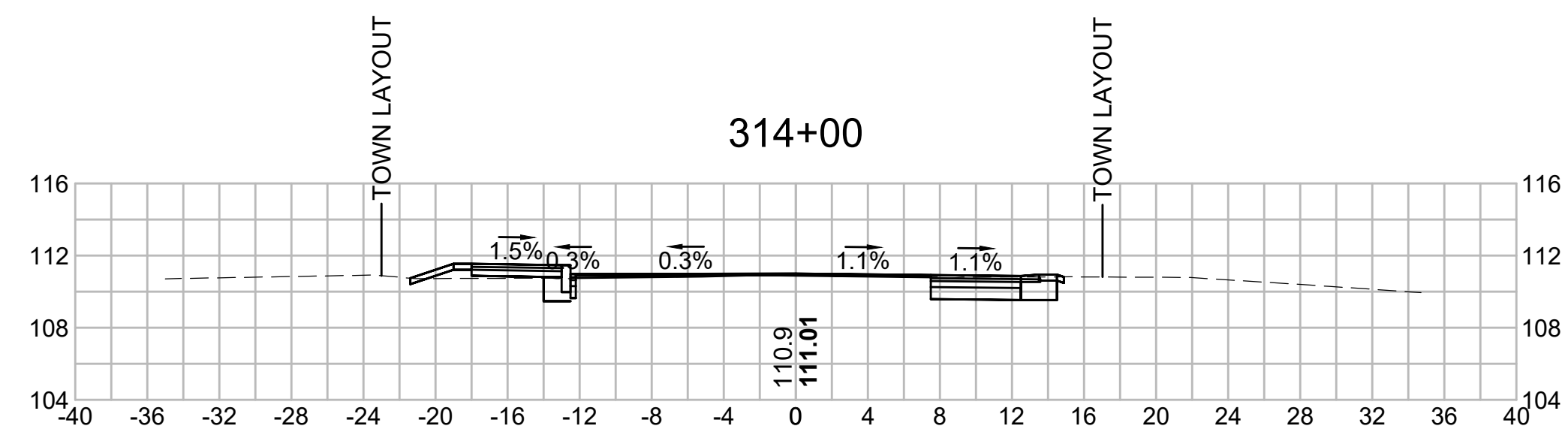
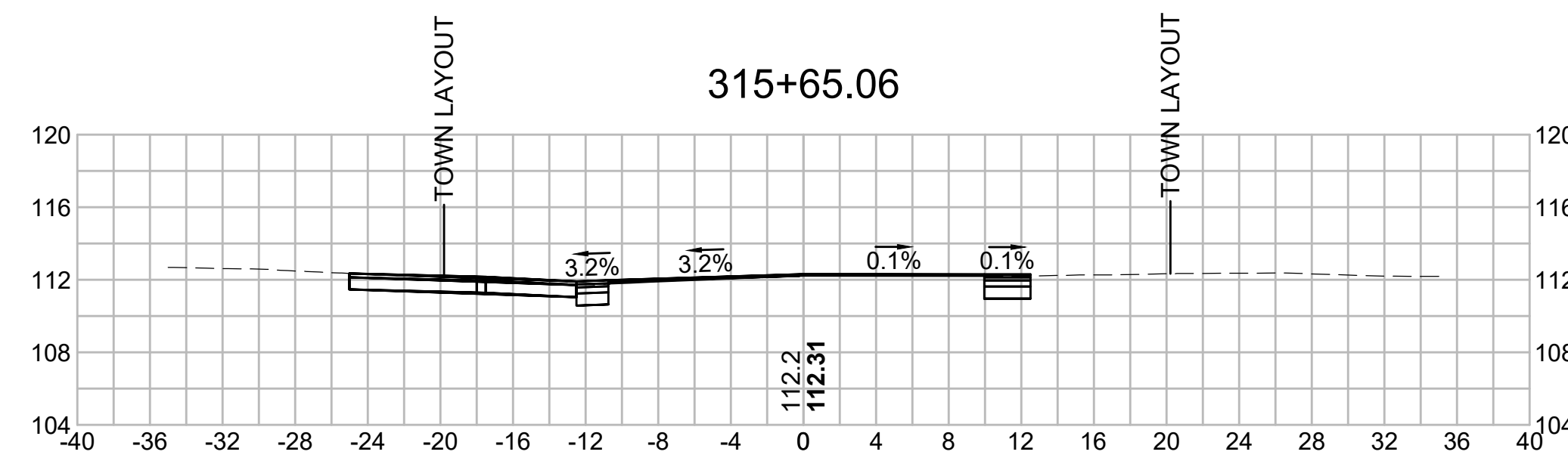
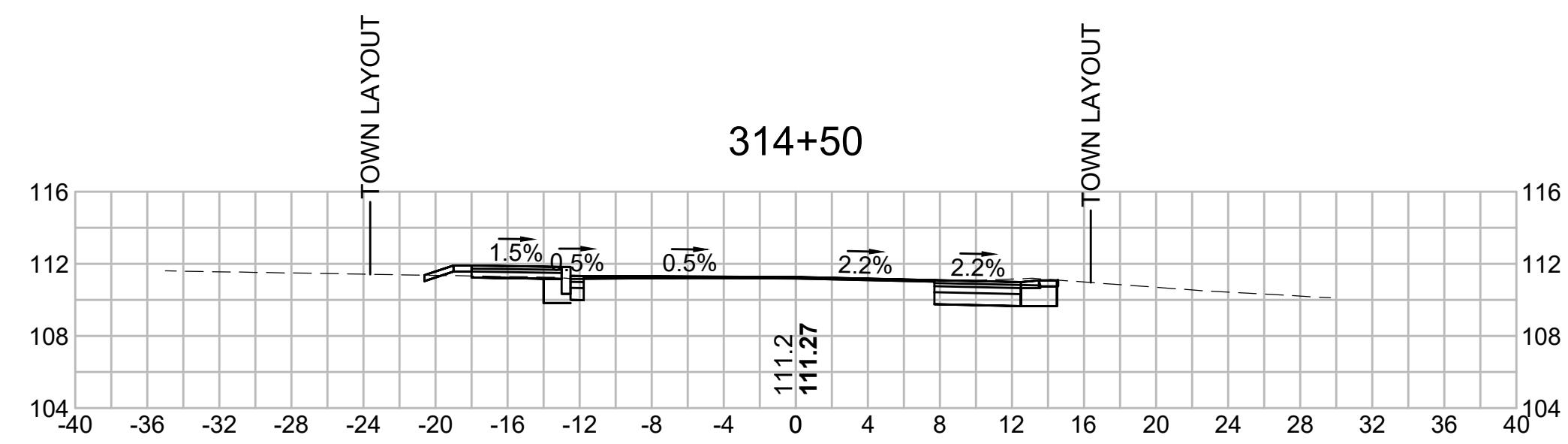
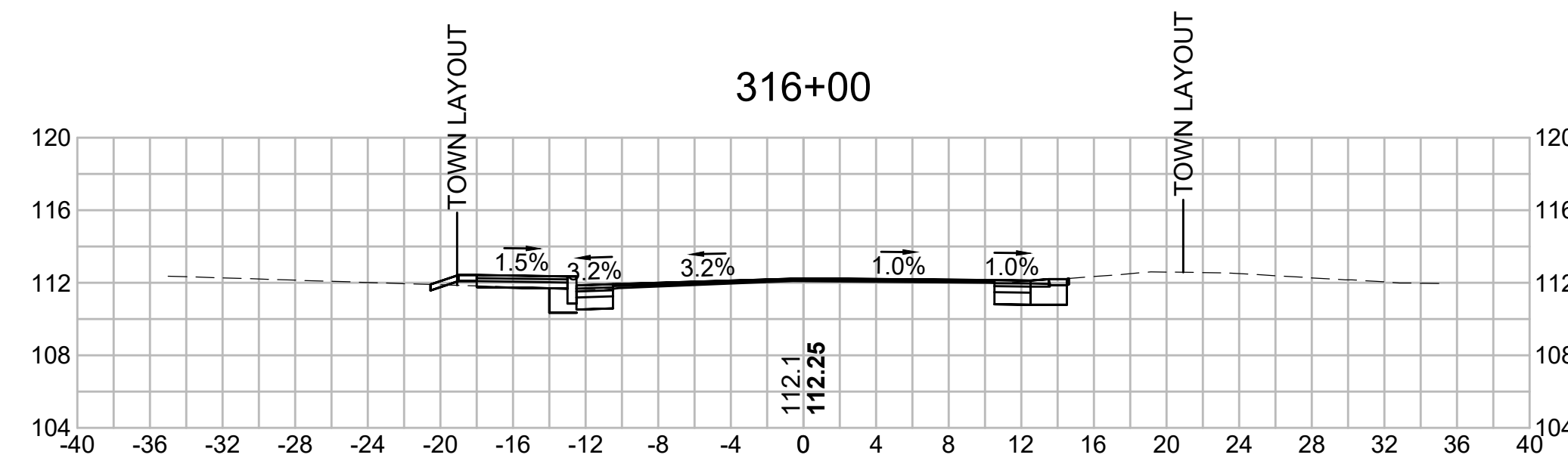
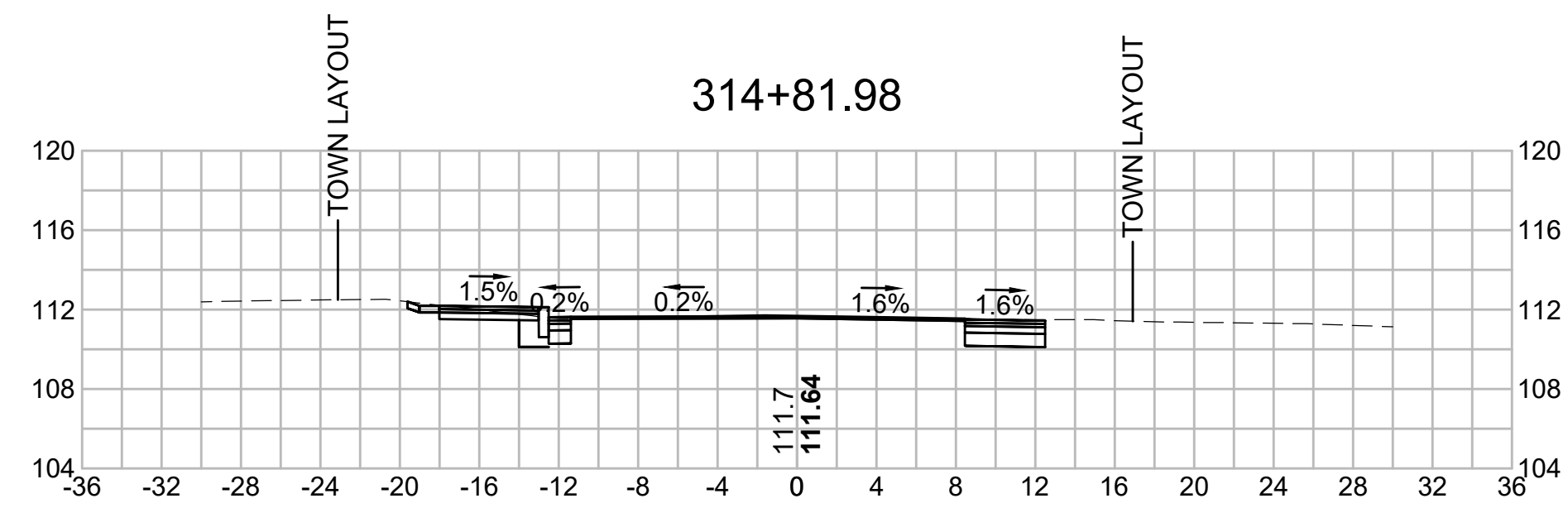


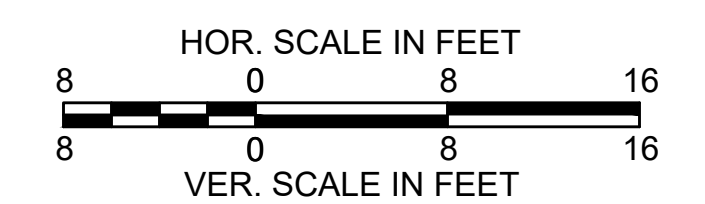
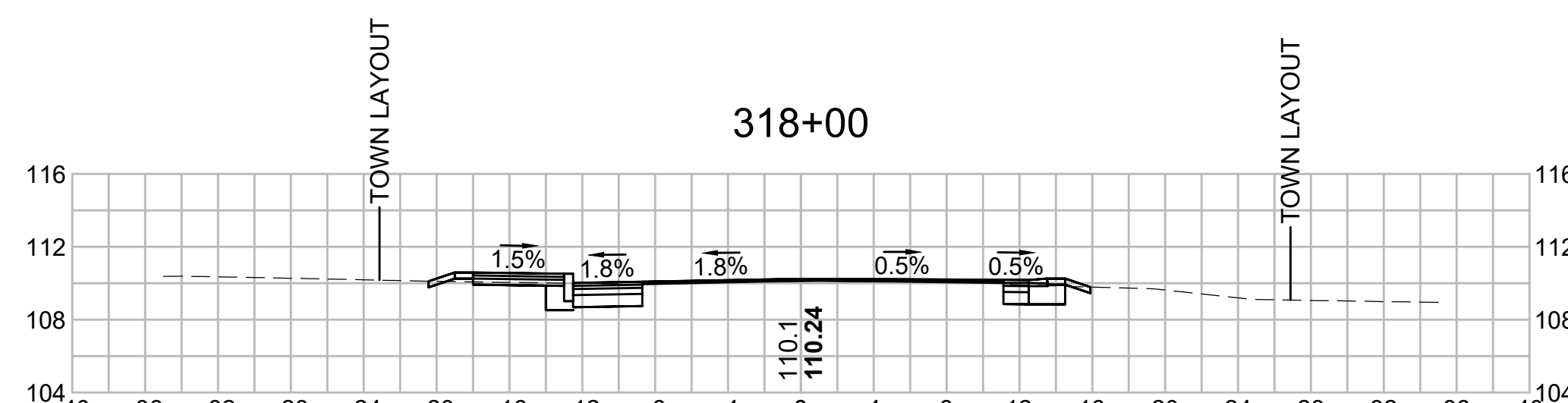
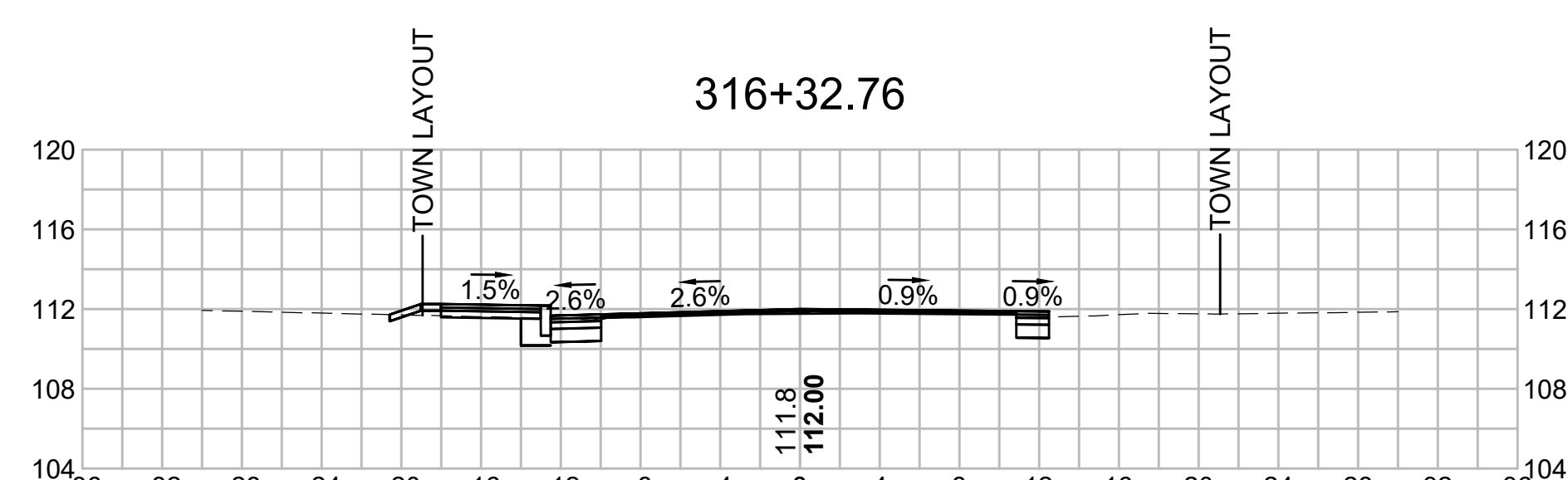
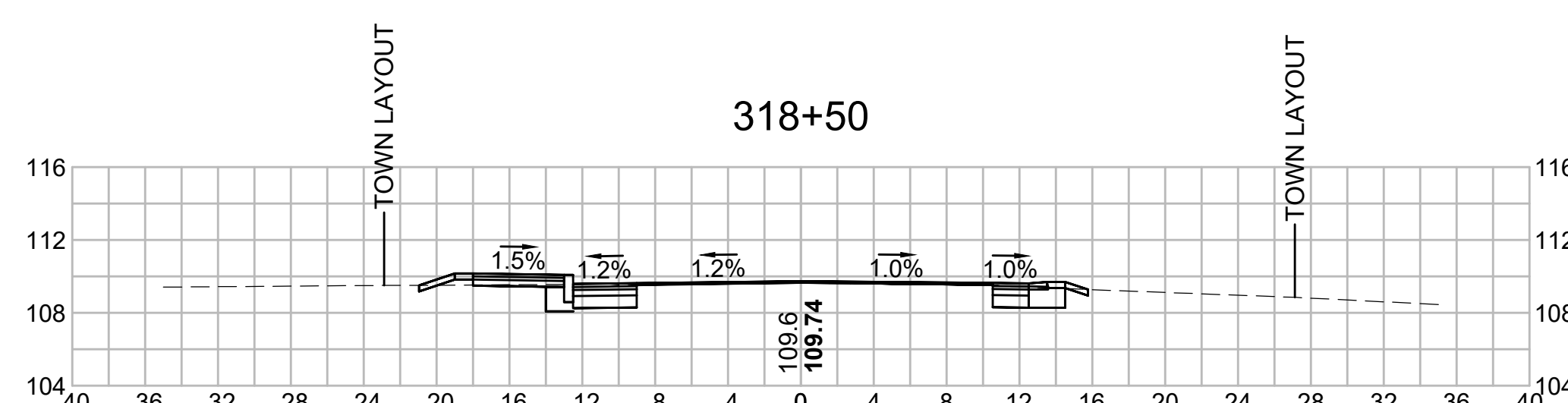
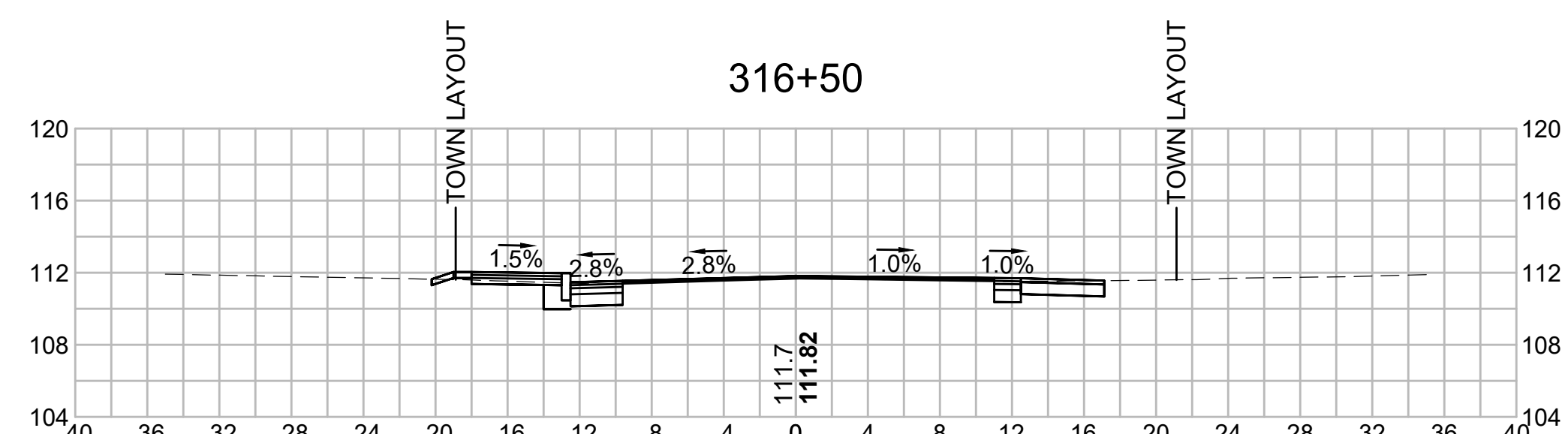
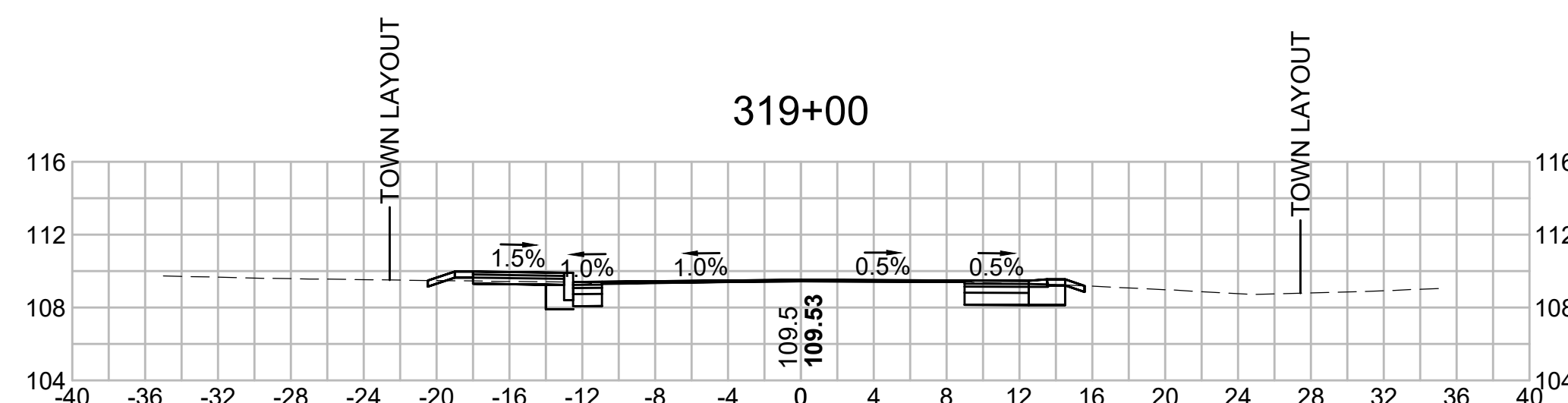
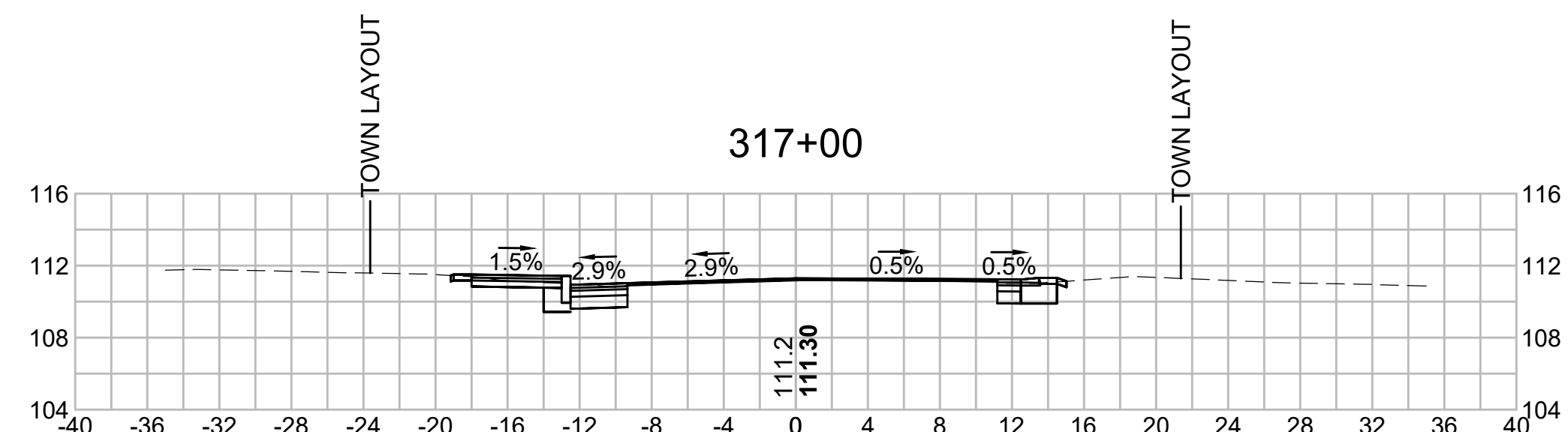
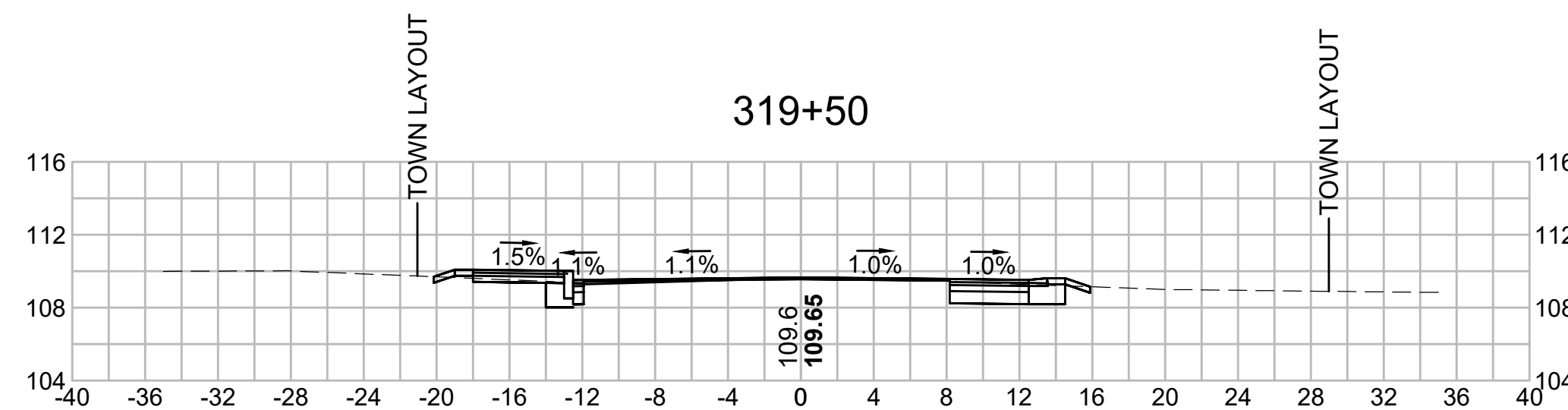
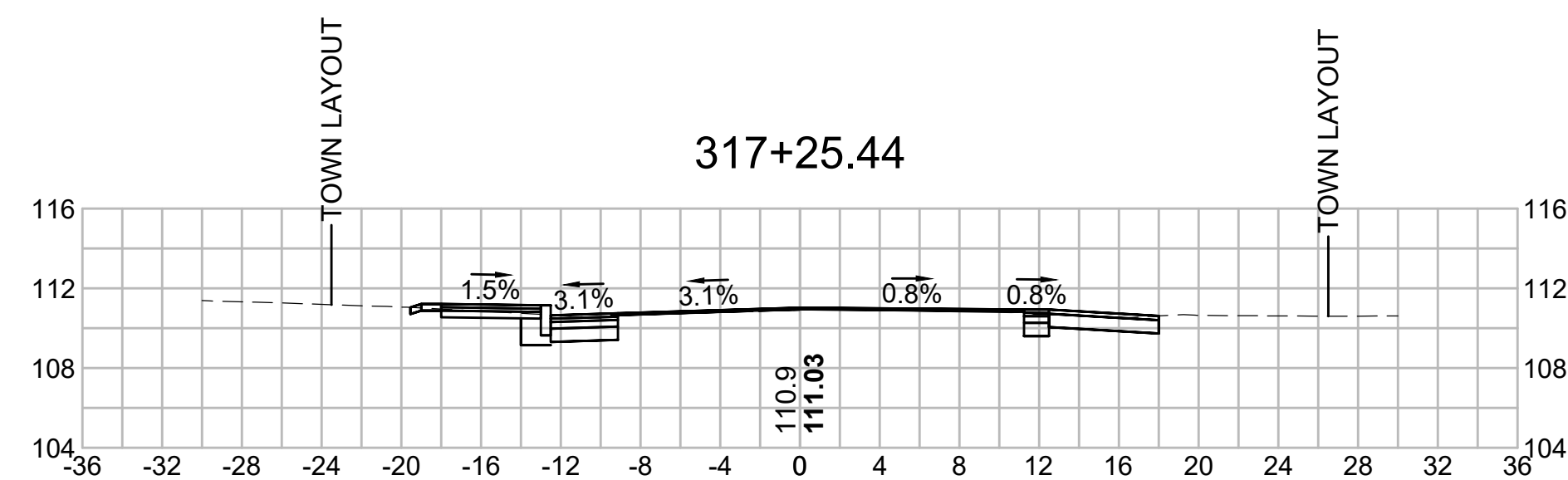
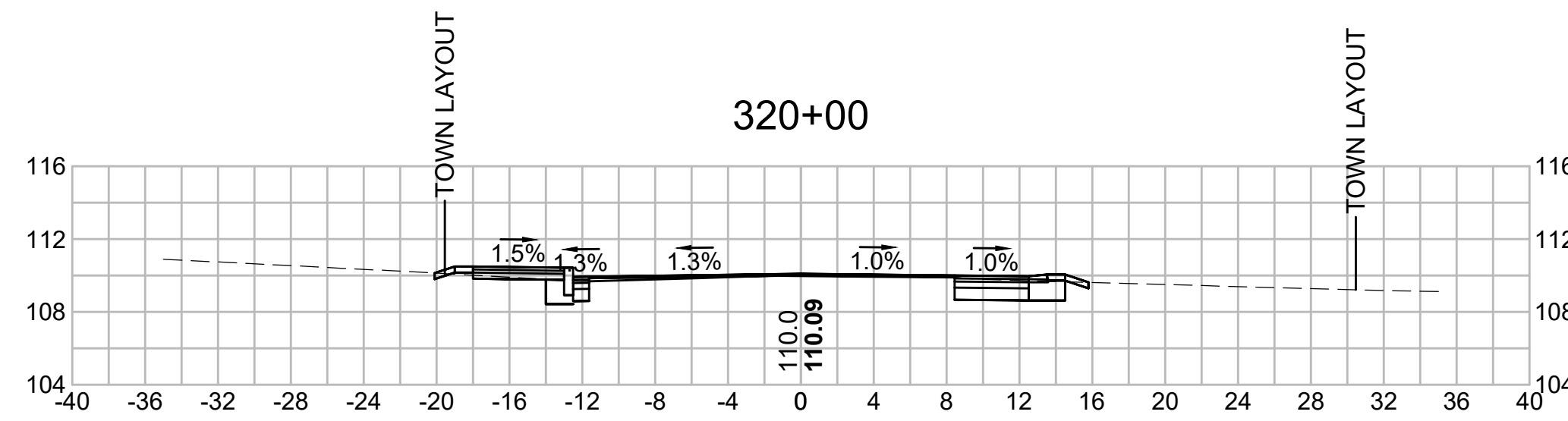
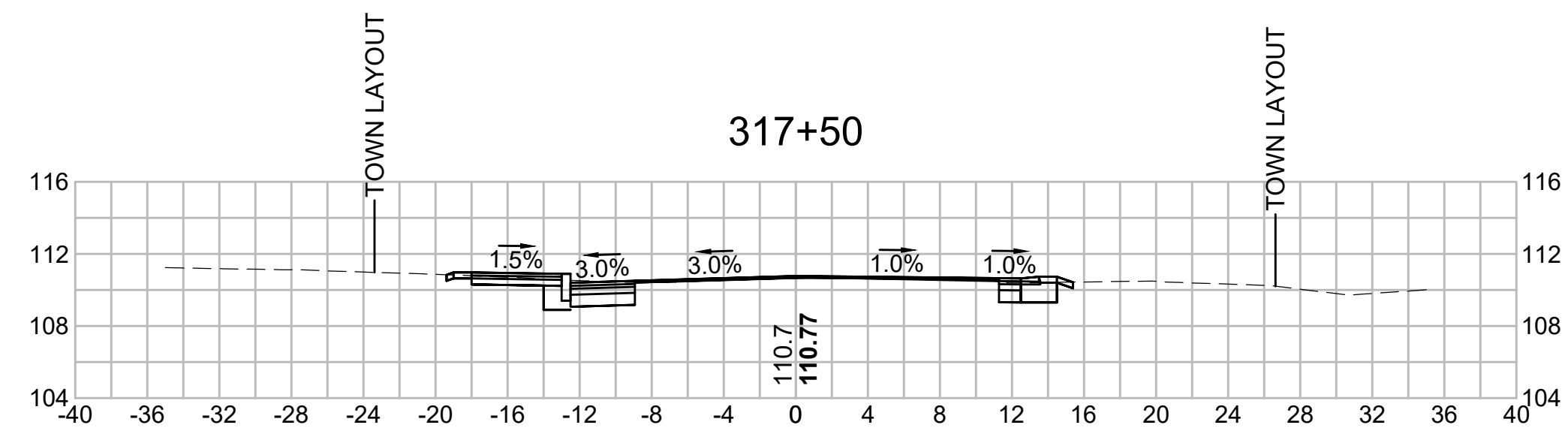


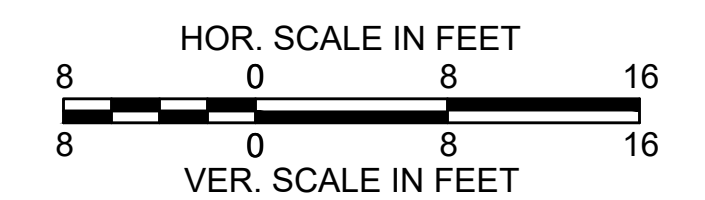
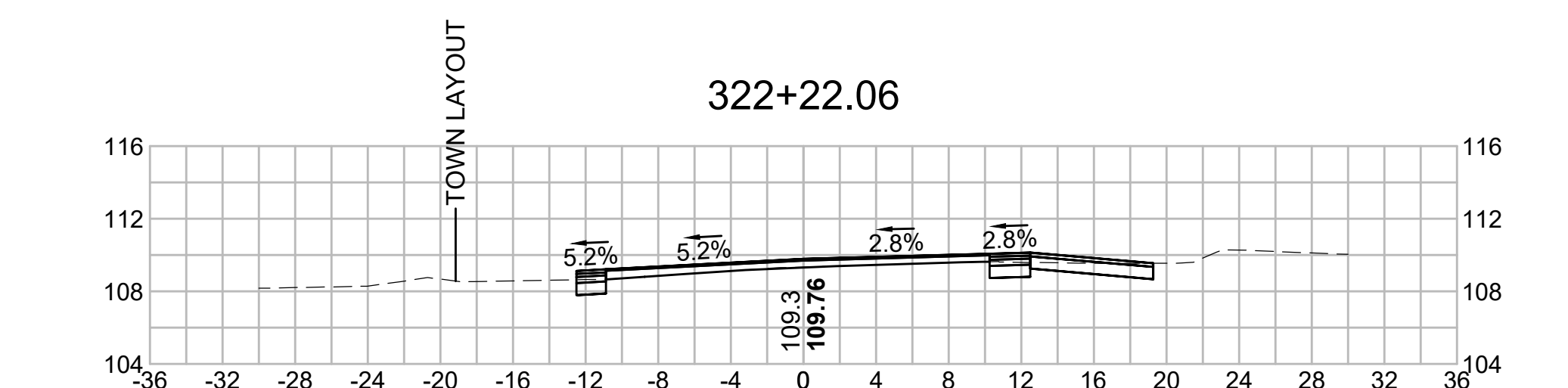
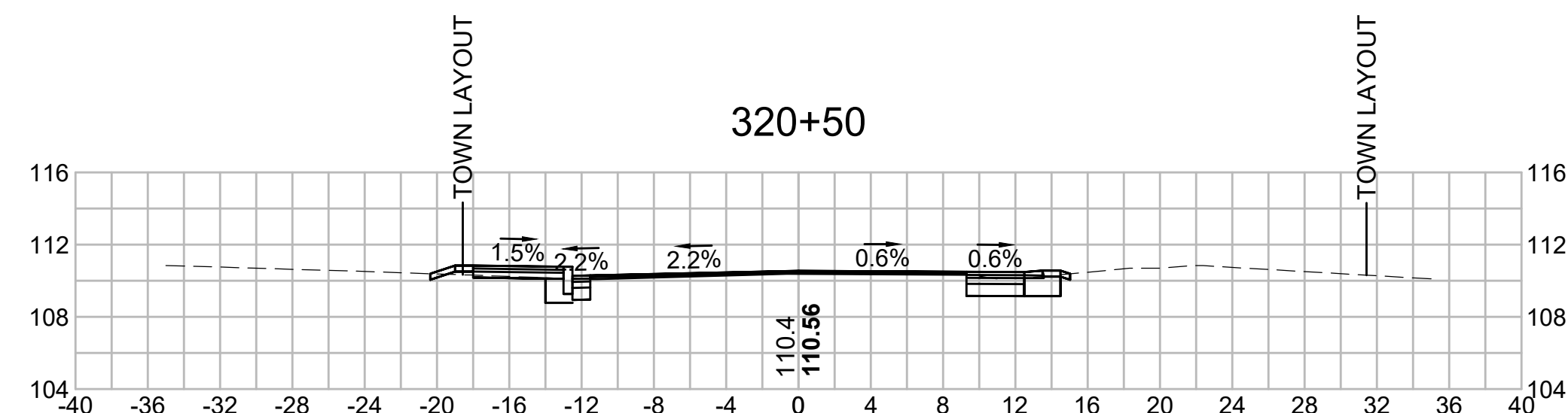
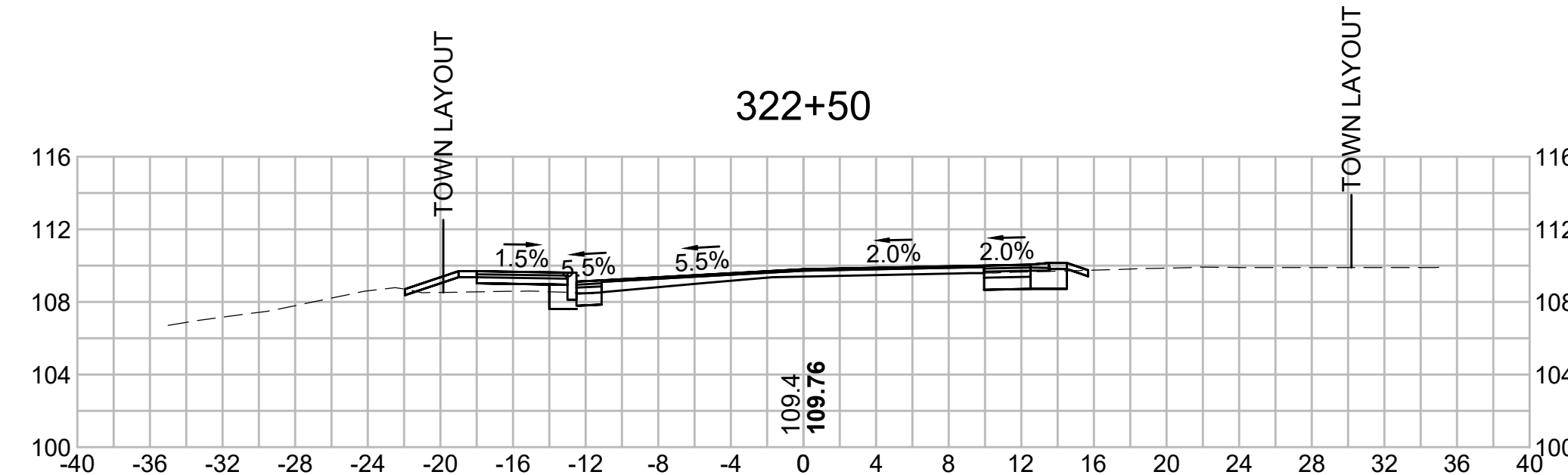
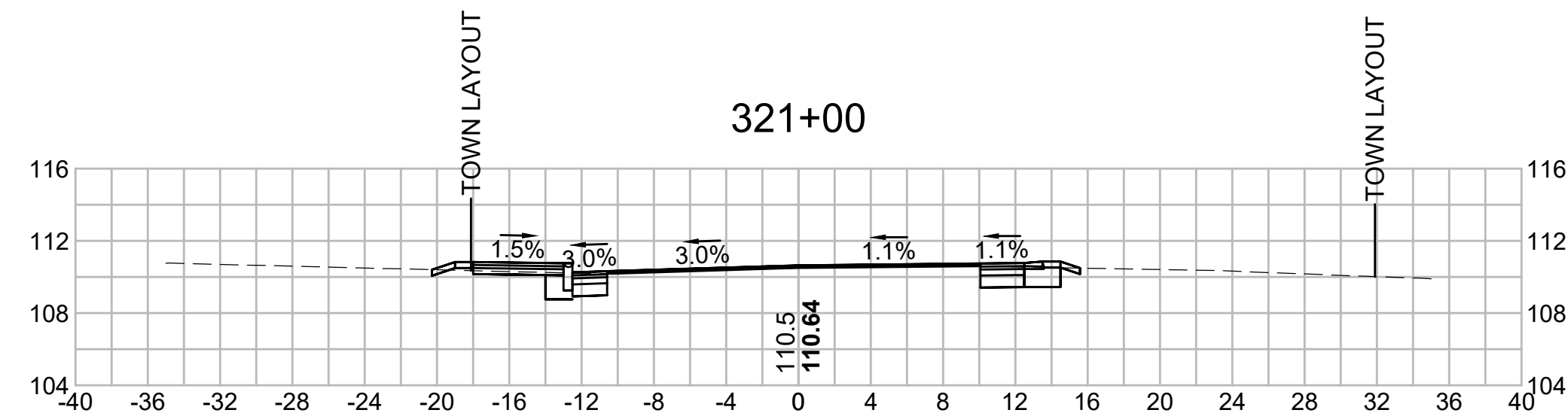
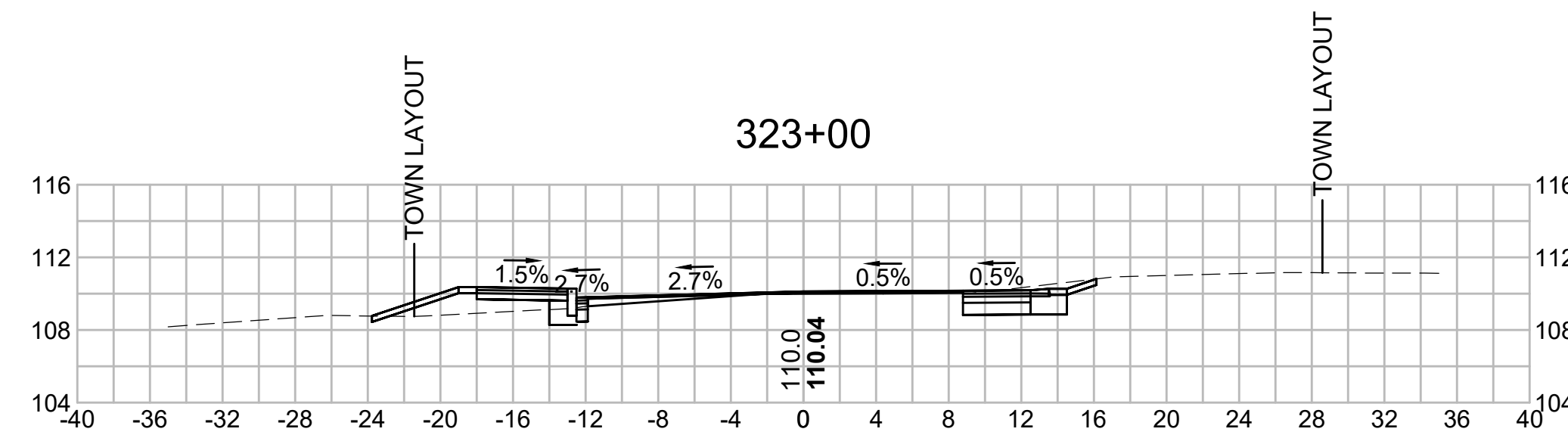
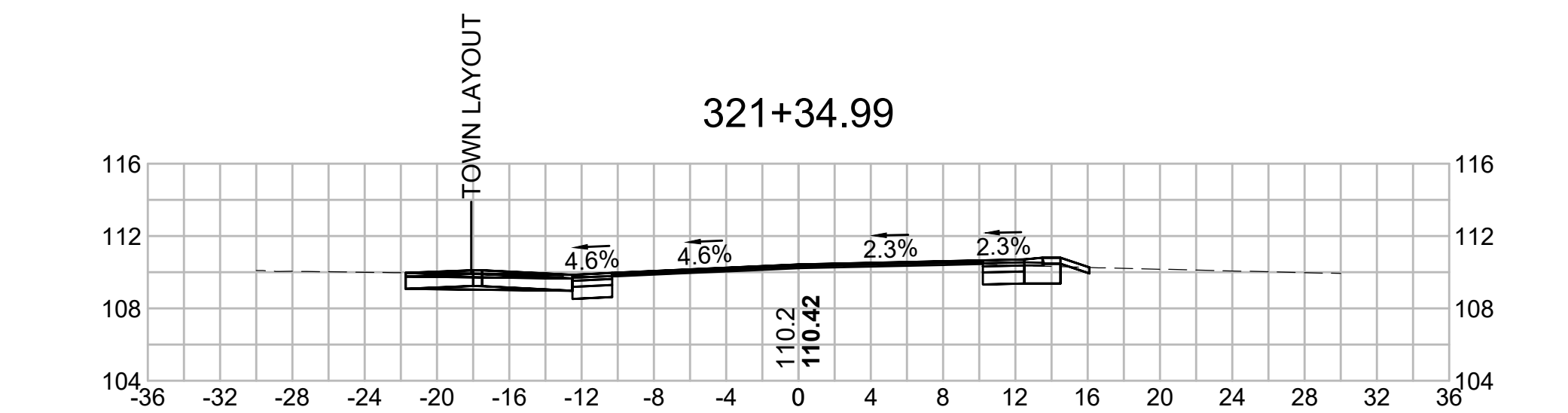
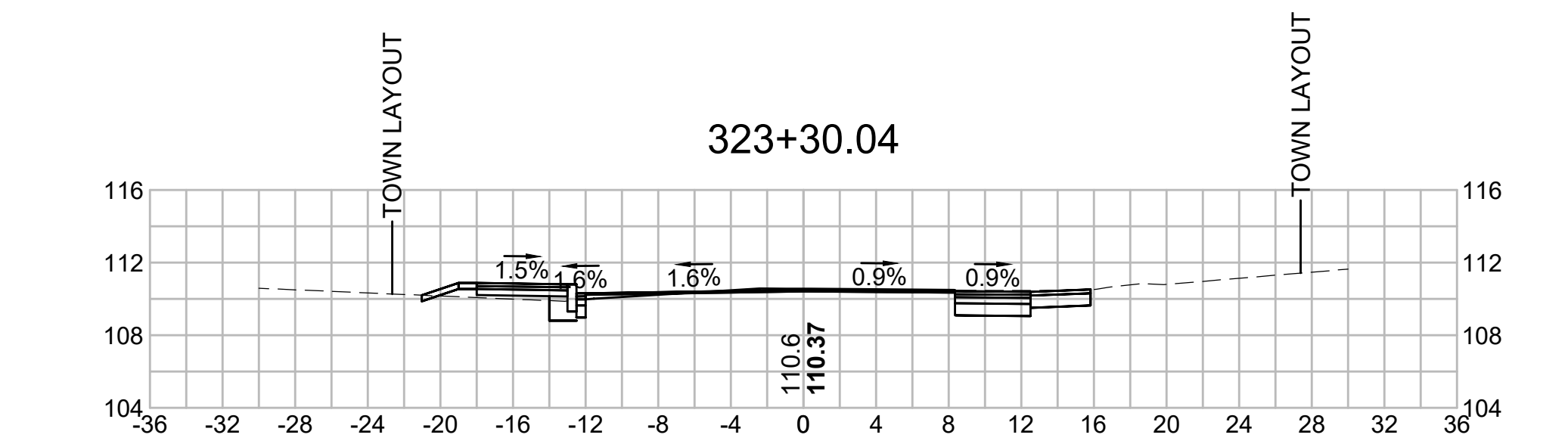
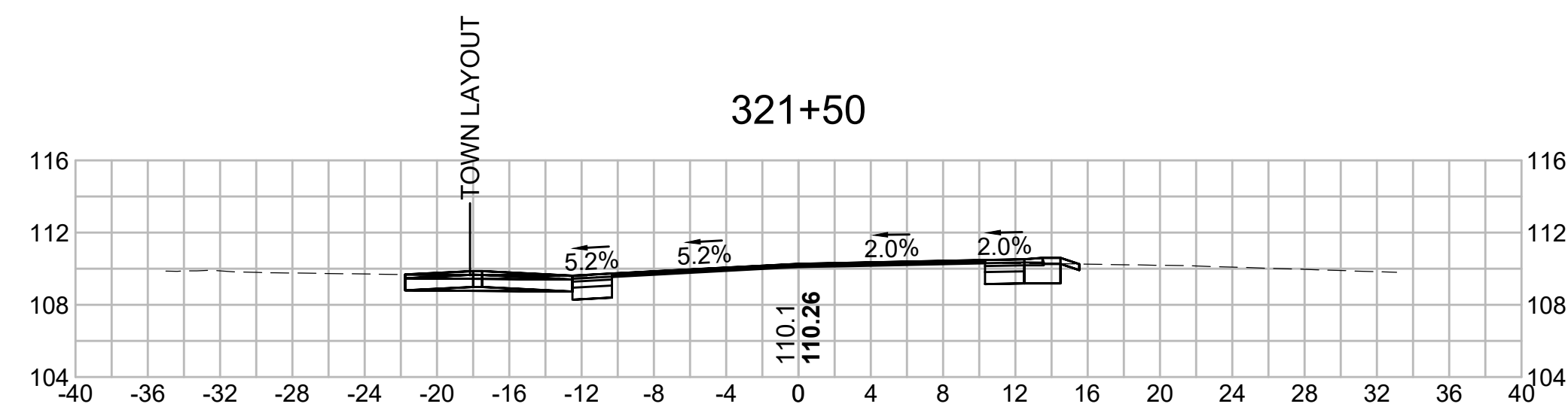
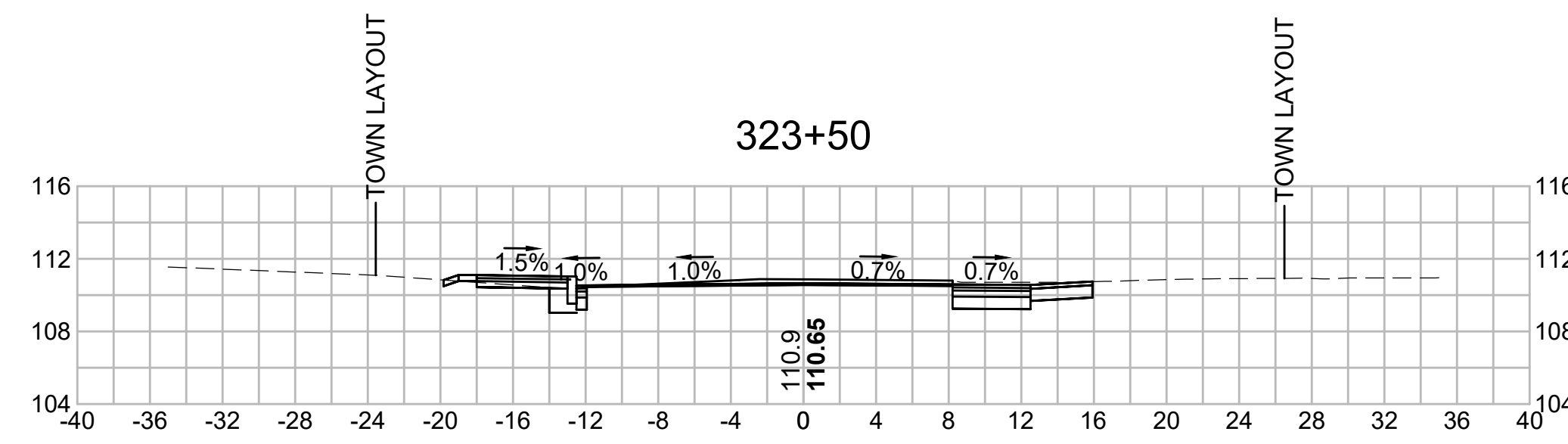
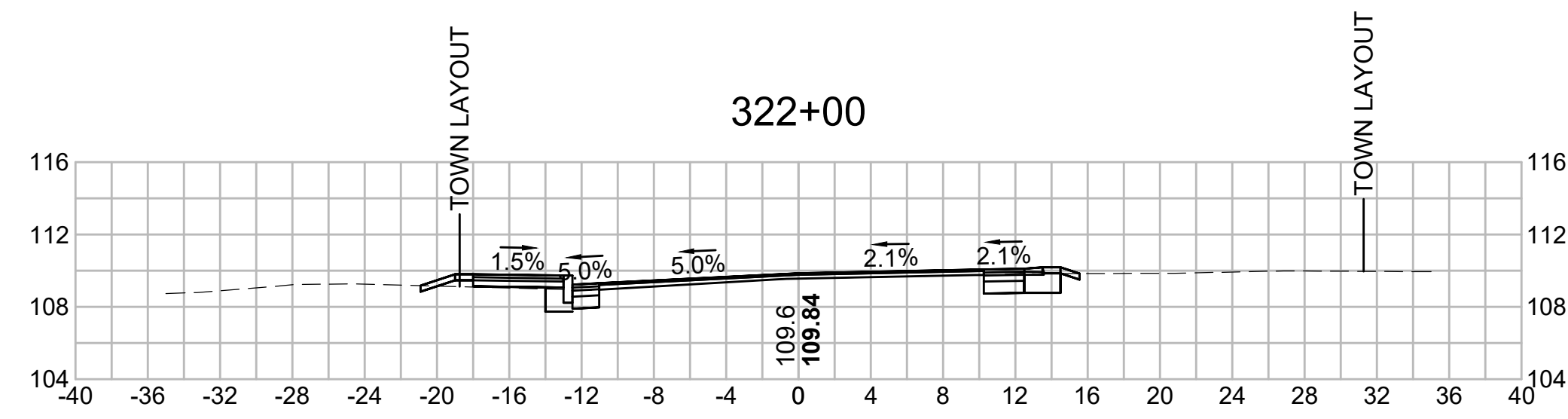


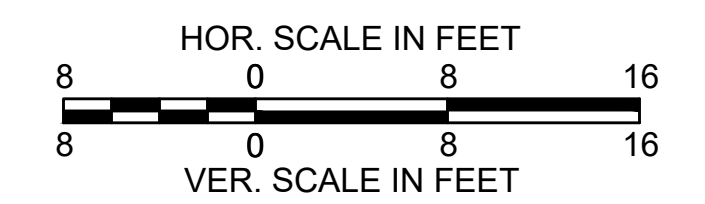
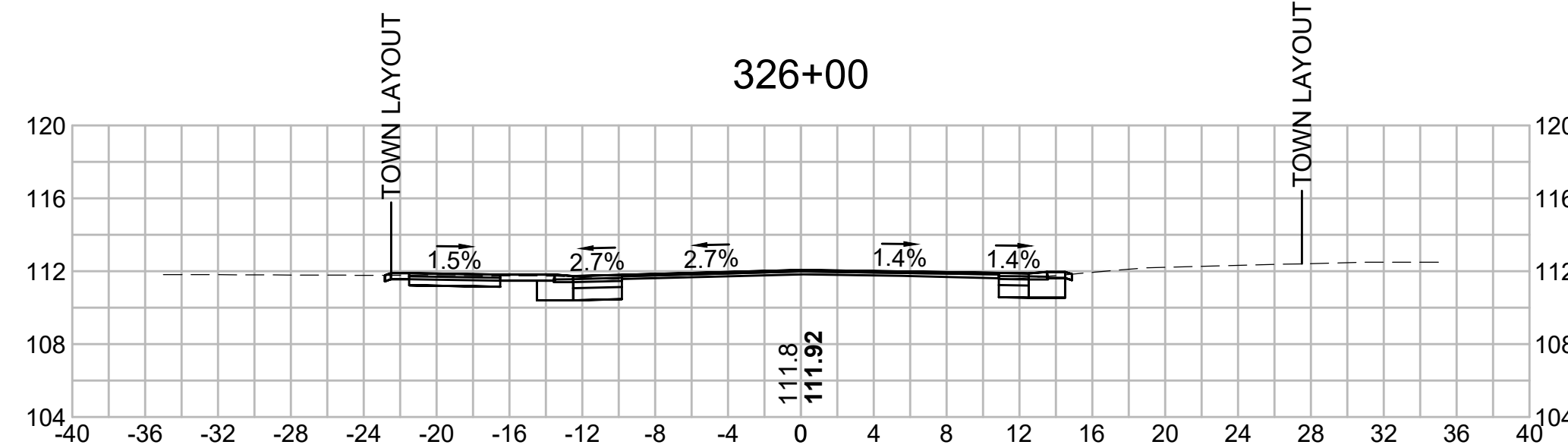
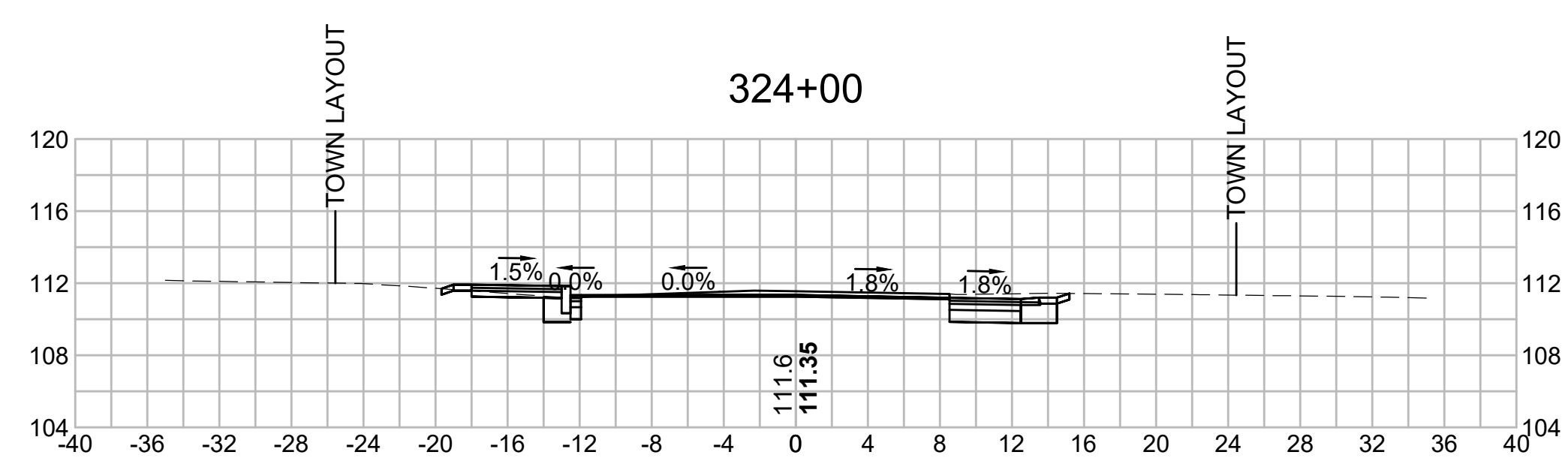
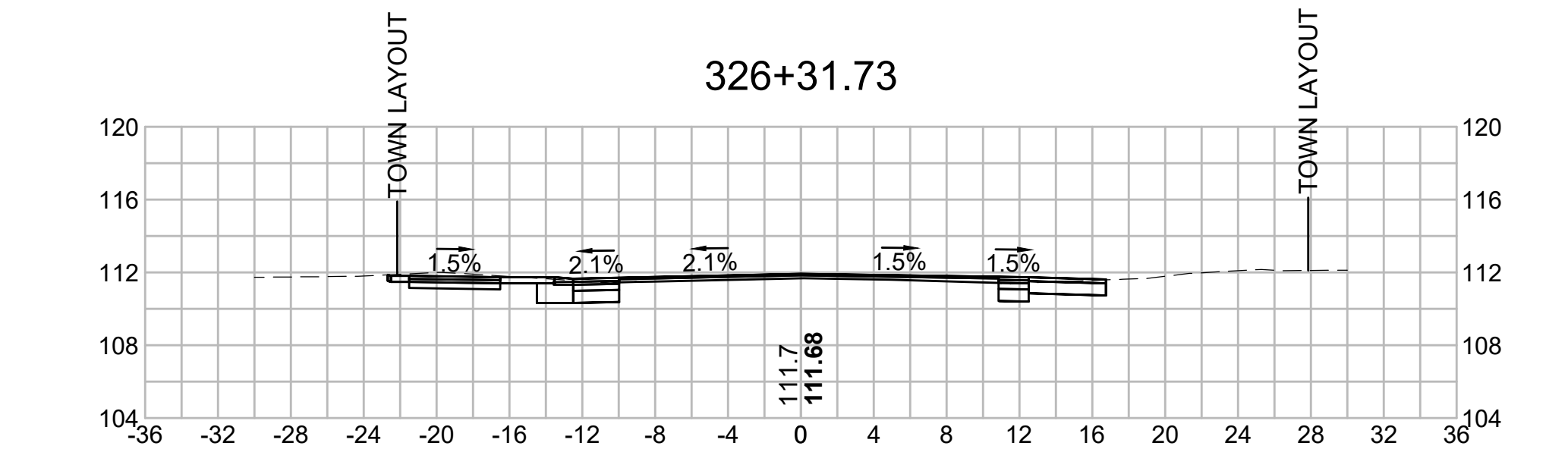
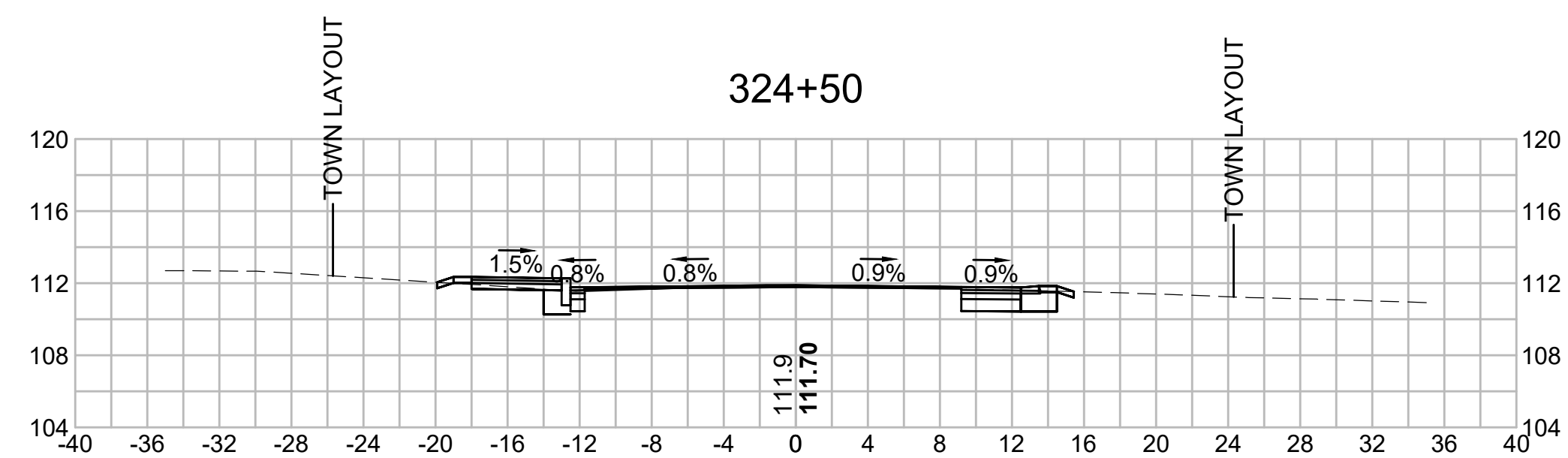
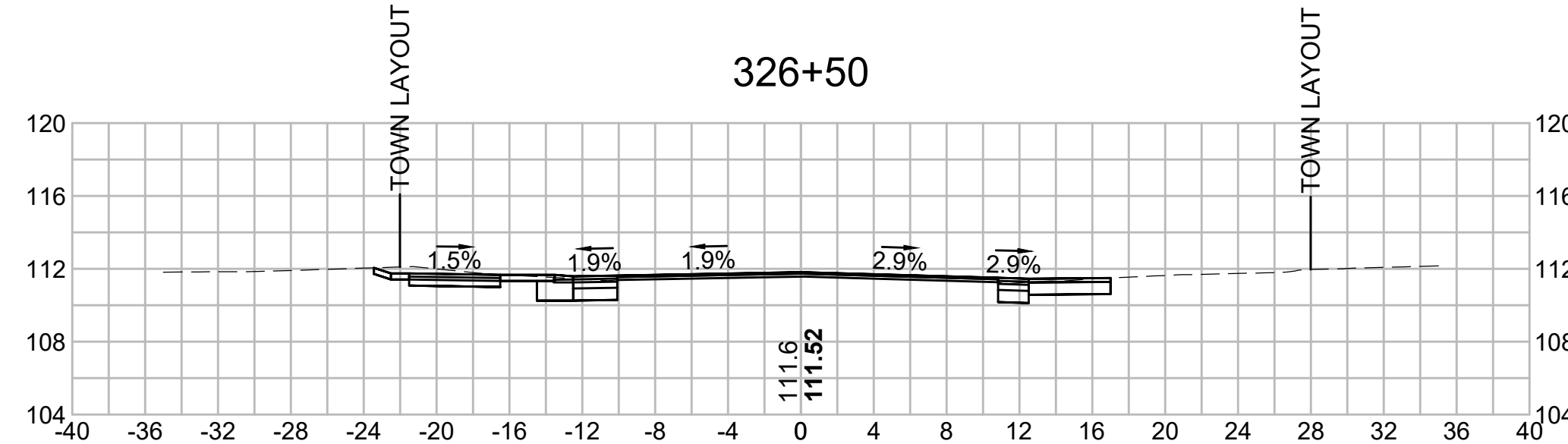
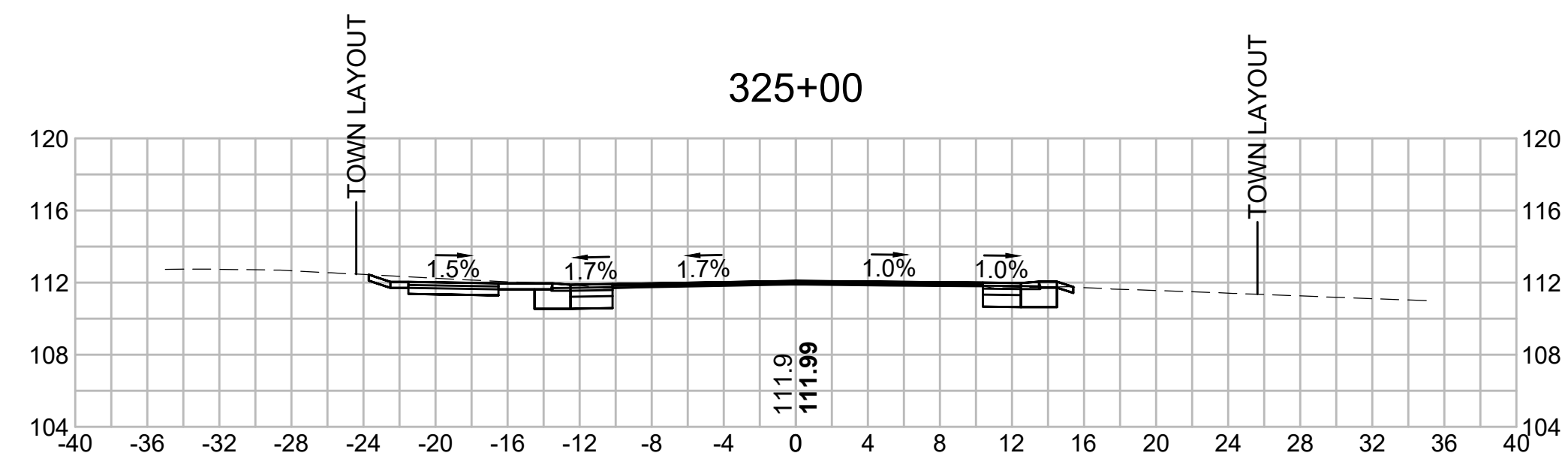
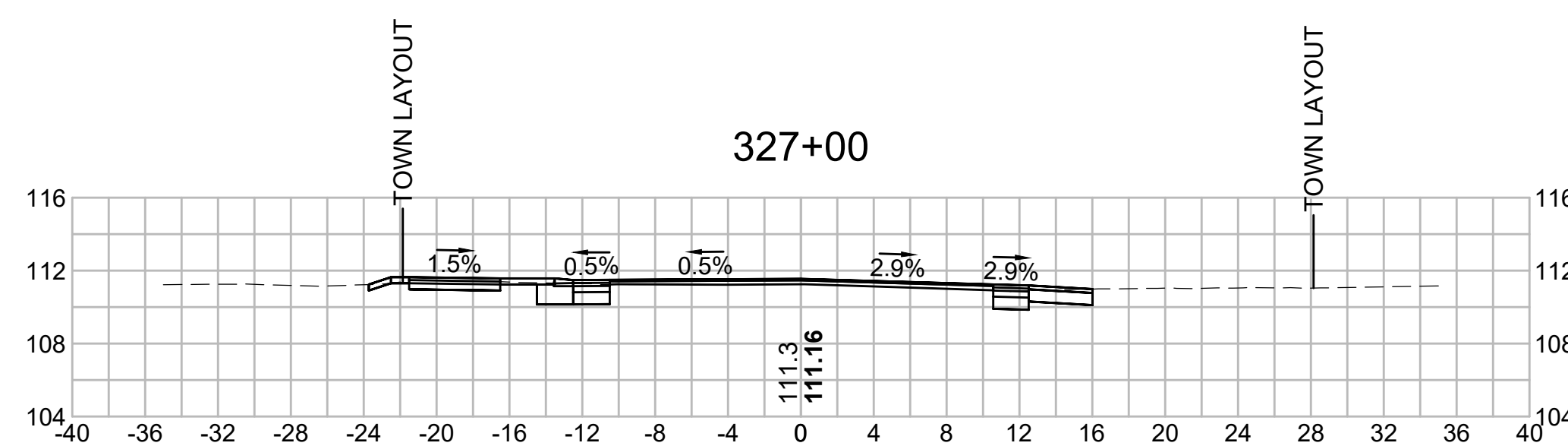
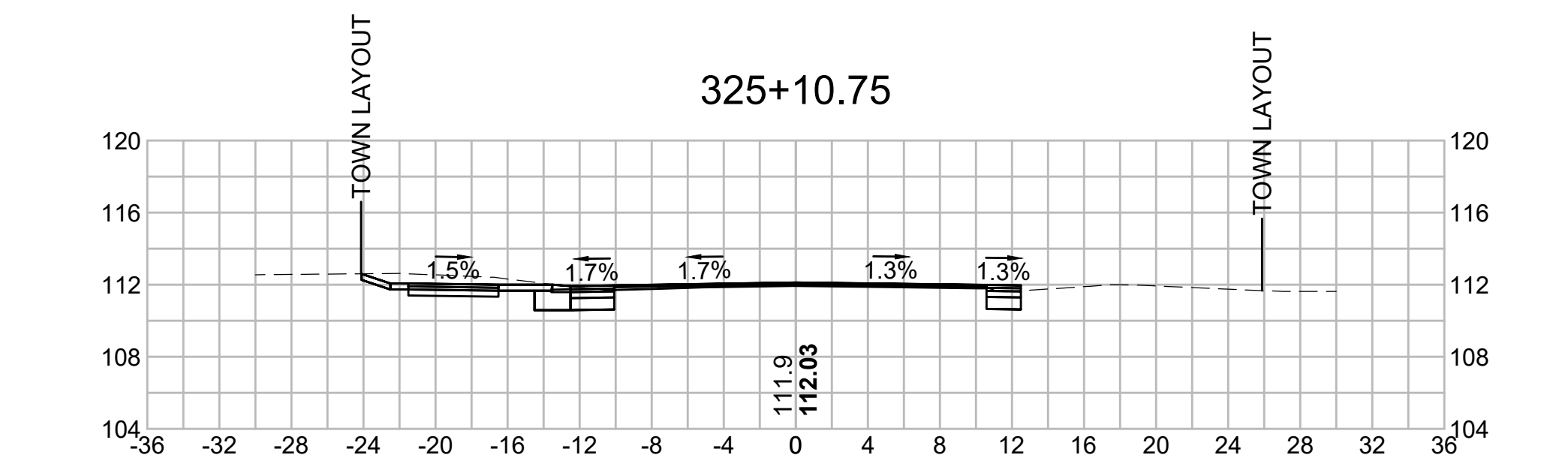
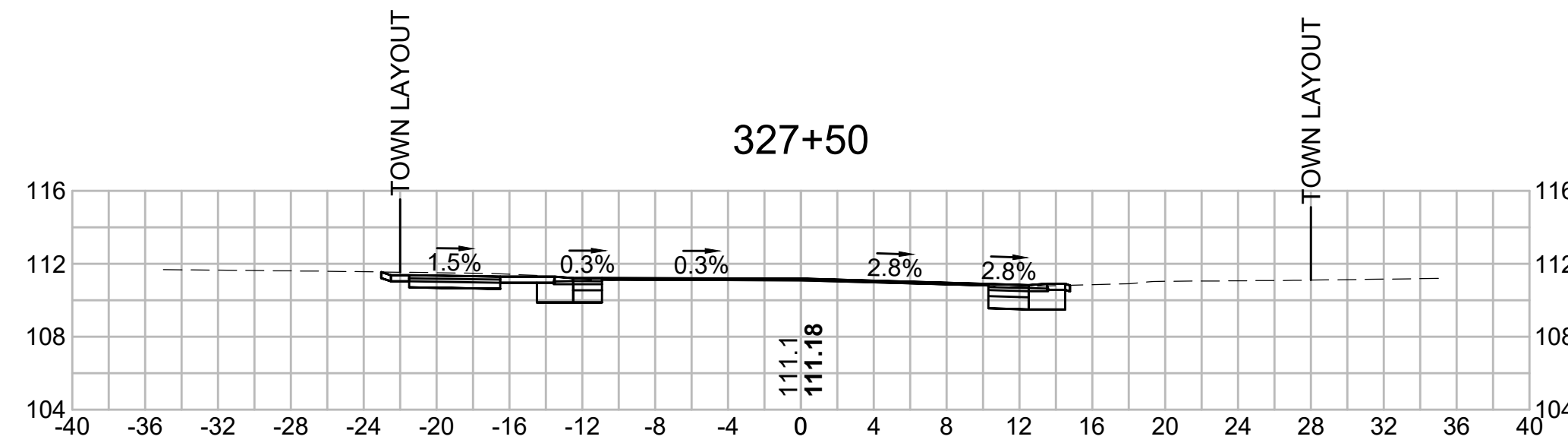
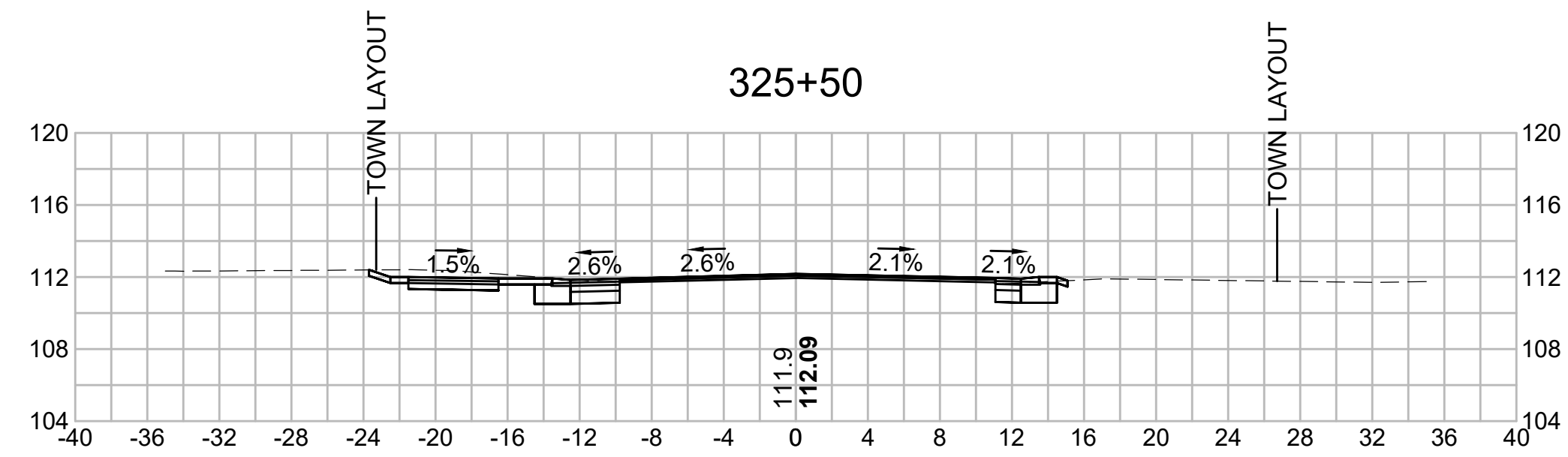


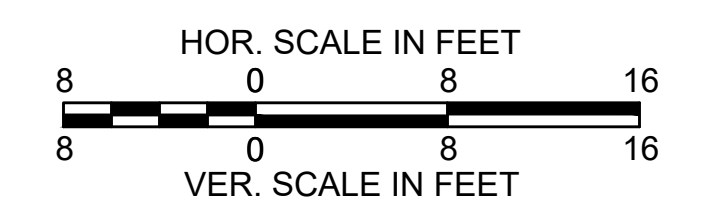
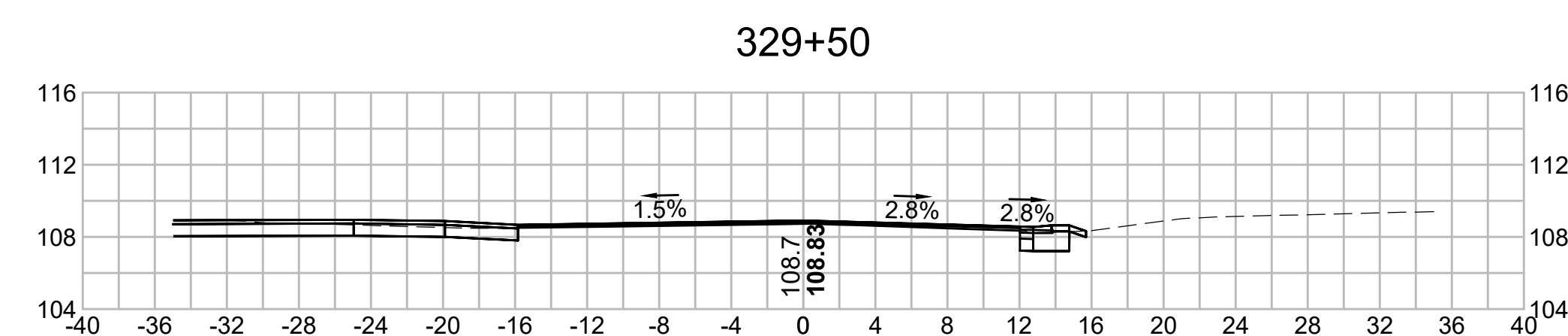
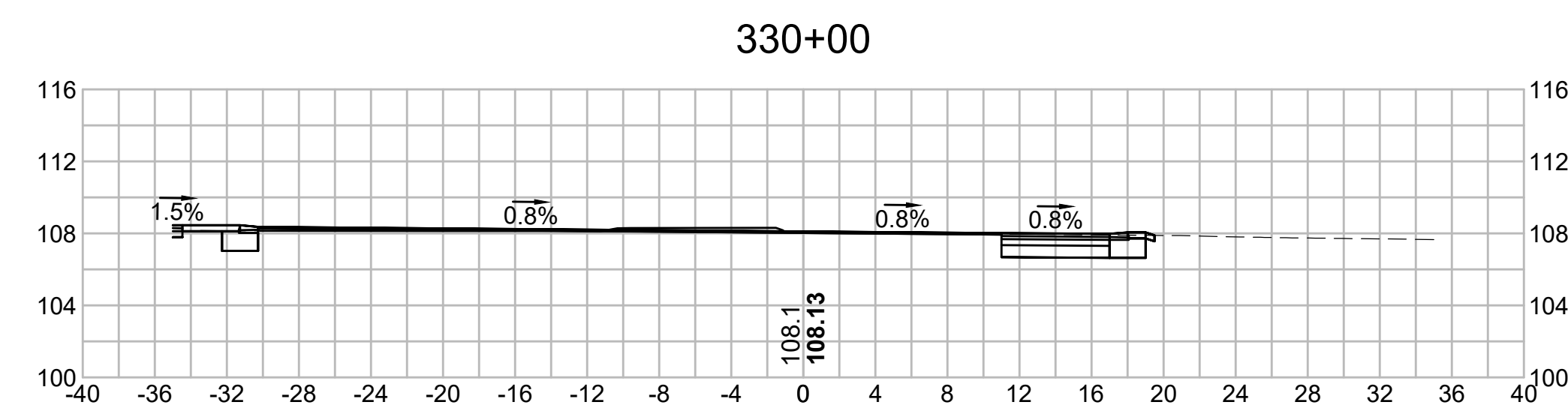
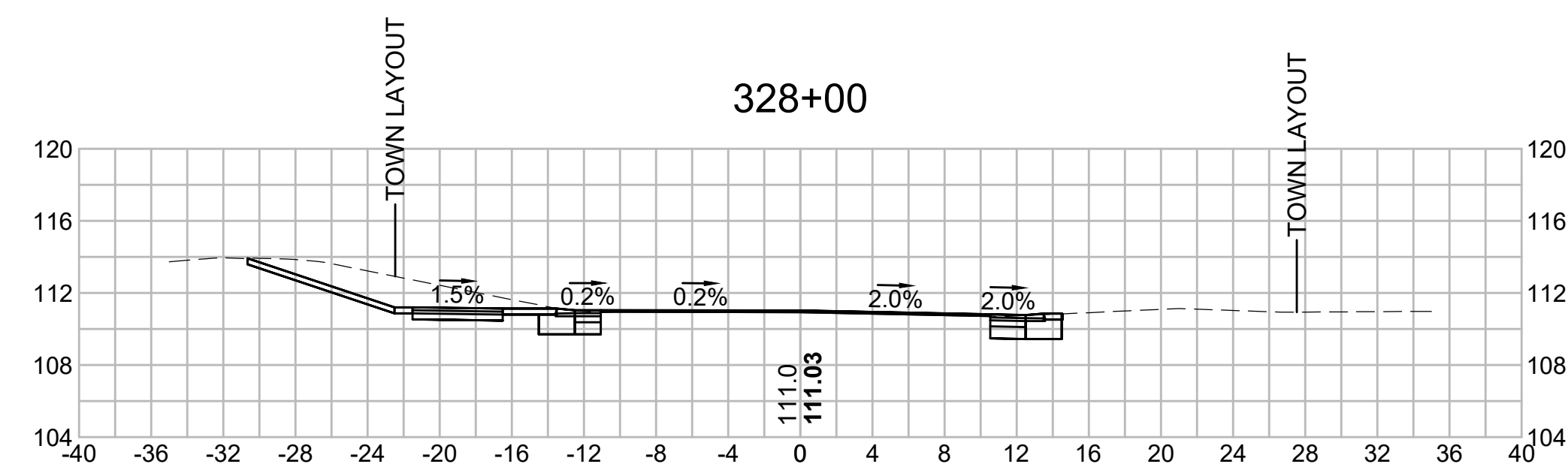
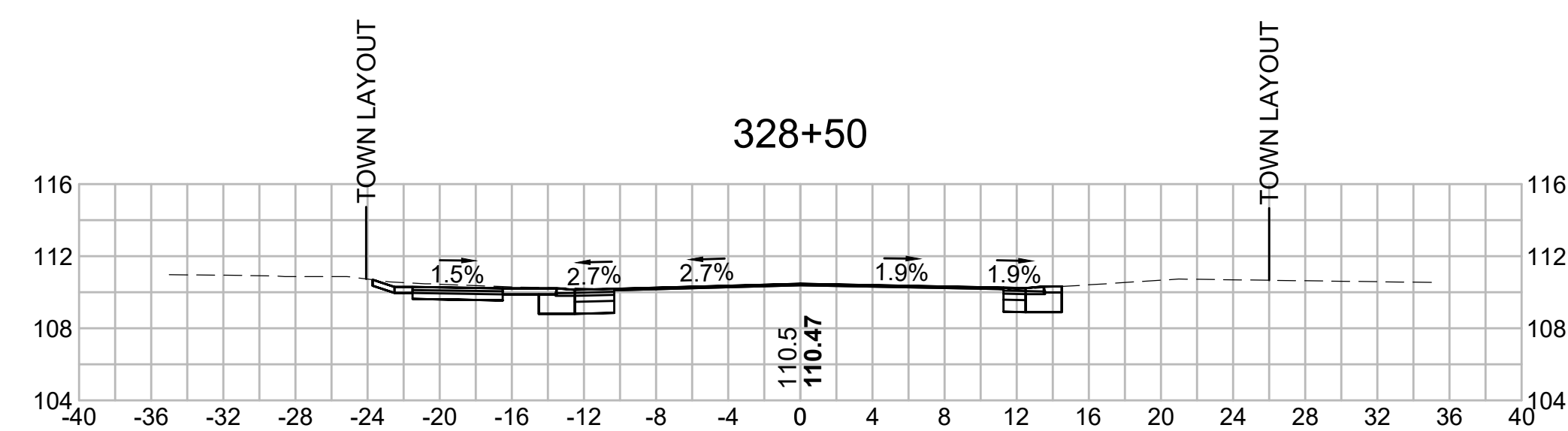
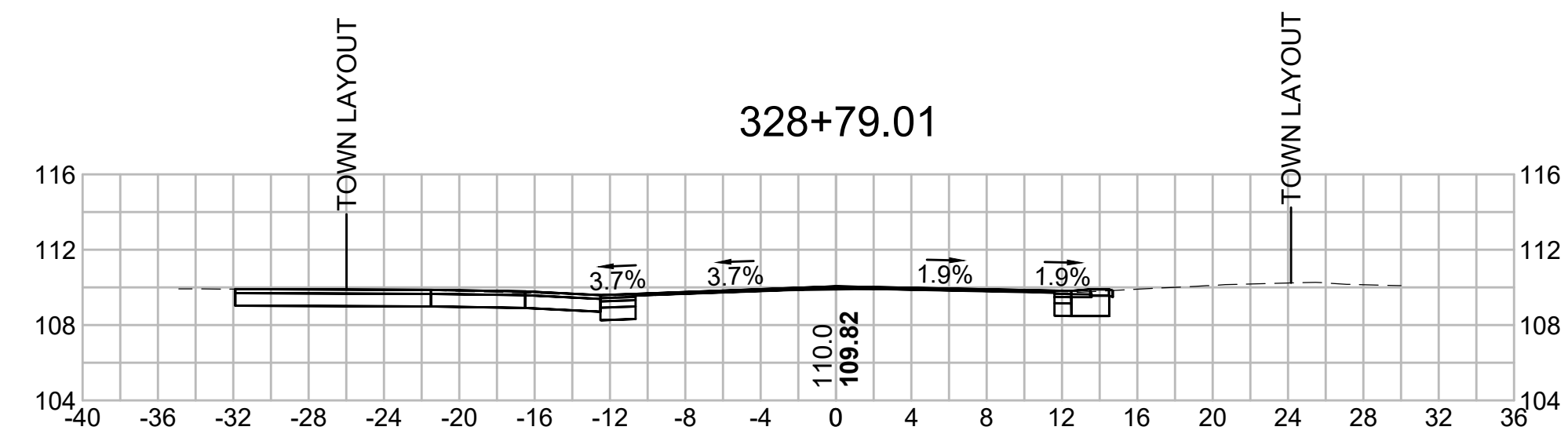
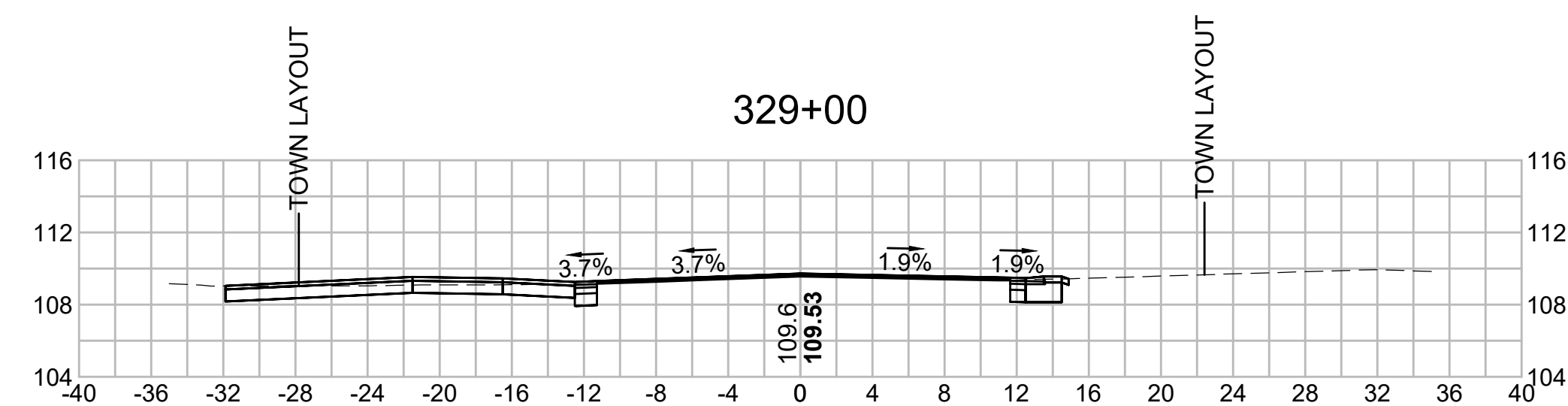
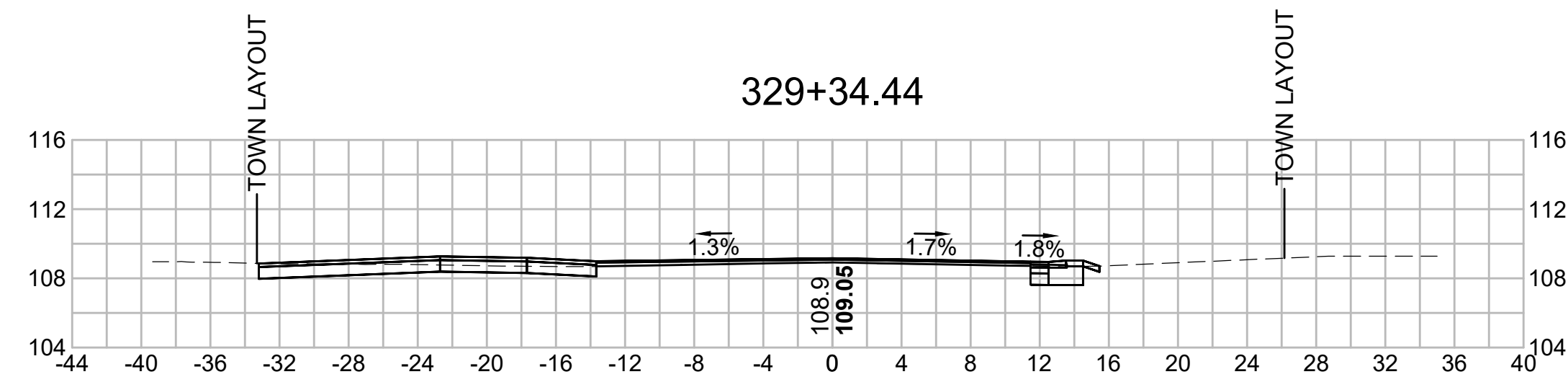














Town of Brewster

2198 Main Street
Brewster, MA 02631-1898
Phone: (508) 896-3701
www.brewster-ma.gov

Office of:
Select Board
Town Manager

MEMORANDUM

To: Select Board
From: Donna Kalinick, Assistant Town Manager
CC: Peter Lombardi, Town Manager
RE: Pond Property Policy
Date: March 8, 2024

Town Administration, in collaboration with the Cape Cod Sea Camps internal operations team, has been developing plans to provide interim access to the Pond Property, located off Route 137. In line with the plans and policies that have been implemented for the Bay property, the team has developed a policy for interim use of the Pond Property. This policy is based on similar policies for First Light Beach #64, the Brewster Community Pool #65, and Beaches & Landings #22.

The Town will be hosting tours of the Pond Property in advance of Town Meeting on April 6th and 10th, from 10am to 2pm. The Public Works Department has developed an interim parking area of 5 spaces, about two thirds of the way down the drive on the left-hand side of the road where an informal turn-off already existed. A minor stormwater permit was granted in conjunction with this project. The Town also sought a request for determination (RDA) through the Conservation Commission to allow the interim activities and maintenance in the area down by the beach that is within the wetlands. Conservation Commission approval was not needed for the interim parking area as it is well outside the wetland buffer zone. The Town plans to open the interim parking area for residents after the tours have been completed in April.

Due to limited parking, the limitations of this access, and the sensitivity to the wetlands, it is important that vehicles do not continue past the interim parking area and that they only park in the new designated area. There will not be any amenities at this location for this coming summer besides a portable bathroom and signage. This expanded interim access is an opportunity for residents to familiarize themselves with the Pond property and enjoy the walking trails and beach area. Town staff will be monitoring this location as necessary and will be adding signage in the appropriate areas.



Town of Brewster
2198 Main Street
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Policy No. 68
Approved: 03/25/2024

SELECT BOARD POLICY ON SEA CAMPS POND PROPERTY VISITOR ACCESS AND PARKING

A. PURPOSE:

The purpose of this policy is to explain parking and visitor access rules for the former Sea Camps Pond Property at 500 W.H. Besse Cartway. A single unpaved drive traverses the Pond Property. When used previously for camp activities, vehicle parking was not needed. To allow public access to the now Town-owned property, the Town has created a small parking area for up to 5 vehicles. Use regulations are necessary to protect visitors and the property's environment. These regulations apply to the former Sea Camps Pond Property and are promulgated by the Brewster Select Board who is charged with care, custody, and control of the property.

B. RULES AND REGULATIONS:

1. Vehicle parking is allowed in five (5) designated spaces only. Vehicles are not permitted to park in any location other than the designated parking area. Parking is prohibited along the drive and from blocking emergency access including on or adjacent to the drive and any adjacent roads. Motor vehicles are not permitted to park or travel beyond the designated parking area.
2. The beach and parking area will be open from dawn to dusk. Vehicles that remain in the parking lot after dusk will be towed at the owner's expense.
3. Visitors are allowed to enter the property on foot or by bicycle. All visitors must exit the property by dusk. Pedestrian and/or bicycle entry may be restricted by appropriate Town Agents as needed.
4. Vehicles should not continue down the drive past the parking area. If the parking area is full, visitors are asked to use the parking turn around area to exit the property. The existing drive is very narrow in areas, particularly towards the west end of the drive. There are no parking areas at the beach area and the proximal sensitive wetland

resource areas. There currently is no drop off and turn around area at the pond.

5. THERE IS NO LIFEGUARD ON DUTY. SWIM AT YOUR OWN RISK.
Please supervise children at all times within the public beach area, including in the water and on the beach area.
6. No boat storage.
7. No motorized vessels on the beach.
8. Please keep off sensitive wetland resource areas. Do not pick or disturb vegetation. Be aware of poison ivy, which is abundant. No feeding of waterfowl is allowed.
9. Per Board of Health Regulation, smoking is prohibited on all public bathing beaches, Town-owned parks, playgrounds, playing fields and walking trails.
10. Per Board of Health Regulation, animals and/or pets are not permitted at public ponds, landings, beaches and tidal flats and the associated parking areas, or in unattended vehicles from May 15 to September 15. At all other times, owners are responsible for keeping pets leashed and for the removal of animal waste.
11. The consumption of alcohol, the consumption of marijuana (whether through smoking or edibles) and the use of illegal drugs is not permitted in or on Town facilities. No person shall possess alcohol, marijuana products or paraphernalia, or illegal drugs on Town property. It is unlawful for any person to consume alcoholic beverages on public highways or in public parking places, including vehicles thereon, within the Town of Brewster.
12. Littering is prohibited. All visitors must take all refuse and recycling with them from the property. Glass containers are not allowed.
13. No person shall disturb the peace and tranquility of others. No lewd, obscene, profane, or indecent acts or language or excessive noise are permitted on Town property.
14. The damaging, defacing, or removing of any building, structure, or sign on Town property is not allowed. Violators will be prosecuted.
15. Selling, advertising, or giving away of goods or services on Town property is not allowed, except with written permission from the Select Board.

16. Tents, travel trailers, campers or other recreational vehicles are not allowed overnight on Town property. Vehicles over 20 ft are not permitted. Vehicles must fit within the parking lot in the designated parking area.
17. Use of open fires or the use of fireworks is prohibited at all times, per the Fire Department.
18. Access may be restricted at the discretion of the appropriate Town Agents at any time.
19. Private events are not permitted on this property.

C. VIOLATIONS, PENALTIES, and ENFORCEMENT

1. Pursuant to the provisions of Massachusetts General Laws, Chapter 40, Section 22, whoever shall violate the provisions of this Regulation shall be subject to a fine in the amount of (\$40.00) Forty Dollars per occurrence.
2. Fines shall be issued in accordance with the provisions of Massachusetts General Laws, Chapter 90, §20A ¼ , wherein it shall be the duty of every police officer who takes cognizance of a violation hereunder, to forthwith give the offender a notice, which shall be in tag form as provided in said Section 20A ¼ , to appear before the Brewster Town Clerk at any time during regular office hours, not later than twenty-one (21) days after the date of such violation. Said tag shall be affixed securely to the motor vehicle and shall contain, but shall not be limited to, the following information: the make, color and registration number of the vehicle involved and the state of issuance of said registration number, the date, time and place of the violation, the specific violations charged, the name and badge number of the officer and his division, a schedule of established fines, instructions for the return of the tag and a notice which reads: "This notice may be returned by mail, personally or by an authorized person. A hearing may be obtained upon the written request of the registered owner. Failure to obey this notice within twenty-one days after the date of violation may result in the non-renewal of the license to drive and the registration of the registered owner."
3. The Brewster Police Department shall also have authority to tow the motor vehicle in the event it is not removed within four (4) hours of the issuance of the fine, or in the event the enforcing officer determines the vehicle is causing a public safety hazard.

4. The Brewster Town Clerk, a duly appointed Parking Clerk for the Town of Brewster, shall maintain a docket of all such notices to appear. Any person notified to appear before the Parking Clerk, as provided herein, may appear before such parking clerk, or their designee, and confess the offense charged, either personally or through an agent duly authorized in writing or by mailing to such Parking Clerk the notice accompanied by the fine provided therein. Payment of the fine established shall operate as a final disposition of the case.
5. Should any person fail to pay the fine, or having appeared desire not to pay the fine, the Parking Clerk shall forthwith schedule a hearing. Written notice of the date, time, and place of said hearing shall be sent by first-class mail to the registered owner. Said hearing shall be informal, the rules of evidence shall not apply, and the decision of the hearing officer shall be final subject to judicial review as provided by Chapter 30(A) Section 14 of the Mass. General Laws.
6. The foregoing Regulation is adopted by the Brewster Select Board on this twenty-fifth day of March 2024 and shall take effect after it has been published at least once in a local newspaper.

Approved by the Brewster Select Board:

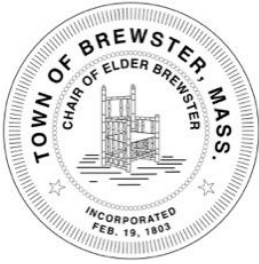
Ned Chatelain, Chair

Mary Chaffee, Vice Chair

Kari Hoffmann, Clerk

Dave Whitney

Cynthia Bingham



Town of Brewster
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Policy No. 68
Approved: 03/25/2024

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B. RULES AND REGULATIONS:

1. Vehicle parking is allowed in five (5) designated spaces only. Vehicles are not permitted to park in any location other than the designated parking area. Parking is prohibited along the drive and from blocking emergency access including on or adjacent to the drive and any adjacent roads. Motor vehicles are not permitted to park or travel beyond the designated parking area.
2. The beach and parking area will be open from dawn to dusk. Vehicles that remain in the parking lot after dusk will be towed at the owner's expense.
3. Vehicle permits are required for parking on this property from June 15 through the Sunday of Labor Day weekend. Permits for parking may be obtained by residents using the mail-in program or online at www.brewster-ma.gov. Residents will be issued a physical permit that must be placed on the rear left bumper of the vehicle. Failure to properly attach and display the resident beach permit will result in a fine.

2. Non-resident daily and seasonal permits can be purchased online and will be issued electronically using plate reader technology verification. All permits (resident and non-resident) will bear the registration number and state for the vehicle for which it has been issued and shall be valid only for that vehicle.

3.4. Visitors are allowed to enter the property on foot or by bicycle. All visitors must exit the property by dusk. Pedestrian and/or bicycle entry may be restricted by appropriate Town Agents as needed.

4.5. Vehicles should not continue down the drive past the parking area. If the parking area is full, visitors are asked to use the parking turn around area to exit the property. The existing drive is very narrow in areas, particularly towards the west end of the drive. There are no parking areas at the beach area and the proximal sensitive wetland resource areas. There currently is no drop off and turn around area at the pond.

5.6. THERE IS NO LIFEGUARD ON DUTY. SWIM AT YOUR OWN RISK. Please supervise children at all times within the public beach area, including in the water and on the beach area.

6.7. No boat storage.

7.8. No motorized vessels on the beach.

8.9. Please keep off sensitive wetland resource areas. Do not pick or disturb vegetation. Be aware of poison ivy, which is abundant. No feeding of waterfowl is allowed.

9.10. Per Board of Health Regulation, smoking is prohibited on all public bathing beaches, Town-owned parks, playgrounds, playing fields and walking trails.

10.11. Per Board of Health Regulation, animals and/or pets are not permitted at public ponds, landings, beaches and tidal flats and the associated parking areas, or in unattended vehicles from May 15 to September 15. At all other times, owners are responsible for keeping pets leashed and for the removal of animal waste.

11.12. The consumption of alcohol, the consumption of marijuana (whether through smoking or edibles) and the use of illegal drugs is not permitted in or on Town facilities. No person shall possess alcohol, marijuana products or paraphernalia, or illegal drugs on Town property. It is unlawful for any person to consume alcoholic beverages on public highways or in public parking places, including vehicles thereon, within the Town of Brewster.

- ~~12.13.~~ Littering is prohibited. All visitors must take all refuse and recycling with them from the property. Glass containers are not allowed.
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- ~~14.15.~~ The damaging, defacing, or removing of any building, structure, or sign on Town property is not allowed. Violators will be prosecuted.
- ~~15.16.~~ Selling, advertising, or giving away of goods or services on Town property is not allowed, except with written permission from the Select Board.
- ~~16.17.~~ Tents, travel trailers, campers or other recreational vehicles are not allowed overnight on Town property. Vehicles over 20 ft are not permitted. Vehicles must fit within the parking lot in the designated parking area.
- ~~17.18.~~ Use of open fires or the use of fireworks is prohibited at all times, per the Fire Department.
- ~~18.19.~~ Access may be restricted at the discretion of the appropriate Town Agents at any time.
- ~~19.20.~~ Private events are not permitted on this property.

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specific violations charged, the name and badge number of the officer and his division, a schedule of established fines, instructions for the return of the tag and a notice which reads: "This notice may be returned by mail, personally or by an authorized person. A hearing may be obtained upon the written request of the registered owner. Failure to obey this notice within twenty-one days after the date of violation may result in the non-renewal of the license to drive and the registration of the registered owner."

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5. Should any person fail to pay the fine, or having appeared desire not to pay the fine, the Parking Clerk shall forthwith schedule a hearing. Written notice of the date, time, and place of said hearing shall be sent by first-class mail to the registered owner. Said hearing shall be informal, the rules of evidence shall not apply, and the decision of the hearing officer shall be final subject to judicial review as provided by Chapter 30(A) Section 14 of the Mass. General Laws.
6. The foregoing Regulation is adopted by the Brewster Select Board on this ~~eleventh-twenty-fifth~~ day of March 2024 and shall take effect after it has been published at least once in a local newspaper.

Approved by the Brewster Select Board:

Ned Chatelain, Chair

Mary Chaffee, Vice Chair

Kari Hoffmann, Clerk

Dave Whitney

Cynthia Bingham



Donna Kalinick

From: Peter Lombardi
Sent: Tuesday, March 12, 2024 3:13 PM
To: Heath Eldredge; Donna Kalinick
Subject: RE: Pond Property

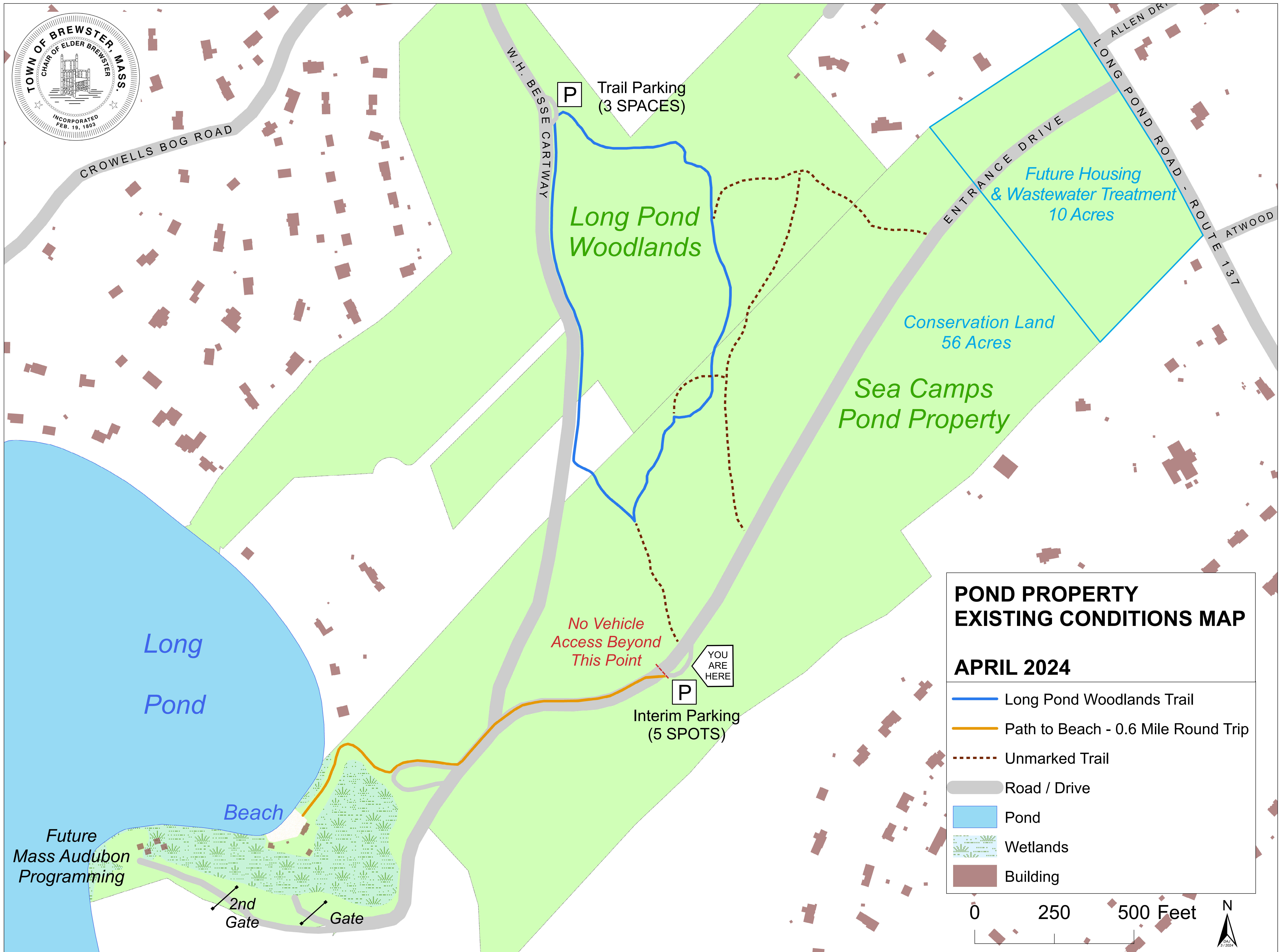
Thanks for this follow-up, Chief – we appreciate it.

Peter Lombardi
Town Manager
Town of Brewster
508-896-3701 x. 1128

Brewster Town Offices are open to the public Monday through Thursday from 8:30am to 4:00pm, and by appointment on Fridays.

From: Heath Eldredge <heldredge@brewster-ma.gov>
Sent: Tuesday, March 12, 2024 3:12 PM
To: Peter Lombardi <plombardi@brewster-ma.gov>; Donna Kalinick <dkalinick@brewster-ma.gov>
Subject: RE: Pond Property

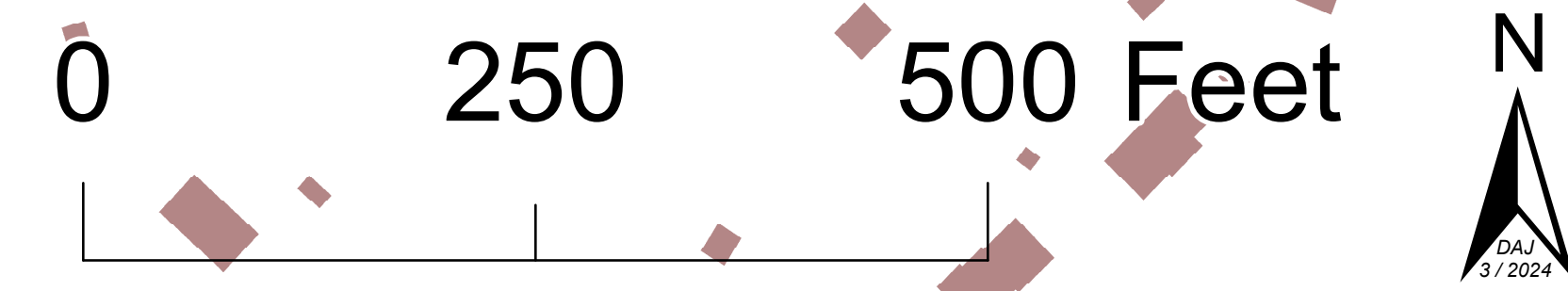
I took a drive down there today, and based on the location I have a couple of observations. First, being as out of the way as it is from the rest of the beaches in town, regular enforcement of beach sticker parking would reduce the amount of proactive enforcement we are able to do at the other beaches. Not to say we can't accomplish it, but it would detract from the other beaches. My second observation is less to do with our enforcement capabilities, but more to do with the setup. Seeing that the interim parking area is so far from the actual pond/beach area, residents may be confused about the requirement for a beach sticker. I would almost compare this new parking area to the parking area at the end of Run Hill Road to access the trails of the Punkhorn. Yes, the Upper Mill Pond access is within walking distance, but we don't treat that lot as a beach parking lot. Obviously, this is more of a policy decision for the Select Board, but just my observations.



POND PROPERTY EXISTING CONDITIONS MAP

APRIL 2024

- Long Pond Woodlands Trail
- Path to Beach - 0.6 Mile Round Trip
- - - Unmarked Trail
- Road / Drive
- Pond
- Wetlands
- Building



For Your Information

March 25, 2024

1. Barnstable County Sheriff's Office Year in Review
2. Brewster's MassDOT Chapter 90 Apportionment for FY2025
3. MassPRIM (Pension Reserves Investment Management) February Report
4. Changes to the Xfinity Channel Line-up



**YEAR IN
REVIEW
2023**

Barnstable County Sheriff's Office

Photograph by Parth Patel



The Barnstable County Sheriff's Office has always been dedicated to improving public safety. This historic and overarching goal has not changed. With a new sheriff in office, however, the approach is different. In 2023, we set our sights on three main objectives: prevention of criminal behavior, providing quality care for incarcerated individuals, and helping the individuals succeed once they are back in society.

As one of 14 Massachusetts sheriffs, the BCSO runs a correctional facility that houses people who have committed lower-level crimes with sentences no longer than 2.5 years. Our incarcerated individuals are our neighbors, family members, employees, and students. The majority of them have grown up with severe trauma, addiction, and/or mental health struggles. Many have been abused as children, raised in foster care, and multi-generational dysfunction.

We must address the root causes of their behavior if we want them to get well. That means providing mental and medical care, job placement, and vocational classes while they are here and connecting them to appropriate services when they are released.

To that end, we reallocated our resources by ending our relationship with U.S. Immigration and Customs Enforcement. We gave away our patrol boat. We ended our contract with a private for-profit healthcare vendor and hired our own in-house Health Services Department. We invested in Youth Programs in 2023 and plan to do even more in 2024.

Bridges are an important symbol of this new course of action. Only by creating relationships with outside organizations, can we build a safety net that assists both youth-at-risk and those already in the criminal justice system.

Providing quality care means caring for the staff. Among other professional development and support, we added mental health first aid classes for the employees this year to bolster a training department that is already second to none. It's exciting to think about what we can accomplish together in 2024.

A new system is rising that prioritizes rehabilitation and treatment. It will improve public safety for all of us.

Very truly yours,

Donna D. Buckley
Barnstable County Sheriff





Welcome to the Barnstable County Sheriff's Office

The Barnstable County Sheriff's Office was founded in 1692. We have evolved with the criminal justice system in both our physical spaces and our philosophies. The original six-cell "Old Jail" at 3353 Main Street, Barnstable operated from 1692 to 1820 and is the oldest wooden jail in the United States. For the past 20 years, the Barnstable County Correctional Facility has been at 6000 Sheriff's Place, in Bourne.

As it has for centuries, our main mission today continues to be operation of a correctional facility and the care and custody of incarcerated individuals.

We are a part of the Cape's public safety community in many other ways. Between our Regional Emergency Communications Center and our Bureau of Criminal Investigations, we respond to most public safety emergencies throughout Cape Cod on a daily basis. Whether it's our officers participating in undercover investigations, or our youth programs director redirecting teenagers before they commit crimes, we are helping keep this county safe and improving outcomes for those who are incarcerated.



The Barnstable County Correctional Facility, which opened in 2004, can hold up to 588 incarcerated individuals and consists of three houses made up of 12 different pods or housing units. These units house both male and female pre-trial and sentenced inmates.

We receive most of our funding (\$32.8 million in 2023) from the Commonwealth of Massachusetts. We also were awarded \$3.7 million in grants in 2023.

Incarceration Population Trends

A total of 1,028 people were taken into custody this year, 183 (17.8 %) women to 845 males. They include 616 pre-trial intakes and 56 sentenced, along with 356 people held for warrant management/

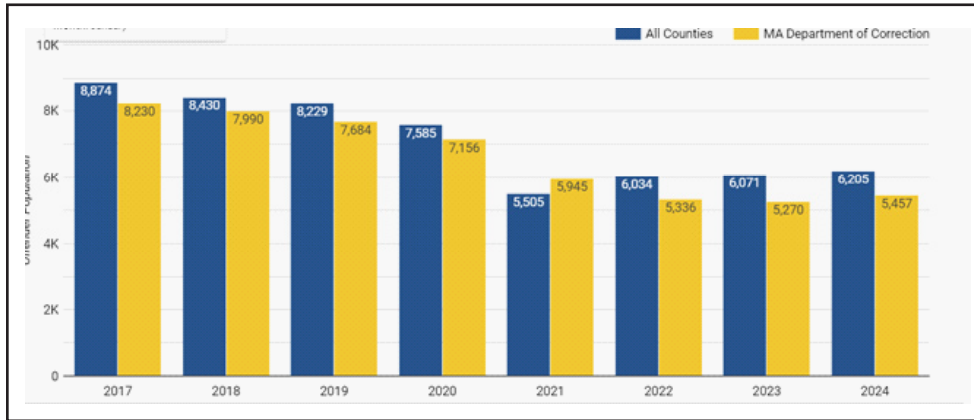
police "safekeeps." (Safekeeps is shorthand for detainees who were arrested after the courts closed. We hold them until they can be arraigned.)

The Five Most Common Charges for 2023

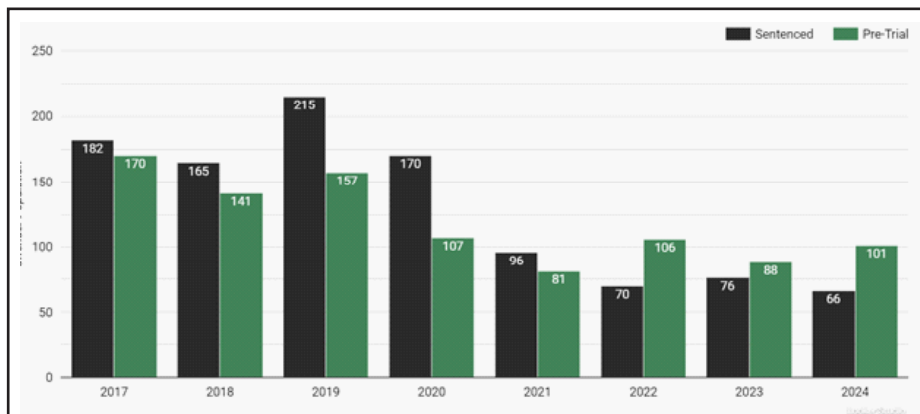
In 2023, the staff booked 1,028 individuals into the Barnstable County Correctional Facility.

- 162 Counts: A&B on Family/Household Member
- 100 Counts: A&B
- 94 Counts: Resist Arrest
- 92 Counts: Threat to Commit Crime
- 85 Counts: Assault W/Dangerous Weapon

Statewide Incarcerated Populations Have Decreased (2017-2024, Snapshot as of Jan 1st by year)



Barnstable County Correctional Facility Population (2017-2024 snapshot as of Jan. 1st by year)



Programs Department Expands

Human Services and Programs grew rapidly in 2023. Chief of Inmate Programs and Services Barbara Clarkson and her staff have spent the year creating and improving treatments with a focus on trauma-informed care. Programs are designed to address criminal and addictive behaviors, reduce recidivism, and promote community safety.

We have switched to a case-management model, whereby every incarcerated individual (pre-trial and sentenced) is assigned a case manager soon after intake. Re-entry work is embedded into the program, which includes work with Mass Health, provider appointments, and community resources.

During 2023, we prioritized the development of an all-inclusive Women's Therapeutic Treatment Program or WTTP, and began reevaluating the programming available to men.

What else is new programs?

- The Education Department began offering GED testing online.
- The BCSO partnered with Falmouth Public Library to organize our library and improve access to books.
- Goal Setting and Journaling for men.
- Journaling for women
- Memoir Writing for women



Programs Partners 2023:



Bourne Substance Free Coalition Co-Founder and Licensed Mental Health Counselor Beth Griffin and Chief of Inmate Programs and Services Barbara Clarkson carry Resource Bags donated by the Coalition. The bags contain life-saving Narcan, fentanyl test strips, toiletries, bus schedules, a MBTA Charlie Card, pens, paper and hand sanitizer to be given to the incarcerated individuals when they are released.

We Can
Independence House
Learn to Cope
Children's Cove
Amazing Grace
Mass-Hire / Second Chance Employers
Massachusetts Rehabilitation Commission
Department of Transitional Assistance
Housing Assistance Corporation
Grace Yoga
Health Imperatives

Duffy Health Center
Cape Cod Chamber of Commerce
Bourne Substance Free Coalition
Cape Cod Community College
Big Brothers Big Sisters of Cape Cod and the Islands
Community Health Center of Cape Cod
Cultural Center of Cape Cod
Gosnold Behavioral Health
Police Athletic League of Cape Cod

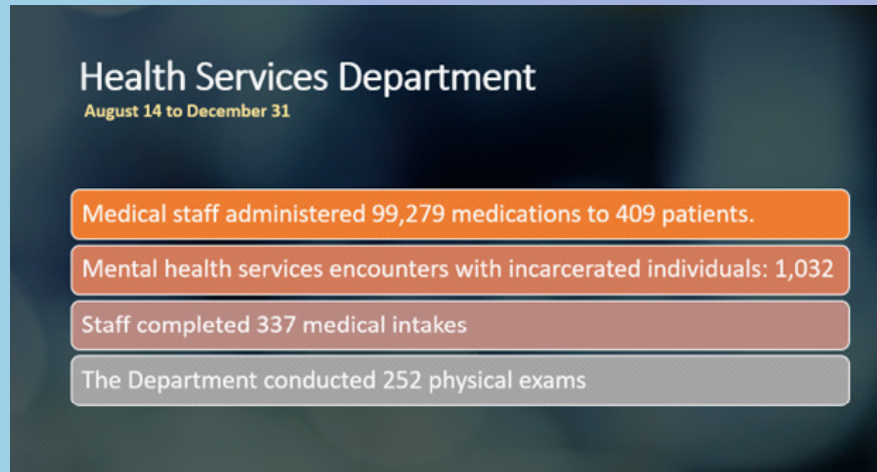
Health Services Came Home in 2023

We want to help, not hurt. Everything we do is designed to improve the outcomes of our incarcerated population. That begins with the most basic of human rights, mental and physical health care.

The Health Services Department at the Barnstable County Correctional Facility opened on August 14, 2023.

Sheriff Buckley terminated the Facility's contract with the private medical vendor and moved forward with her vision for an in-house medical department.

The Health Services Dept. consists of nurses, mental health clinicians, psychiatric staff, and health services administration.



Licensed Professional Counselor
Shelley Hart

Phone Calls Became Free in 2023

In December of 2023, Governor Maura Healy signed legislation that hugely improved individuals' ability to communicate with the outside world.

Communicating with spouses, parents, siblings, and friends is tremendously important as a way for incarcerated individuals to maintain strong support systems. Individuals at the BCCF are given tablets, which they use to do everything from making phone calls and texting, to watching movies, and reading books.

On Dec. 1 all inmate telephone communication through provider Securus went from being paid by the incarcerated individuals and their families to a no-cost model. This includes phone calls, text, and video visitation.

The cost of free phone calls

In the first week alone, the call volume increased from 900 phone calls to 2,761 phone calls, a 300% increase. With free phone calls came the need for more resources to protect victims and maintain public safety.

The BCSO's Special Operations Unit (SOU) is responsible for the monitoring of these phone calls. Monitoring protects victims, helps solve crimes, and helps prevent crimes including gang and drug related activity. The SOU also reviews all incoming and outgoing texts and video messages. Texts have increased from an average of 30 incoming and 30 outgoing in the period of a weekend, to 438 incoming and 122 outgoing. Additionally, video messages have increased from 5 videos over a weekend to 90 videos. Finally, there has been approximately a 400% increase in video visitation appointments as well.

Corrections Ink

The print shop serves Barnstable County nonprofit organizations and government agencies by creating flyers, envelopes, brochures, business cards, and booklets at the very low price of what it costs us in materials. The print shop also introduces incarcerated individuals to design and printing skills. Print Shop Director Paul Coyle uses his experience in advertising to design a variety of print material — including what you are reading right now. For more information: BCSOprintshop@bsheriff.net

Other Services to Nonprofits and Government Organizations

- The BCSO lends out tents for outdoor functions.
- Work crews made up of incarcerated individuals do light construction and other jobs.

SHAPING LIVES IN WOOD SHOP

The sawdust started to fly as soon as Lt. Sean Plummer took over the operation of the wood shop in 2023. Construction is one of the main ways to make a living in this area. Teaching incarcerated individuals carpentry and woodworking has always been a goal of the sheriff's office. Lt. Plummer has "built up" the program.

Plummer's lifelong hobby has been woodworking and carpentry. During his first year, Plummer and his students made Adirondack chairs and ottomans, side tables, bat houses, and birdhouses.

His students can be creative. They have made wooden vases, bowls, cribbage boards, and wooden plates. One man designed a piggy bank to keep spare change that looks exactly like a metal motorcycle tank.

Plummer shares his joy for woodworking with his students. Hopefully, it's a lesson they won't forget.



Wood Shop Director Lt. Sean Plummer displays a "piggy bank" fashioned after a motorcycle that was made by an incarcerated individual during wood-working class.



Helping Victims Stay Safe

Domestic violence is the No. 1 charge that led to incarceration at the BCCF in 2023. Unfortunately, violence against intimate partners is extremely common. For 20 years, Victim Services Specialist Jeffrey Ryan has been helping victims who are often scared, traumatized, and vulnerable.

Ryan's job falls under the requirements of the so-called "Massachusetts Crime Victim Bill of Rights," which mandates victims be notified of offenders' release dates. Ryan helps the victims with safety plans and restraining orders.

Ryan also works to bring an end to domestic violence as a community activist. He is a member of the Cape & Islands Domestic Violence Council, the Cape & Islands Domestic Violence High-Risk Task Force, the White Ribbon Project, the Human Trafficking Working Group of Cape Cod, and the Statewide Post-Conviction Victim Services Working Group.

In 2023 Victim Services

- Notified 230 crime victims of incarcerated individuals' custody status.
- In partnership with the Cape & Islands District Attorney's Office, provided over 160 victims with information on pre-trial offenders released on bail.
- Coordinated the service of over 55 restraining orders on individuals in the custody of the BCSO, thus ensuring that the offender cannot contact the victim while incarcerated.



Regional Emergency Communications Center

BCSO has been in the emergency communications business since 1938 when the Massachusetts State Legislature passed Chapter 100, of the Acts of 1938, authorizing the county commissioners to operate a police broadcasting radio system. BCSO was incorporated into this by the county commissioners, and it officially became the Police County Radio system. Since that time many facets of the BCSO operation have changed, and we expect that to continue as the years go by.

In 2023, the ECC handled 47,227 911 calls, 30,603 fire and EMS calls for service, 1,272 mutual aid calls, 48,017 CMED calls, 1,653 BCI calls, and 231 K-9 Calls.

WHO WE ARE: The core of the RECC is the people who work there around the clock. When fully staffed, there are 33 full-time telecommunicators and 10 per diem CMED operators, a training officer, an operations lieutenant, an assistant director, and a director. These are the first, first responders.

WHAT WE DO: The Barnstable County Sheriff's Office Emergency Communications Center (RECC) offers:

- Regional 911 for 8 communities
- Operates the mutual aid center for the county, dispatches BCSO K-9 and Bureau of Criminal Investigation and provides Centralized Medical Emergency Direction (CMED) services for 4 area hospitals.



We provide emergency fire and EMS dispatch services for 10 fire departments on Cape Cod.

Mashpee Fire Department
Orleans Fire Department
Harwich Fire Department
Wellfleet Fire Department
Brewster Fire Department

Bourne Fire Department
West Barnstable Fire Department
Barnstable Fire Department
Dennis Fire Department
Joint Base Cape Cod Fire Department

Radio Tech Division



Radio Tech Owen McLaughlin

The Technical Services Division or "radio shop", maintains and repairs the Barnstable County Sheriff's 2-way public safety radio systems and related subscriber units, security cameras, vehicle emergency lighting, and several other systems.

Additionally, the radio shop offers radio troubleshooting, repair, programming, installation, and other radio services to any public safety agency within the county. The techs work closely with the Massachusetts State Police radio techs in assisting with the statewide 800MHz trunked radio system that serves the majority of public safety agencies on Cape Cod.

The techs are on call 24/7 for both the BCSO as well as the other public safety agencies we serve.

Civil Process Delivers

The mission of the CPD is to serve civil court papers on behalf of plaintiff attorneys or Pro Se plaintiffs, (plaintiffs who represent themselves in court.) The reason court papers are served by Deputy Sheriffs to defendants in civil matters is to ensure that defendants are legally notified and aware of the pending litigation against them. Not all court papers have to be served by hand, but the CPD attempts to serve all defendants by hand because that is the most reliable form of service.

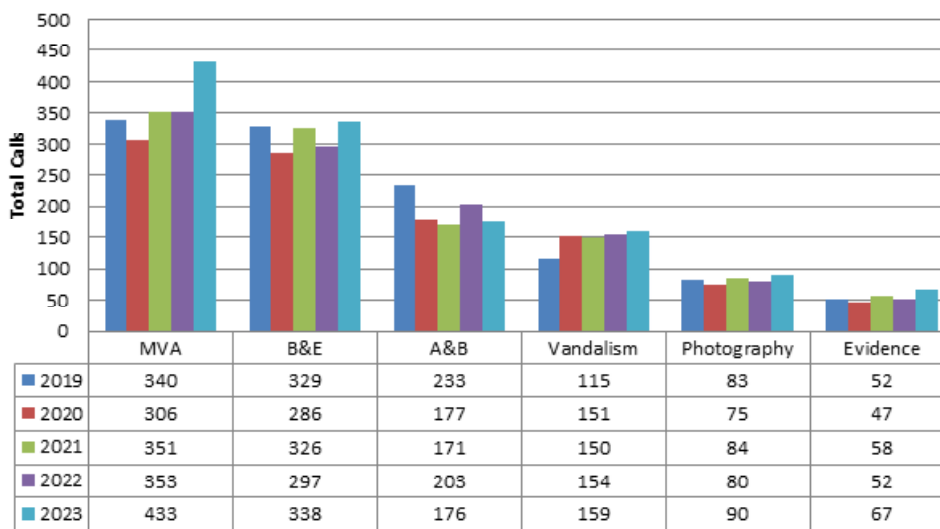


BCI Responded to More Crimes than Ever in 2023

The primary function of the Bureau of Criminal Investigation, or more commonly referred to as BCI, is to provide professional forensic services to

last 5 years, motor vehicle accidents have consistently topped the charts as the most requested service, closely followed by breaking and enterings,

are time-consuming, multi-faceted events that range from scene documentation to evidence collection and processing and ultimately latent fingerprint analysis which combined can be several days of work. The investigation hopefully concludes with the identification of a suspect. Officers within the BCI unit utilize the universally accepted Analysis, Comparison, Evaluation, Verification method or otherwise known as ACE-V, when identifying fingerprints. To reduce cognitive bias in the verification phase, the unit has recently integrated blind verifications into the process. Coupled with technical and administrative reviews of all latent identifications, the result is a professional and transparent work product.



the multiple public safety agencies of Barnstable County through documentation, processing, analysis and reporting. Almost all of the incidents that BCI responds to are based on Locard's Exchange Theory which states "Any action of an individual...cannot occur without leaving a trace." BCI handles a wide variety of incidents, but for the

assault and batteries, vandalism, photography and evidence processing.

BCI assists with motor vehicle accidents on almost a daily basis. For the most part, car accidents require straightforward scene documentation that can be cleared in 30-60 minutes. Conversely, breaking and entering investigations



Law Enforcement: We Have Your Back

The Barnstable County Sheriff's Office's K9 officers, Tactical Response Team, and Special Operations officers assist individual police departments, and state and federal agencies during large-scale investigations, missing person searches, and special responses. Our officers are trained in hostage negotiation and assist in SWAT team operations.

We have drones, bike and ATV patrols that assist towns during major events, like parades and festivals. We offer remote-controlled search robots and a mobile command post.

Our partner law enforcement agencies include:

- **Cape Cod Regional Law Enforcement Council**
- **U.S. Drug Enforcement Agency**
- **Cape Cod Drug Task Force**



In May, Majors Louis Langton and Kevin Fernandes were given the Medal of Valor from the Executive Office of Public Safety and Security for successfully convincing a shooter to surrender. Their successful negotiation protected the other responding officers and citizens in a densely populated neighborhood. They were working as members of the Cape Cod Regional Law Enforcement Council's SWAT team.

Prevention Strategy: Focus on Youth

The best way to keep our community safe is to teach pro-social skills to our young people. The BCSO Youth Academy, which graduated 19 students in 2023, addresses the root causes of anti-social behavior including mental illness, child abuse, and substance abuse in a structured learning environment. The instructors focus on mental health awareness, self-control, respect,

teamwork, integrity, communication, and decision-making skills for students ages 12 to 16. The students bond with each other and form lasting relationships with the group leaders, while they learn about nutrition, mental health, career planning, and team building from some of the best community leaders on Cape Cod.

Our Youth Programs partners include:

- Bay Cove Human Services
- Children's Cove
- YMCA's Camp Lyndon
- The Family Table Collaborative
- West Barnstable Fire Department
- The Cape Cod Chamber of Commerce
- Cape Cod Community College
- People of Action
- Barnstable Police
- Yarmouth Police
- Dennis Police
- Cape Cod Baseball League, Falmouth Commodores



OUR PEOPLE ARE OUR EVERYTHING

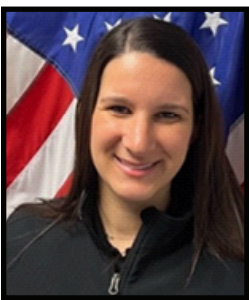


The BCSO held two correctional officer recruit training academies in 2023 and graduated 17 new correctional officers.

The Barnstable County Sheriff's Office hired a total of 59 individuals in 2023. The Human Resources Dept. recruited all year long. They attended 7 career fairs and held two correctional officer academies. We continue to recruit. Jobs at the BCSO are diverse opportunities and can accommodate a variety of talents and interests. Generous state health and retirement benefits are included.

Careers here:

- Corrections Officers
- Telecommunicators
- Radio Technicians
- Human services employees
- Maintenance staff
- Information Technology
- Administrative support
- Criminal identification staff for the Bureau of Criminal Investigation
- Medical employees



First Quarter Employee of the Quarter:
Deputy Brittney Martinsen of the Special Operations Unit



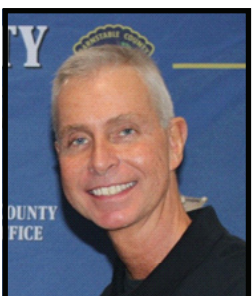
Second Quarter Employee of the Quarter: Sgt. Terry Mumper



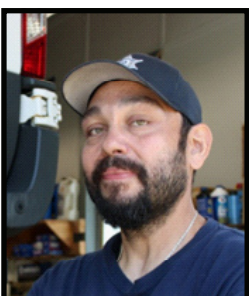
Third Quarter Employee of the Quarter: Deputy Kenneth Finnemore



Correctional Officer of the Year
Brian Garvey



Public Safety Employee of the Year
Andrew de Blank, CMED



Civilian Employee of the Year Award
Patrick DePina

To keep up with the latest news and opportunities at the BCSO follow us on



Barnstable County Sheriff's Office



barnstablesheriff



@bcsosheriff2



Barnstable County Sheriff's Office



Barnstable County Sheriff's Office



OFFICE OF THE GOVERNOR
COMMONWEALTH OF MASSACHUSETTS
STATE HOUSE BOSTON, MA 02133
(617) 725-4000

MAURA T. HEALEY
GOVERNOR

KIMBERLEY DRISCOLL
LIEUTENANT GOVERNOR

February 27, 2024

Peter Lombardi
Town Manager
Town of Brewster
2198 Main St.
Brewster, MA 02631

Dear Peter Lombardi,

We are pleased to announce that under the administration of Governor Maura Healey and Lieutenant Governor Kim Driscoll, a total of \$400 million for Fiscal Year 2024 and Fiscal Year 2025 was filed for the MassDOT Chapter 90 Program to support local infrastructure across the Commonwealth's 351 cities and towns over the next two years.

This funding demonstrates the Administration's continued support in strengthening municipal partnerships and providing financial resources that support transportation improvements at the local level.

This letter certifies that, contingent upon legislative approval of the \$200 million annual bond authorization, Brewster's Chapter 90 apportionment for Fiscal Year 2025 is \$311,313.31.

This apportionment will automatically be incorporated into your existing Chapter 90 contract with MassDOT with no further action needed by the municipality. Apportionments for all communities are available online at www.mass.gov/chapter-90-program. Please note that while the bill enacting these funds has been filed, the funds are not available for municipal use until final legislative approval is obtained.

The Chapter 90 Program is an integral part of maintaining and enhancing your community's infrastructure and is an essential component of our state-local partnership. We look forward to working with you in the coming year to continue the success of this program.

Sincerely,

A handwritten signature in black ink that reads "M. T. Healey".

Maura Healey
Governor

A handwritten signature in black ink that reads "Kim Driscoll".

Kim Driscoll
Lieutenant Governor



Pension Reserves Investment Management Board

53 State Street, Suite 600
Boston, Massachusetts 02109

Deborah B. Goldberg, Treasurer and Receiver General, Chair
Michael G. Trotsky, CFA, Executive Director and Chief Investment Officer

Town of Brewster
State Retirees Benefits Trust Fund
February 01, 2024 to February 29, 2024

	<u>Month To Date</u>	<u>Fiscal Year To Date</u>	<u>Calendar Year To Date</u>
Your beginning net asset value for the period was:	4,200,892.41	3,790,975.25	4,140,115.18
Your change in investment value for the period was:	80,388.78	250,305.94	81,166.01
Your exchanges from (to) the Cash Fund for the period were:	60,000.00	300,000.00	120,000.00
Your ending net asset value for the period was:	<u>4,341,281.19</u>	<u>4,341,281.19</u>	<u>4,341,281.19</u>
Net Change in Investment Value represents the net change through investment activities as follows:			
Gross Investment Income:	7,388.32	62,037.97	12,736.33
Less Management Fees:	(1,373.67)	(12,500.60)	(2,236.52)
Net Investment Income:	<u>6,014.65</u>	<u>49,537.37</u>	<u>10,499.81</u>
Net Fund Unrealized Gains/Losses:	61,697.04	150,148.01	48,072.89
Net Fund Realized Gains/Losses:	<u>12,677.09</u>	<u>50,620.56</u>	<u>22,593.31</u>
Net Change in Investment Value as Above:	<u>80,388.78</u>	<u>250,305.94</u>	<u>81,166.01</u>

As of February 29, 2024 the net asset value of your investment in the SRBT Fund was: **\$4,341,281.19**

If you have any questions regarding your statement, please contact the Client Services team at clientservice@mapension.com.
A detailed statement of your account is attached to this summary sheet.



Pension Reserves Investment Management Board

53 State Street, Suite 600
Boston, Massachusetts 02109

Deborah B. Goldberg, Treasurer and Receiver General, Chair
Michael G. Trotsky, CFA, Executive Director and Chief Investment Officer

Town of Brewster

Cash Investment

February 01, 2024 to February 29, 2024

	<u>Month To Date</u>	<u>Fiscal Year To Date</u>	<u>Calendar Year To Date</u>
Your beginning net asset value for the period was:	0.00	0.00	0.00
Your investment income for the period was:	0.00	0.00	0.00
Your total contributions for the period were:	60,000.00	300,000.00	120,000.00
Your total redemptions for the period were:	0.00	0.00	0.00
Your total exchanges for the period were:	(60,000.00)	(300,000.00)	(120,000.00)
Your state appropriations for the period were:	0.00	0.00	0.00
Your ending net asset value for the period was:	0.00	0.00	0.00

As of February 29, 2024 the net asset value of your investment in the Cash Fund was:

\$0.00

If you have any questions regarding your statement, please contact the Client Services team at clientservice@mapension.com.
A detailed statement of your account is attached to this summary sheet.



Pension Reserves Investment Management Board

53 State Street, Suite 600
Boston, Massachusetts 02109

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Michael G. Trotsky, CFA, Executive Director and Chief Investment Officer

PHTF90200002
Commonwealth Of Massachusetts

Town of Brewster

Investment Detail

2/29/2024

	Investments	Units Of Participation	Cost	Price	Market Value	Unrealized Gain/Loss
15,618.227	HCST OPEB MASTER TRUST		4,026,019.36	277.9625	4,341,281.19	315,261.83
	Total Investment:		4,026,019.36		4,341,281.19	315,261.83



Pension Reserves Investment Management Board

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PHTF90200002
Commonwealth Of Massachusetts

Town of Brewster Statement of Change In Net Assets 02/29/2024

	Current Period		Fiscal Year		Year To Date	
	<u>2/1/2024</u>	<u>2/29/2024</u>	<u>7/1/2023</u>	<u>2/29/2024</u>	<u>1/1/2024</u>	<u>2/29/2024</u>
NET ASSETS - BEGINNING OF PERIOD		4,200,892.41		3,790,975.25		4,140,115.18
DISBURSEMENTS:						
CASH FUND EXCHANGES		60,000.00		300,000.00		120,000.00
RECEIPTS:						
CONTRIBUTIONS:						
PARTICIPANTS		60,000.00		300,000.00		120,000.00
INVESTMENT INCOME:						
UNREALIZED GAIN/LOSS-INVESTMENT		61,697.04		150,148.01		48,072.89
MASTER TRUST ALLOCATED EXPENSES		-117.10		-2,193.38		-199.14
MASTER TRUST CHANGE IN REALIZED G/L		12,677.09		50,620.56		22,593.31
MASTER TRUST INVESTMENT INCOME		7,388.32		62,037.97		12,736.33
MT ALL INVESTMENT MANAGER FEES		-1,256.57		-10,307.22		-2,037.38
UNIT EXCHANGES		60,000.00		300,000.00		120,000.00
Total Receipts		200,388.78		850,305.94		321,166.01
Total Disbursements:		60,000.00		300,000.00		120,000.00
Net Assets - End of Period:		4,341,281.19		4,341,281.19		4,341,281.19

STATEMENT EXPLANATION

Below you will find a description of each item posted to your statement.

CAPITAL ACCOUNT

Summary of Account Activity:

A summary statement produced for your investment in the State Retiree Benefits Trust Fund (SRBTF) includes both month-to-date and fiscal year-to-date information. This statement is also furnished to the Public Employee Retirement Administration Commission (PERAC).

Your beginning net asset value for the period:

The total balance of your investment as of the opening date of the statement period.

Your change in investment value for the period:

The total increase or decrease in your investment includes net investment income, realized gains or losses, and unrealized gains or losses.

Your total exchanges from (to) cash fund:

Movement of funds occurring on the first business day of each month between your Cash Fund and Capital Account (SRBTF).

Your ending net asset value for the period:

The total balance of your investment as of the closing date of the statement period.

Gross investment income:

Represents your allocable share of the SRBTF's income associated with securities and other investments (i.e. real estate), except for realized and unrealized gains or losses. It is principally interest, dividends, real estate income, and private equity income.

Management fees:

Represents your allocable share of the SRBTF's expenses related to PRIM's investment advisors, consultants, custodian and operations expenses.

Net investment income:

Represents your allocable share of the SRBTF's gross investment income, less Management Fees.

Net fund unrealized gains/losses:

Represents your allocable share of the SRBTF's increase or decrease in value, attributed to a change in value of securities or other investments held in the PRIT Fund, relative to original cost. These gains or losses are "unrealized" because the investments have not yet been sold.

Net fund realized gains/losses:

Represents your allocable share of the SRBTF's increase or decrease in value attributed to the PRIT Fund's sale of securities or other investments (i.e. real estate property). Whether you "realize" a gain or loss depends upon the price at which the investment was sold in relation to its original purchase price.

CASH FUND

Your beginning net asset value for the period:

The total balance of your investment as of the opening date of the statement period.

Your investment income for the period:

Interest earned for the period.

Your total contributions for the period:

Sum of all funds (i.e. wires and/or checks) sent into your SRBTF account during the statement period. Cash contributed any day during the month except the first business day will remain in your Cash Fund until the first business day of the following month, when it will then be exchanged into the General Allocation Account (SRBTF).

Your total redemptions for the period:

Sum of all funds sent by wire from the PRIT Fund's custodian bank to your government entity during the statement period. A redemption made be made at any time throughout the month as long as your Cash Fund balance equals or exceeds the amount you wish to redeem.

Your ending net asset value for the period:

The total balance of your investment as of the closing date of the statement period.

If you have any questions regarding your statement, please contact the Client Services team at clientservice@mapension.com.



March 15, 2024

Select Board
Town of Brewster
2198 Main Street
Brewster, MA 02631

Dear Members of the Board:

We are committed to keeping you and our customers informed about changes to Xfinity TV. Please note the following changes to the Xfinity channel line-up in your community:

Effective May 7, 2024, Pursuit Channel SD on channels 258/1238 will no longer be available. On the same day, Pursuit Channel HD will be added on channel 1238. Requires HD programming and an X1 TV Box or Xfinity Internet and a compatible customer owned device to view.

Customers are receiving notice of this information in their bill.

Please do not hesitate to contact me should you have any questions. For your convenience I can be reached at **Michael_Galla@comcast.com**.

Very truly yours,

Michael Galla

Michael Galla, Sr. Manager
Government & Regulatory Affairs

V#2